



CANYON COUNTY

NEW JAIL FACILITY

NEEDS & CONCEPTUAL DESIGN ANALYSIS | November 3, 2017

FINAL DRAFT



ID MOUNTAIN FLOWER



WESTERN WHITE PINE



PHILADELPHUS LEWISII



ID FESCUE



BITTERBRUSH



SWEET CICELY

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CONSULTANT TEAM

DLR Group	:	Planning, Design, Architecture, Mechanical Engineering, Electrical Engineering, Structural Engineering, Sustainability
KPFF	:	Civil Engineering
JMB	:	Cost Estimating





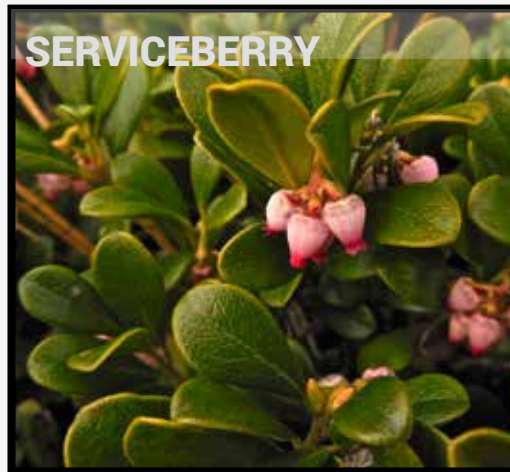
OLIVE TREE



ORANGE BERRY



POTATO PLANT



SERVICEBERRY



HUCKLEBERRY PLANT



ONION PLANT

PART I: SPACE NEEDS

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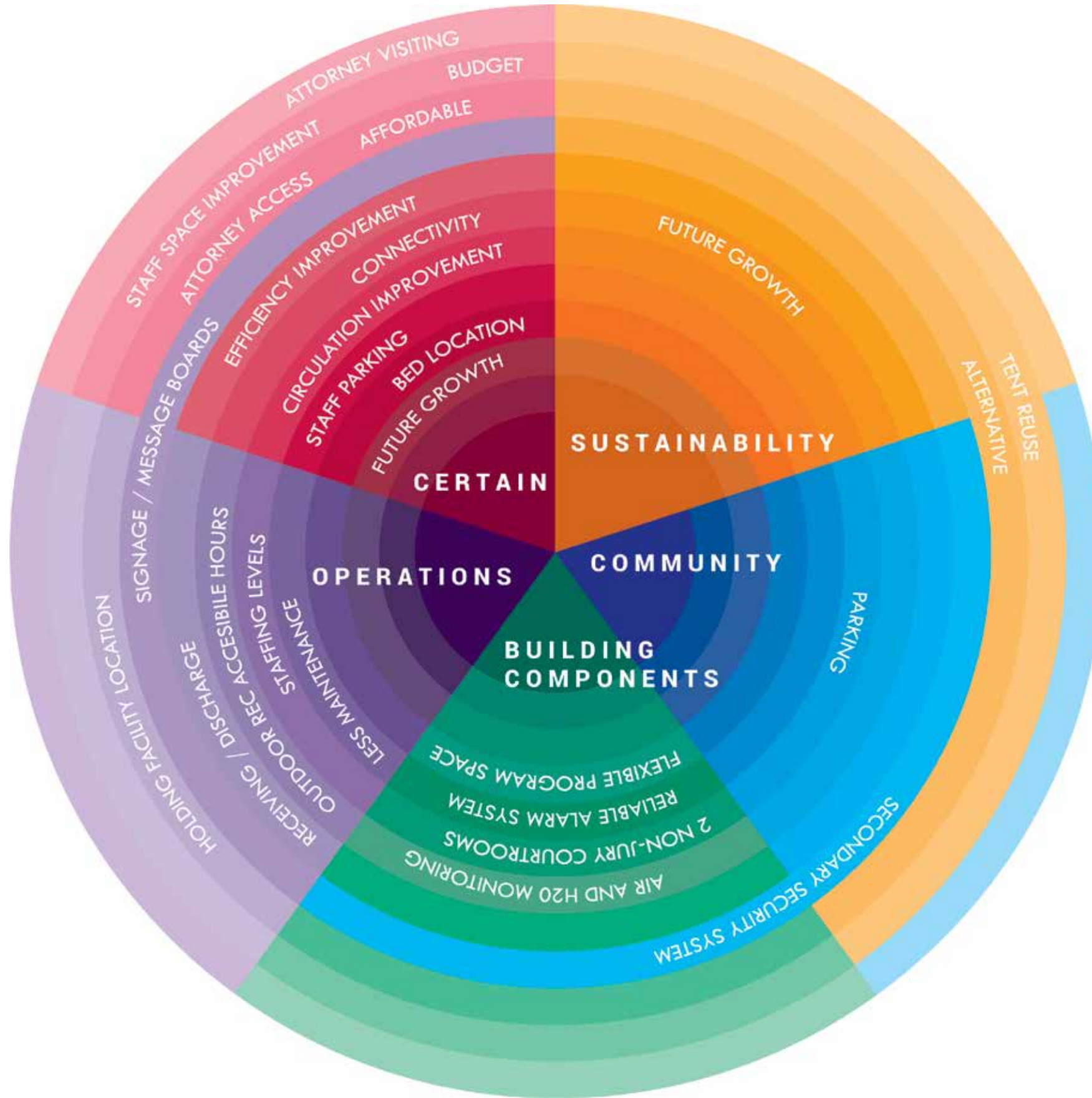
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PROJECT GOALS

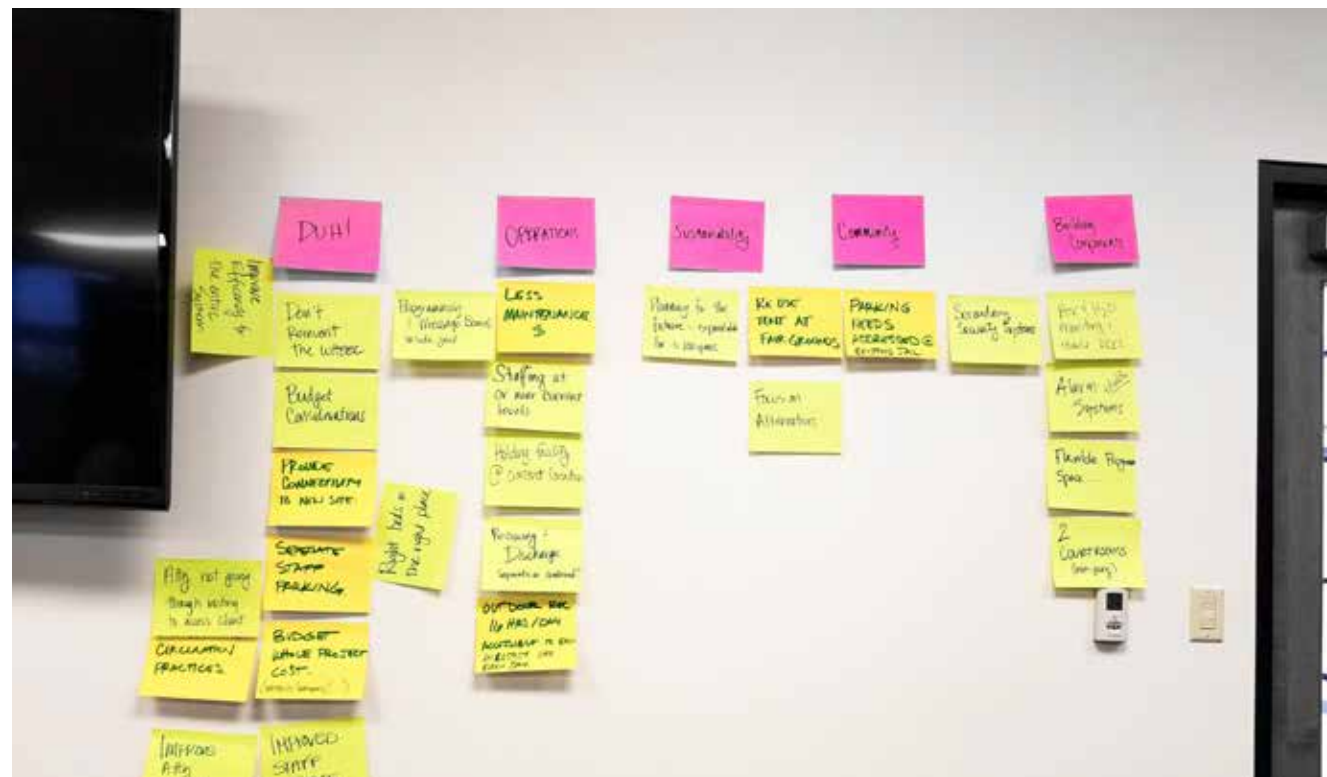


PROJECT GOALS NARRATIVE

Project Goals

At the beginning of this project, Canyon County stakeholders and the design team developed goals and opportunities for the new facility. The team focused on the principles of certainty, sustainability, community, building components, and operations.

The project goals graphic displays the guiding principles developed by stakeholders. Each guiding principle has components that make a more comprehensive list of what defines each principle. The project goals are continuously referred to throughout the design process to inform decisions. They are constant reminders of what the focus should be as each step forward is made.



Visioning

Building off the goals process, the design team and stakeholders further defined the vision of the future facility and what characteristics should be represented. The design team brought over 500 images to be looked at by the stakeholders, some displaying different types of buildings, various interior spaces, powerful words, and inspiring images. This process helps the design team inform the built environment for all populations the future facility will serve.



PROJECTIONS

Population Projection

Population projections illustrate the potential need for future facilities growth – especially useful when space planning. The Canyon County Jail has provided a necessary public service function to the community for years, but its growth hasn't kept pace with that of the general Canyon County population. As population increases, so too do demands on the justice system.

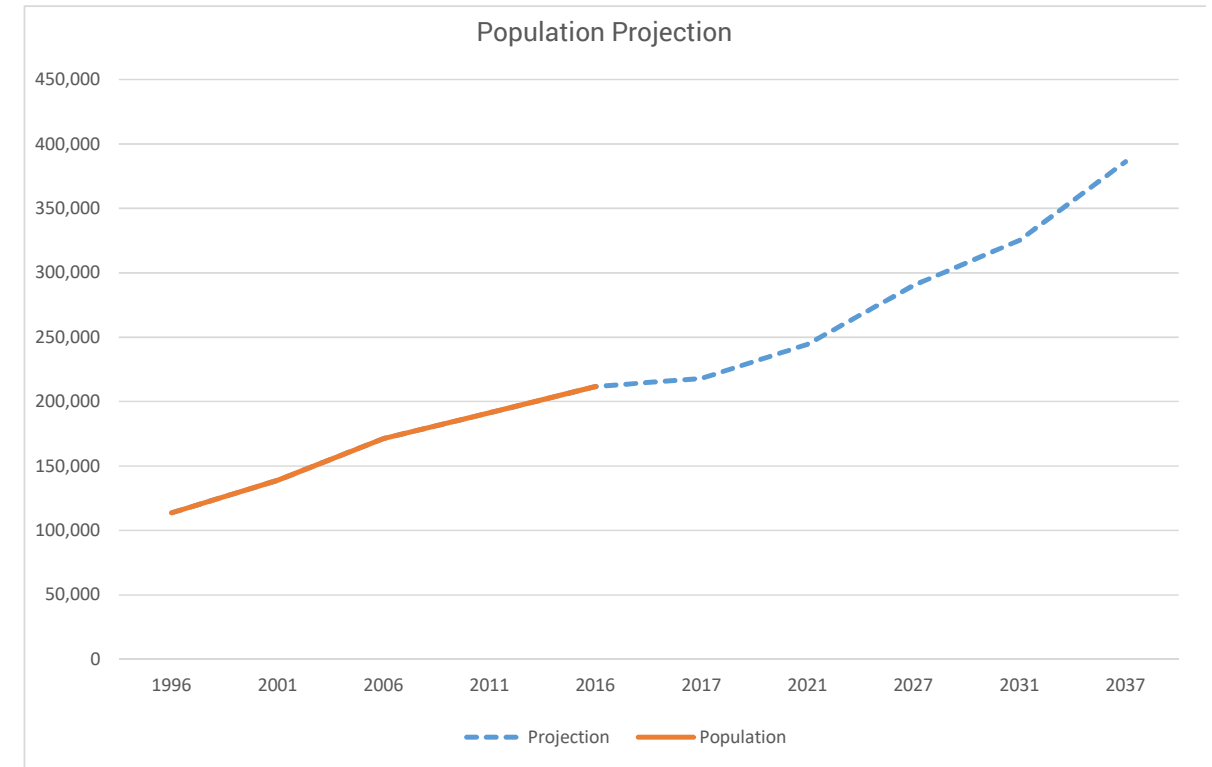
This report relies on historical data provided by the U.S. Census Bureau and by COMPASS of Southwest Idaho. Canyon County has experienced prolonged and rapid growth over the previous two decades. Since 1996 the county has seen an average increase of 3.2% per year, with a peak increase of 5% in 2000. Canyon County has grown by 12% since the 2010 census.

Our expectation is that steady population growth will continue based off the data provided by the Census Bureau and COMPASS. Our projections conservatively estimate 2.9% annual increases through 2037.

Year	Population	Projection	Projection
1996	113,744	2017	218,039
1997	118,124	2018	224,362
1998	122,382	2019	230,869
1999	126,720	2020	237,564
2000	133,053	2021	244,453
2001	139,042	2022	251,542
2002	144,936	2023	258,837
2003	150,979	2024	266,343
2004	156,594	2025	274,067
2005	163,234	2026	282,015
2006	171,335	2027	290,194
2007	178,795	2028	298,609
2008	184,120	2029	307,269
2009	186,615	2030	316,180
2010	189,339	2031	325,349
2011	191,386	2032	334,784
2012	193,856	2033	344,493
2013	198,875	2034	354,483
2014	203,143	2035	364,763
2015	207,086	2036	375,341
2016	211,698	2037	386,226

Census data in bold.

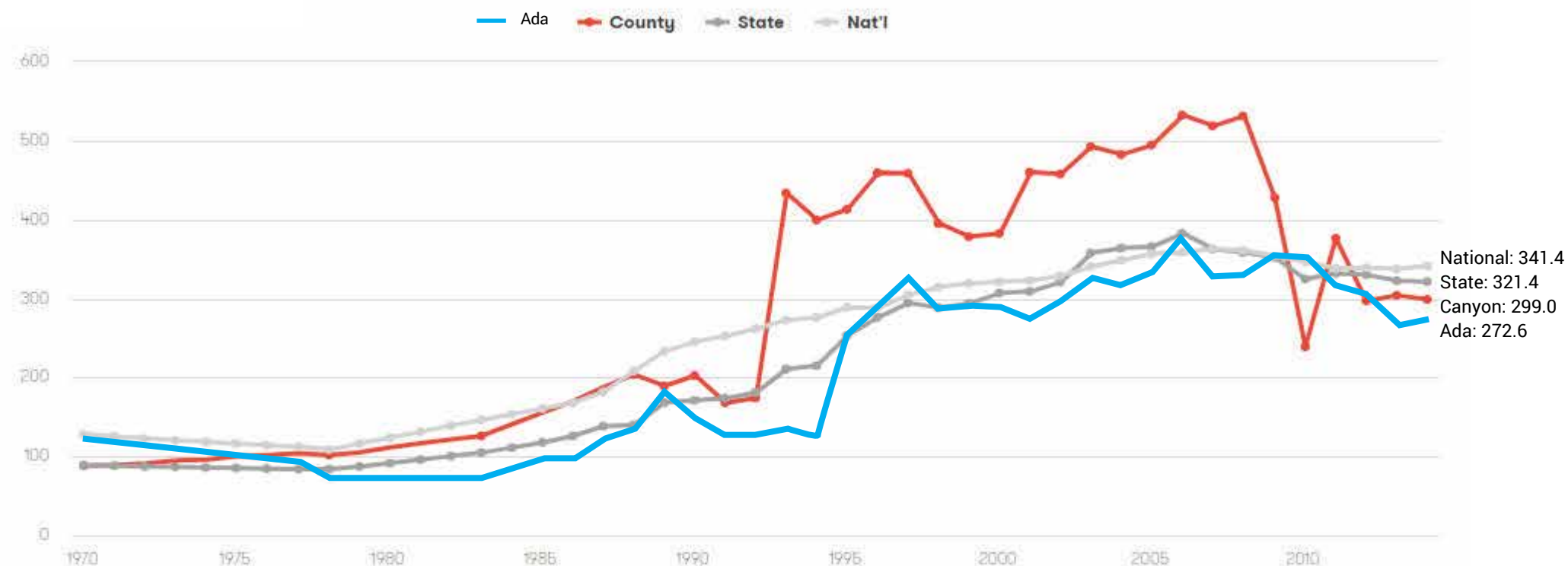
Total # Increase	97,954	168,187
Avg #/yr	7,903	14,026.72
Total % Increase	67%	60%
Avg % Increase/yr	3%	2.9%



Canyon County vs. Ada County

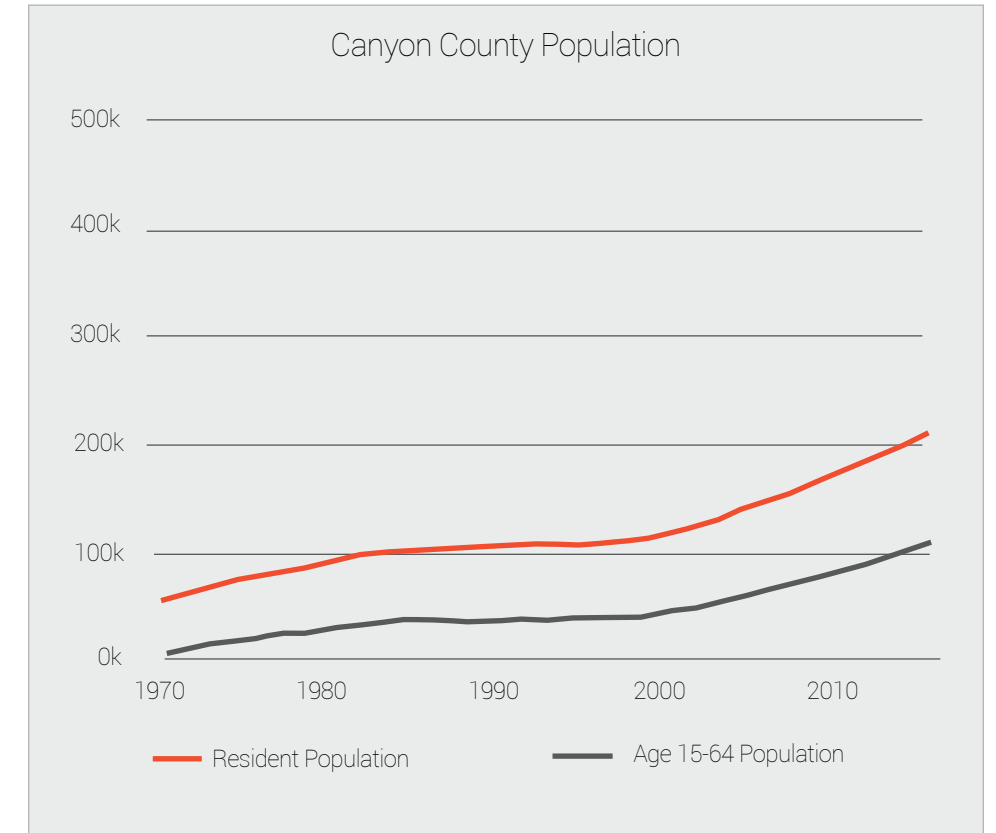
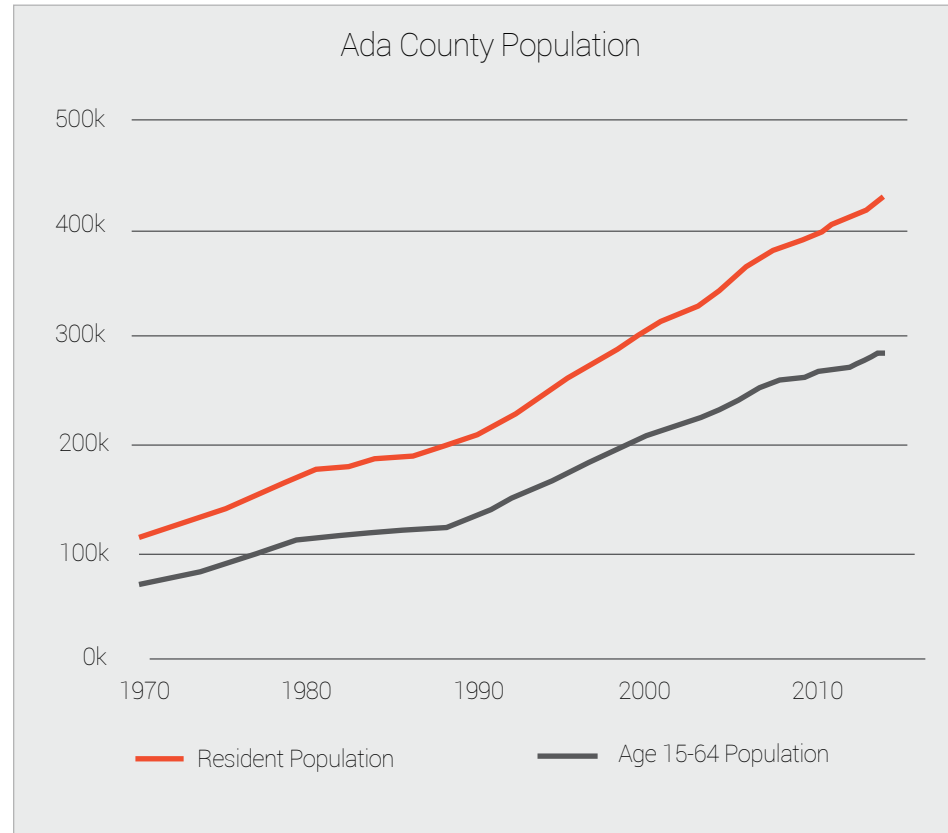
Canyon County incarceration rates drastically increased throughout the mid and late 1990s. Compared to neighboring Ada County, Canyon County incarcerated at a much higher rate until 2007, when an American Civil Liberties Union lawsuit forced the county to severely limit the jail population at the existing Dale G. Haile Detention Center. Canyon County has since leveled out to a rate similar to the national incarceration rate. Canyon County has historically had a general population about half the size of Ada County's while incarcerating at a much higher rate.

Historical Incarceration Rates
Ada County & Canyon County



Canyon County vs. Ada County

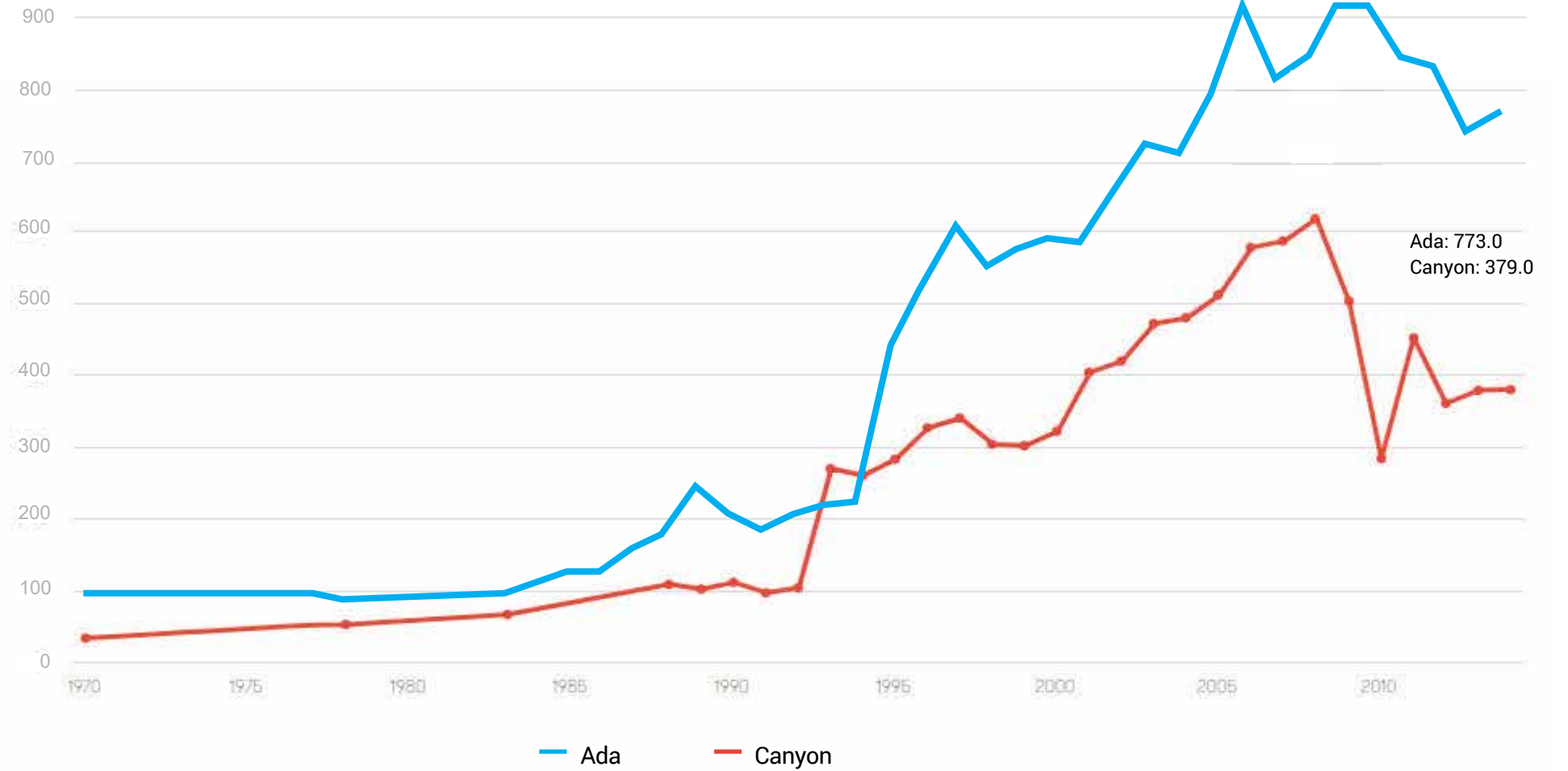
According to the U.S. Census Bureau, since the last census Ada and Canyon County populations have increased at a similar rate. Since the 2010 census, Canyon County has increased by 12.1%, while Ada County has increased by 13.2%. The similar rate of increase is further demonstrated by the associated jail count chart. Although, Ada County has a much higher jail count than Canyon County, the counties' population have consistently increased and decreased in similar patterns.



Canyon County vs. Ada County

Historically, Ada County and Canyon County have grown at similar rates in several ways. The inmate populations are no exception. The exponential growth is seen in both counties from the mid 1990s through the late 2000s, with a sharp decline around 2007. Although Canyon County's decline was much more dramatic, we see that both counties experienced similar declines.

Historical Jail Count
Ada County and Canyon County



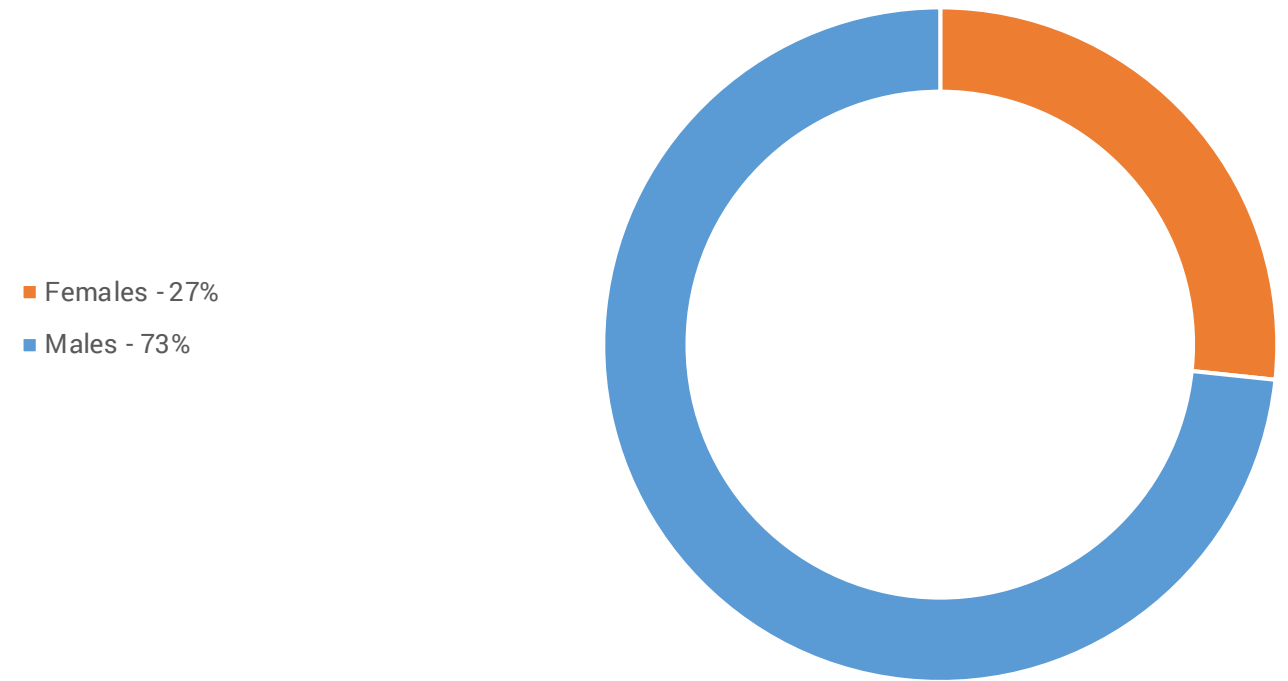
Jail Demographics

The Canyon County Jail serves populations from the 13 cities and unincorporated communities that comprise Canyon County.

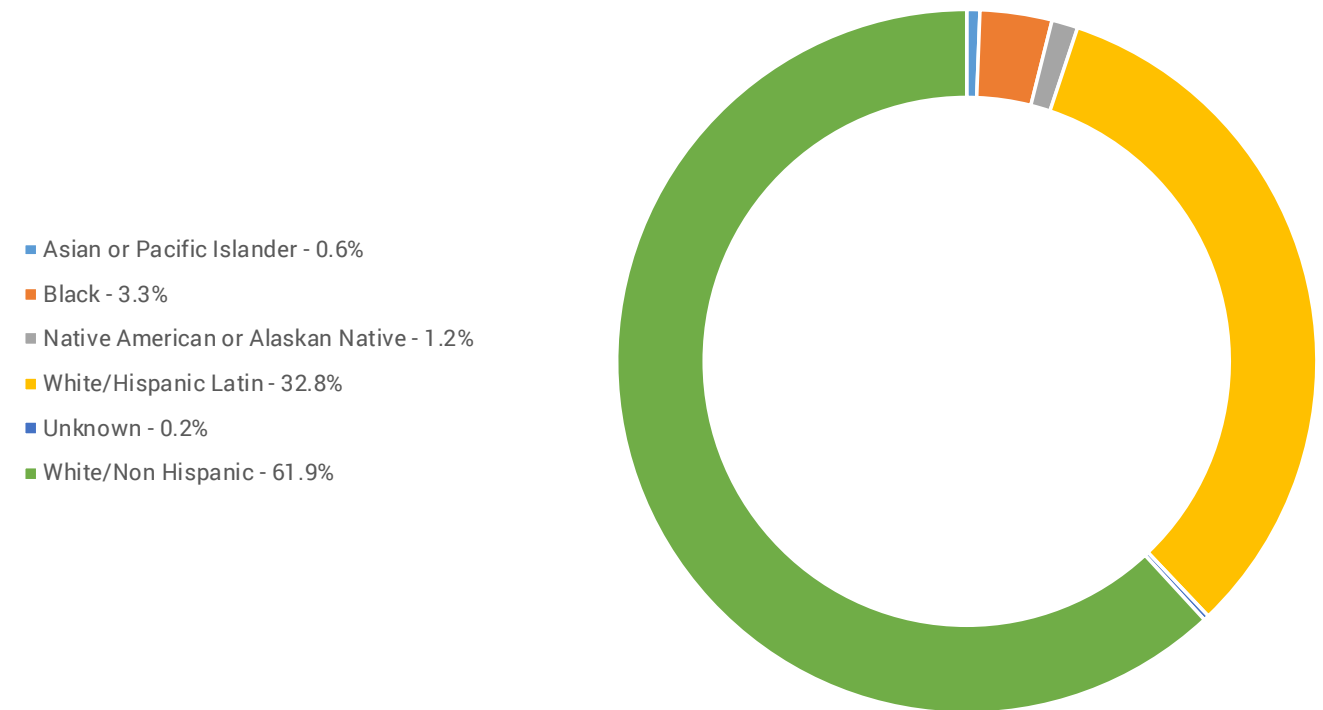
Male inmates make up the majority of the jail population, comprising 73%, while females account for the other 27%. Although women are currently the minority jail population, the Canyon County Jail's gender percentages reflect a nationwide trend of growing female offender populations. The associated chart represents a one-day snapshot of those in-custody.

The ethnicity demographic snapshot shows that the majority of inmates at Canyon County Jail are White/Non Hispanic, at 61.9%, while the Asian/Pacific Islander population is the least represented at the Canyon County Jail. The jail ethnicity demographics mirror the County's general population demographics, with the majority of residents in Canyon County being of White/Non-Hispanic origin according to the U.S. Census Bureau.

Gender



Ethnicity



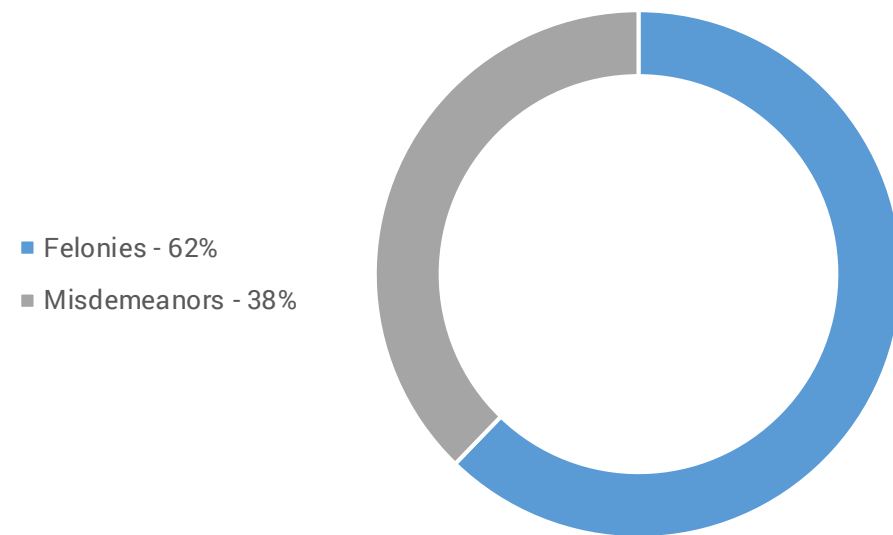
Felonies and Misdemeanors

Charges brought against an individual are either misdemeanors or felonies. Generally speaking, bail and alternatives to incarceration are more available to those charged with the less serious misdemeanors. This, coupled with the longer sentences that are normally imposed for felony charges, results in a higher proportion of felony offenders in the County's jails.

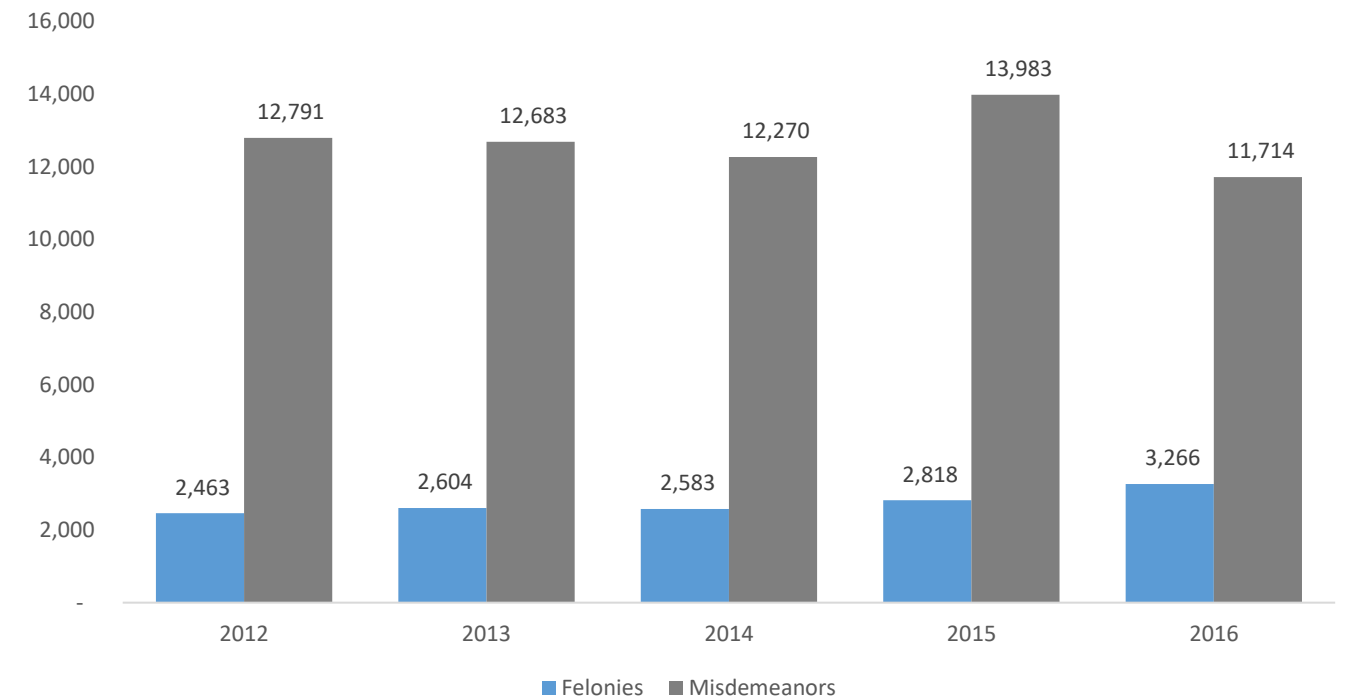
The county has historically had more misdemeanor citations than felonies, and the current inmate population reflects this. Although there have been more misdemeanor citations, those held on felony charges typically have a longer length of stay and represent the majority of the inmate population.

The average length of stay (ALOS) for the Canyon County Jail in 2014 was 16 days, whereas in 2002, the ALOS was more than 25 days. This declining ALOS may appear to be positive, but these numbers are artificially low because of a combination of factors. A primary change has been a classification system developed by the State of Idaho that drastically reduces the number of inmates who are booked and held. The majority of people being held are awaiting sentencing. This is an indicator of a shift in jail population from primarily low-level misdemeanant offenders, who receive just a few days in jail, to more serious felony offenders who tend to be sentenced to longer amounts of jail time.

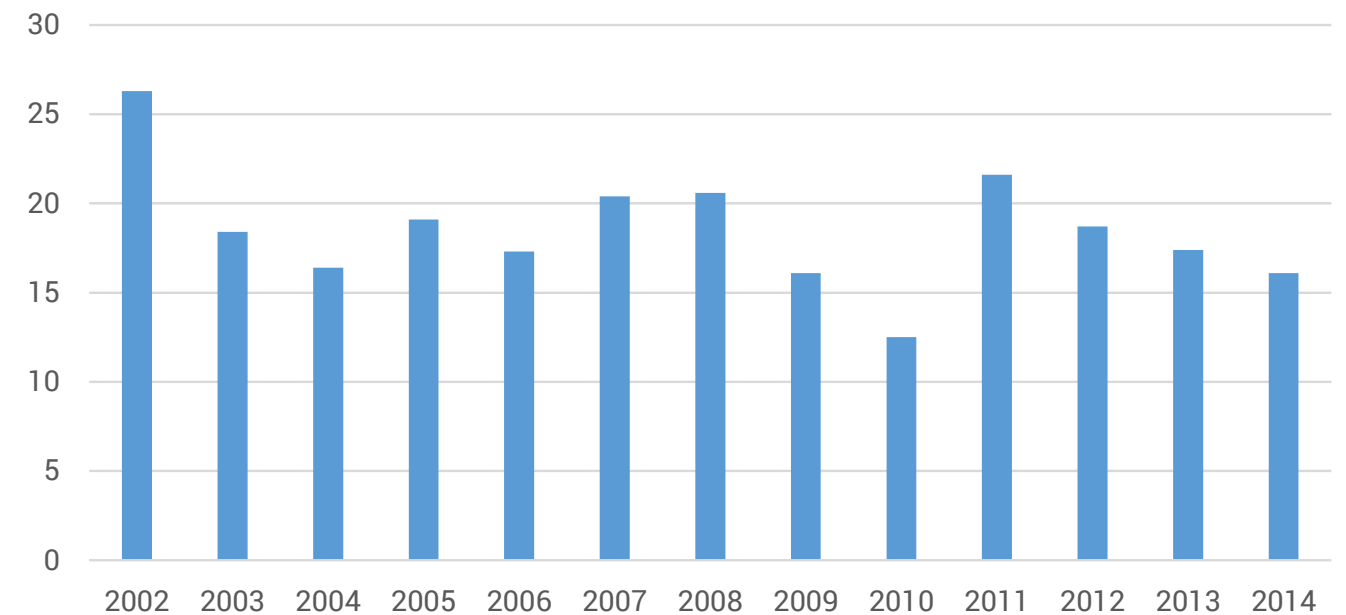
In Custody Snapshot



Historical Citations



Historical ALOS



Inmate Population Projection

The team tested several typical projection models. Each of these methodologies analyzes the data from slightly different perspectives. Canyon County's inmate population has varied due to circumstances outside of the County's control.

From the late 1990s through 2007, inmate population steadily increased until an ACLU lawsuit forced the County to reduce the number of beds available, artificially stagnating the inmate population. The population now remains at a relatively consistent rate, but programs instituted since 2007 now matrix certain people out of the system who previously would have been part of the inmate population. Based on information provided by stakeholders, it has been determined that 255 people who would have previously been incarcerated annually have been released due to the new classification matrix. This factor has been included in our projection analysis.

Bookings

We examined the historical booking data to have a basis of how bookings will trend in the future. The number of bookings drastically declined in the last decade, from 18,039 in 2007 to 11,495 in 2016. Several factors can explain the dramatic decrease in bookings, including the classification matrix created by the State of Idaho to combat the high number of inmates in its jails. Stakeholders report an increasing number in cite-and-release due to the lack of bed availability. To inform our recommended inmate population, we ran several analyses to see what booking projections would look like based on historical data trends.

The first model examines the Average Number increase per year, dividing the difference between the 2007 value and the 2016 value by number of intervals (20). Since there has been a dramatic decrease in the average change per year, we see that the results decrease as well. Although the historical data suggests that bookings will continue to decrease, we know that this number is unsustainable in the long term due to the population increase projected for the future.

The linear regression model also identifies a decrease more dramatic than the Average Number model. This decrease is not explained by population as can be seen in the calculation of the Correlation Coefficient at $-.86$. This measures the strength of relationship of the data to the population trend. The data shows the inverse: While the population is increasing, the booking numbers are decreasing. This model was not selected because its dramatic decrease in bookings is unrealistic.

The next models examined were four different ratios to population, including high, low, average and existing, with varying results. Of these methodologies, the low ratio to population seemed to hold the best projection since it smooths both the highs and lows of the profile. We favor this projection for the data set.

Inmate Populations

Again we employ the same model sets for inmate population data to examine the historical data trends and population comparisons to inform our recommended model selections.

The Average Number increase per year divides the difference between the 2007 value and the 2016 value by number of intervals (20) for the number of years. Due to the decreasing average per year, we see that the values decrease as well. Historical data dissuades us from using this model because we know that typically an increase in general population would positively correlate to an increase in inmate population.

The linear regression model decreases as well, though, it is not explained by population as can be seen in the calculation of the Correlation Coefficient at $-.76$. This is a measure of the strength of relationship of the data to the population trend. The closer the calculation comes to -1 , the more likely that inmate population alone explains the trend. Again, we see that this model trends into a negative number, dissuading us from recommending this model based on the historical trends.

Four different ratios to population are tested including high, low, average and existing, with varying results. Of these methodologies, the average ratio to population seems to hold the best projection since it smooths both the highs and lows of the profile. This projection is favored for this data set.

Inmate Populations (Including Pretrial Release & Home Detention)

Continuing our inmate population projection analysis, we examined the stakeholders reports of 255 people being classified to be released who would previously have been held in jail and how that could potentially affect the inmate populations were that classification to ever change.

We used our same model sets to continue the evaluation. These examinations took the previous models and included the 255 people into account in the resulting inmate population. The change is an exponential increase on the model previously selected, average ratio to population. This examination helped inform our best practices review and selected model.

	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	Projection Support Data			
Population	178,795	184,120	186,615	189,339	191,386	193,856	198,875	203,143	207,086	211,698	# Chg	Avg Chg/Yr	Cor Coeff	
Pop/1,000	178.80	184.12	186.62	189.34	191.39	193.86	198.88	203.14	207.09	211.70	(6,544)	(727.11)	-0.86	
Total Bookings	18,039	14,625	13,869	13,943	14,384	15,394	13,563	12,563	12,065	11,495	Ratios to Population			
Bookings/K Pop	100.89	79.43	74.32	73.64	75.16	79.41	68.20	61.84	58.26	54.30	Existing	High	Low	Avg
											54.30	100.89	54.30	72.55

Projection Bookings		2017	2022	2027	2032	2037
Population		218,039	252,706	292,942	339,600	386,226
1. Avg # increase/year		10,768	7,132	3,497	588	(2,320)
2. Linear Regression		10,409	5,131	(995)	(8,099)	(15,198)
3. Existing Ratio to population		11,839	13,722	15,906	18,440	20,972
4. High Ratio to population		21,998	25,496	29,556	34,263	38,967
5. Low Ratio to population		11,839	13,722	15,906	18,440	20,972
6. Average Ratio to population		15,818	18,333	21,251	24,636	28,019
Selected Model		11,839	13,722	15,906	18,440	20,972

The recommended projection, highlighted in blue, for this model is the low ratio to population, it accounts for the lows and highs of booking making for a relatively smooth projection line.

	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	Projection Support Data			
Population	178,795	184,120	186,615	189,339	191,386	193,856	198,875	203,143	207,086	211,698	# Chg	Avg Chg/Yr	Cor Coeff	
Pop/1,000	178.80	184.12	186.62	189.34	191.39	193.86	198.88	203.14	207.09	211.70	(254)	(28.27)	-0.76	
Total Inmates	636.53	589.72	462.63	391.93	389.70	387.10	379.05	389.16	369.19	382.14	Ratios to Population			
Inmates/K Pop	3.56	3.20	2.48	2.07	2.04	2.00	1.91	1.92	1.78	1.81	Existing	High	Low	Avg
											1.81	3.56	1.78	2.28

Projection Inmate Population		2017	2022	2027	2032	2037
Population		218,039	252,706	292,942	339,600	386,226
1. Avg # increase/year		354	213	71	(42)	(155)
2. Linear Regression		274	32	(248)	(573)	(897)
3. Existing Ratio to population		394	456	529	613	697
4. High Ratio to population		776	900	1,043	1,209	1,375
5. Low Ratio to population		389	451	522	605	689
6. Average Ratio to population		496	575	667	773	879
Selected Model		496	575	667	773	879

The recommended projection, highlighted in blue, for this model is the average ratio to population, it accounts best for the lows and highs of booking making for a relatively smooth projection line. This model is the basis for the recommended inmate bed count, further elaborated on the following page.

	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	Projection Support Data			
Population	178,795	184,120	186,615	189,339	191,386	193,856	198,875	203,143	207,086	211,698	# Chg	Avg Chg/Yr	Cor Coeff	
Pop/1,000	178.80	184.12	186.62	189.34	191.39	193.86	198.88	203.14	207.09	211.70	(254)	(28.27)	-0.76	
Total Inmates	891.53	844.72	717.63	646.93	644.70	642.10	634.05	644.16	624.19	637.14	Ratios to Population			
Inmates/K Pop	4.99	4.59	3.85	3.42	3.37	3.31	3.19	3.17	3.01	3.01	Existing	High	Low	Avg
											3.01	4.99	3.01	3.59

Projection Inmate Population (Including Pretrial Release & Home Detention)		2017	2022	2027	2032	2037
Population		218,039	252,706	292,942	339,600	386,226
1. Avg # increase/year		609	496	354	213	72
2. Linear Regression		529	287	7	(318)	(642)
3. Existing Ratio to population		656	760.56	882	1,022	1,162
4. High Ratio to population		1,087	1,260	1,461	1,693	1,926
5. Low Ratio to population		657	762	883	1,024	1,164
6. Average Ratio to population		783	907	1,052	1,219	1,387
Selected Model		783	907	1,052	1,219	1,387

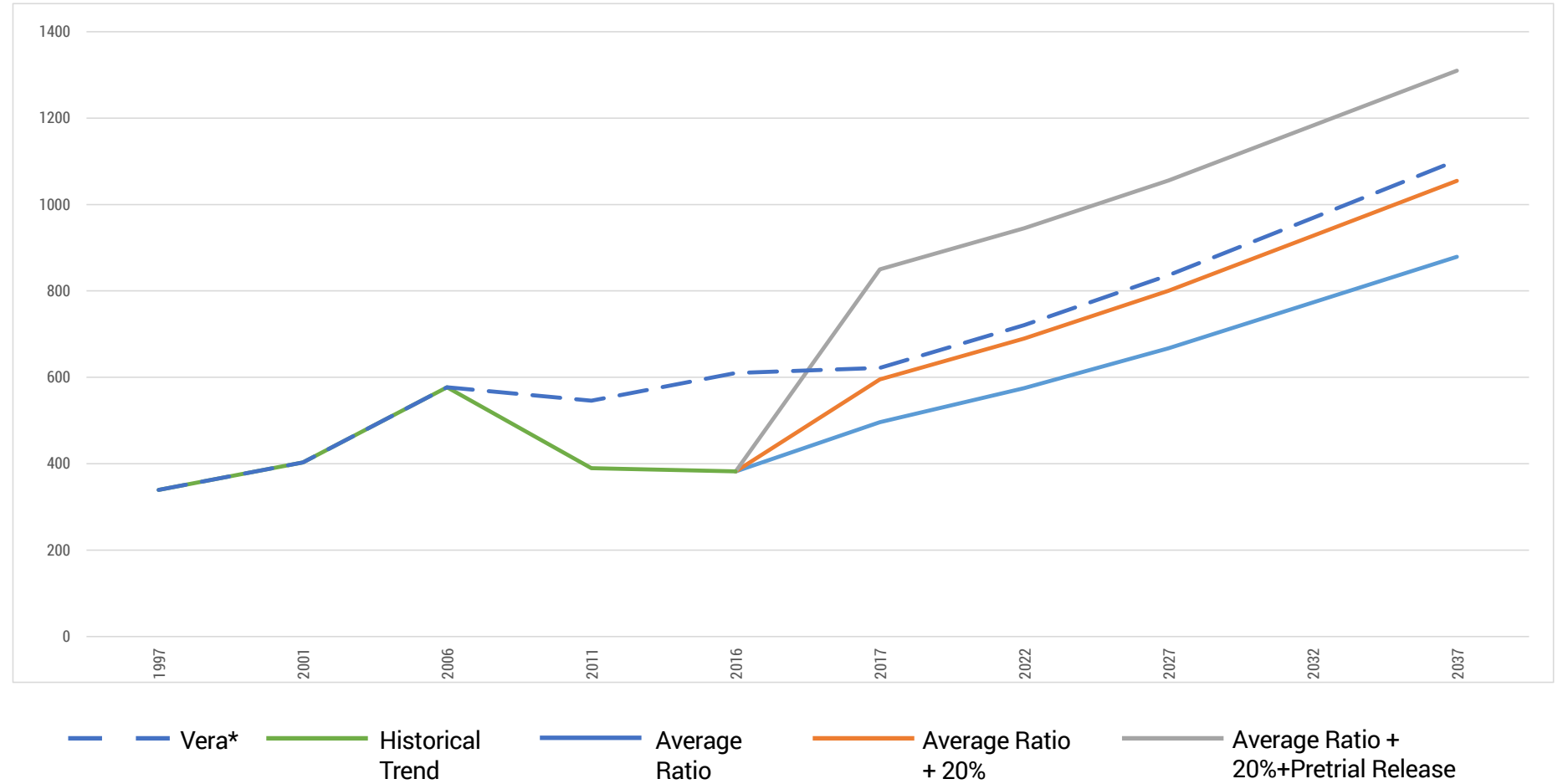
The projection, highlighted in blue, for this model is the average ratio to population. This model is not our recommended model, instead was used to inform our basis of selection shown on the following page. This model includes the scenario of pretrial and home detention persons as part of the potential population.



Inmate Population Projection Continued

Continued from the previous charts, we further examined how the selected model reflects the County's needs for the next 20 years. Best practice indicates that at 80% capacity a jail is considered full. We continued to extrapolate our data set based on the selected model to reflect best practices. In the associated chart, we have demonstrated the selected model of average ratio to population, then included the best practice model of 20% on top of this number to better reflect what the bed count should be by 2037. We have also included the typical number of inmates who are either released early or are out via programs offered by the County. The best choice of bed count is the average ratio to population plus 20%.

To better understand the numbers of our model, we pulled historical data from the VERA Institute of Justice and created a separate analysis to determine what the inmate population may have been if the artificial limit on the number of available beds in the County and the policies and programs instituted due to the limit never happened. The same methodologies were used as in the previous data set, extrapolating the data until 2037. In the associated chart, we see the VERA projection is in line with the average ratio to population plus 20%, the recommended projection as the basis of the jail space list.



*Vera Institute data projected through the years when a limited number of beds were available in Canyon County to show what the potential normative population growth might have been if not for the ACLU Decent Decree

Our recommended model is represented in the chart as Average Ratio to Population + 20%. This model has been recommended based on the analysis that has been shown previously as the best range for 2017-2037.

Projection Inmate Population	2017	2022	2027	2032	2037
Population	218,039	252,706	292,942	339,600	386,226
1. Average Ratio to population	496	575	667	773	879
2. Average Ratio to Population + 20%	595	690	800	928	1,055
3. Average Ratio to Population + 20%+Pretrial	850	945	1,055	1,183	1,310
4. High Ratio to population	776	900	1,043	1,209	1,375
5. Low Ratio to population	389	451	522	605	689
6. Existing Ratio to population	394	456	529	613	697

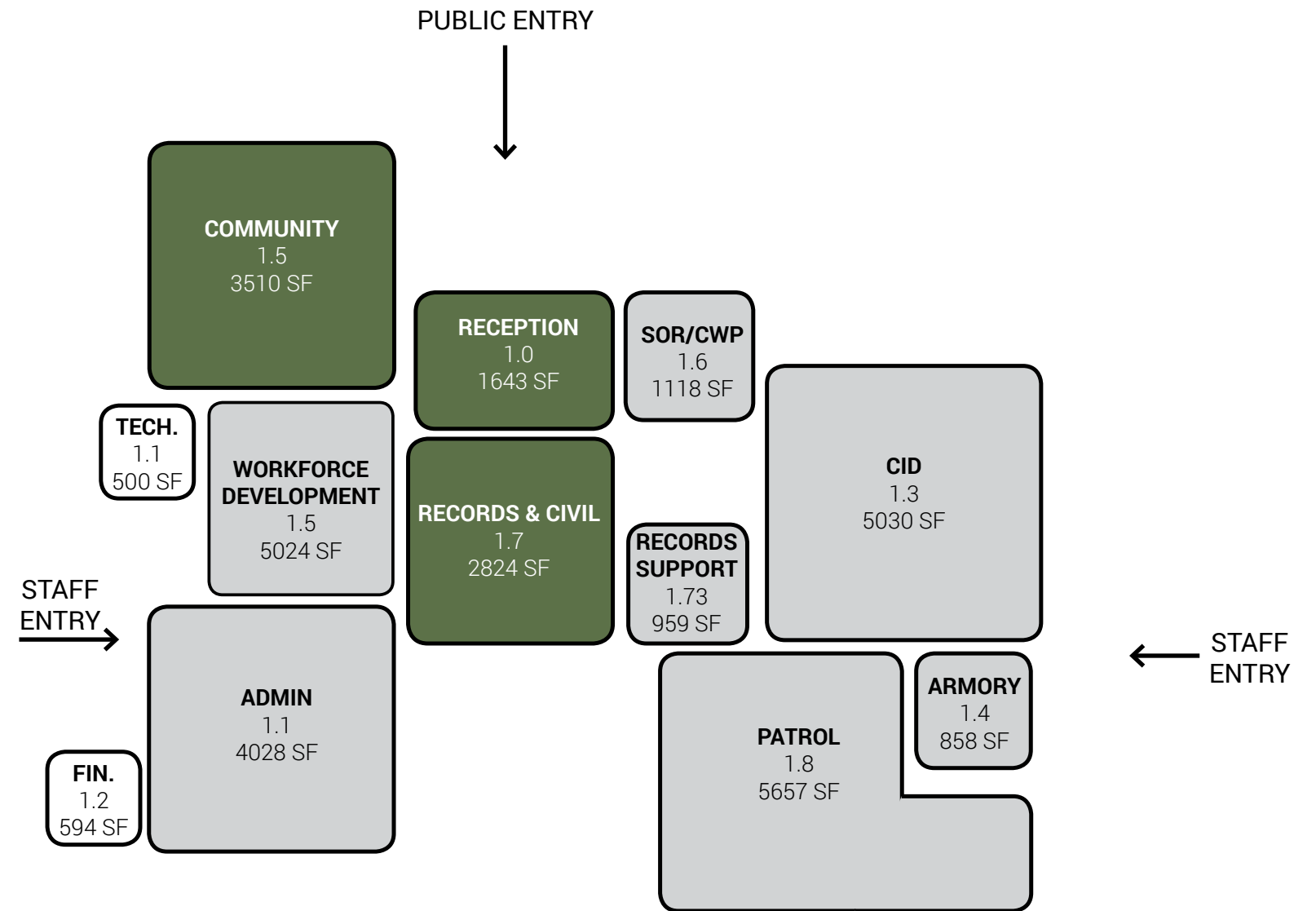
SPACE NEEDS ANALYSIS

Sheriff's Office Space Summary

The Sheriff's Office space needs were derived through interviews with command staff and users from each component. Once interviews were completed, a space list was created and reviewed with the County. Clarifications and adjustments were implemented and reviewed with County staff for confirmation.

SHERIFF'S OFFICE	Square Footage	
	DGSF	GSF
RECEPTION	1,643	1,972
ADMINISTRATION	4,028	4,834
FINANCE	594	713
CRIMINAL INVESTIGATIONS DIVISION	5,030	6,036
ARMORY	891	1,069
WORKFORCE DEVELOPMENT	5,076	6,091
RECORDS - Warrants & Dispatch to remain	3,783	4,539
PATROL	7,209	8,651
SOR/CWP	1,118	1,341
SHERIFF'S OFFICE TOTAL		35,247

Overall Sheriff's Office Adjacency Diagram



Adjacency diagrams for each component of the Sheriff's Office can be found in the appendix.



Sheriff's Office Needs Analysis

The Sheriff's Office is currently housed in the County Courthouse and has outgrown the space allocated for this function. Initial thoughts were to provide a new Sheriff's Office building at the new jail site.

As the study progressed, it became apparent that the +/- 35,000 square feet needed to house all Sheriff functions would not fit on the site with the jail and that some functions were able to better serve the citizens of Canyon County from a downtown Caldwell location. Other options for analysis include renovation of the existing jail into Sheriff's Office space or demolishing the existing jail and building a new Sheriff's Office Building in its place.

Reception

The reception area is planned with a welcoming lobby that includes a reception window, public restrooms, and 2 interview rooms. The lobby is not anticipated to be a high-volume public space, with about 10 visitors per hour on any given day.

Administration

Administration is planned as a typical office suite with offices, conference rooms, workstations, and support spaces.

		Square Footage				
RECEPTION	Type	Qty	SF / Space	Total	Notes	
1.001	Weather Vestibule	ER	1	100	100	
1.002	Lobby	OS	1	300	300	Seating for 10, space for media
1.003	Public Restroom	ER	2	180	360	
1.004	Reception	OS	1	200	200	Public side of counter & queuing
1.005	Reception Workstation	WS	1	64	64	Secure from lobby
1.006	Reception Storage	ER	1	80	80	Secure from lobby
1.007	Interview Room	ER	2	80	160	accessible from Lobby, but not directly, AV recording, hard and soft
				Subtotal	1,264	
				Grossing	379	
				Total	1,643	

ADMINISTRATION	Type	Qty	SF/Space	Total	Notes	
1.101	Sheriff	PO	1	280	280	
1.102	Chief Deputy	PO	1	200	200	
1.103	Medium Conference Room	ER	1	400	400	up to 15, between Sheriff and Chief Deputy
1.104	Administrative Secretary	WS	1	64	64	
1.105	Office	WS	1	140	140	future
1.106	Systems Administrator	PO	1	140	140	Near GIS (spillman)
1.107	System Tech	ER	1	200	200	2 WS, Shared Office + work bench
1.108	GIS Technician	ER	1	160	160	2 WS, Shared Office
1.109	Medium Conference Room	ER	1	300	300	12-15 people
1.11	Kitchenette	ER	1	60	60	1 microwaves, 1 fridge, 1 sink, etc.
1.111	Storage	ER	1	200	200	Can be divided
1.112	Workroom	ER	1	120	120	Copier, shredder, office supply storage
1.113	SO: Staff Restroom Allowance	ER	12	60	720	Allowance - to be distributed
				Subtotal	2,984	
				Grossing	1,044	
				Total	4,028	

Sheriff's Office Needs Analysis

Finance is a small suite of offices that will share support functions, such as workroom and storage, with Sheriff's Administration.

Criminal Investigations Division

Criminal Investigations Division (CID) is an office suite with an ancillary space for interviewing witnesses and suspects. There is a Lieutenant's office and two Sergeants offices with a central CID hub that serves as a collaboration space with workstation alcoves around it.

The interview suite is adjacent but separate from the CID suite and should have access to the sub-lobby. Patrol will also use this suite for their investigations. Sound mitigation is critical in these rooms as well as appropriate audio/visual capabilities.

			Square Footage		
FINANCE	Type	Qty	SF / Space	Total	Notes
1.201	Financial Manager	PO	1	160	160
1.202	Sr Finance Specialist	PO	1	140	140
1.203	Purchasing	PO	1	140	140
				Subtotal	440
				Grossing	154
				Total	594

CRIMINAL INVESTIGATIONS DIVISION	Type	Qty	SF / Space	Total	Notes	
1.301	Sub-lobby	ER	1	100	100	with back door access
1.302	Administrative Assistant	WS	1	64	64	
1.303	Crime Analyst	WS	1	64	64	future position
1.304	Lieutenant	PO	1	160	160	
1.305	Sergeant	PO	2	140	280	
1.306	CID Investigators Hub	OS	1	250	250	Investigator's alcoves adjacent
1.307	Investigators Alcove	WS	4	80	320	1 future, off CID Investigators Hub
1.308	Investigators Alcove	WS	4	80	320	off CID Investigators Hub
1.309	Investigators Alcove	WS	4	80	320	1 future, off CID Investigators Hub
1.31	Victim Witness Alcove	WS	2	64	128	1 future, off CID Investigators Hub, near Believe Room
1.311	Computer Forensics	ER	1	140	140	Future need
1.312	Kitchenette	OS	1	60	60	Sink, microwave, coffee maker
1.313	Major Case File Storage	ER	1	150	150	
1.314	Storage	ER	1	100	100	
1.315	Equipment Storage	ER	1	150	150	with work counter
1.316	Workroom	ER	1	120	120	Copier, shredder, office supply storage, closet
1.317	Medium Conference Room	ER	1	300	300	10-12 people (briefing)
1.318	Interview Room	ER	3	100	300	Hard Interview Room, AV, Attorney Monitoring
1.319	Interview Room	ER	1	140	140	Soft interview room, AV
1.32	Interview Restroom	ER	1	60	60	
1.321	Believe Room	ER	1	200	200	Soft interview room, includes separate children's area
				Subtotal	3,726	
				Grossing	1,304	
				Total	5,030	



Armory

The armory is a secure reinforced area where arms and ammunition are maintained, repaired, stored, and issued. The space includes an area for each of these functions. It is important that there is limited access to this area and that the security level is high.

Workforce Development

A Workforce Development grouping was created to align like responsibilities and workflow to a single area. This area is where the polygraph examiner is as well as personnel staff and training staff. Interview rooms are available for the employment application process as well as existing employee needs.

A large meeting room called "Community Room" is also associated with Workforce Development as it will be a great resource for both personnel and training meetings for the whole Sheriff's Office. It is intended that this room will also be available for other County functions and potentially community gatherings.

SOR/CWP

Sex Offender Registration and Concealed Weapons Permit functions are currently at the DMV registration facility in Canyon County. It is possible this function will remain at the DMV location; however, having it at the Sheriff's Office has great merit for improved functionality for each of the services.

SOR/CWP is a registration counter with support areas behind. It should be adjacent to the main lobby and reception with staff-only access to Sheriff's Administration.

		Square Footage				
ARMORY	Type	Qty	SF / Space	Total	Notes	
1.401	Armory Storage	ER	1	300	300	armory could be at warehouse if Sheriff moves with Jail
1.402	Armory Workshop	ER	1	200	200	
1.403	Armory Weapon Cleaning	ER	1	100	100	
1.404	Armory Sally Vestibule	ER	1	60	60	
				Subtotal	660	
				Grossing	231	
				Total	891	

WORKFORCE DEVELOPMENT	Type	Qty	SF / Space	Total	Notes	
1.501	Community Room	ER	100	25	2,500	adjacent to Sheriff's Lobby, sink/coffee counter
1.502	Community Room Storage	ER	1	200	200	opens into Community Room
1.508	Polygraph Examiner	PO	1	160	160	Polygraph monitoring area
1.509	Polygraph Room	PO	1	100	100	acoustical treatment
1.51	Personnel Supervisor	PO	1	140	140	
1.511	Personnel	PO	1	160	160	2 workstations
1.512	Training Supervisor	PO	1	140	140	
1.513	Training	PO	1	160	160	2 workstations, Future
1.514	Interview Room	ER	2	100	200	
				Subtotal	3,760	
				Grossing	1,316	
				Total	5,076	

		Square Footage				
SOR/CWP	Type	Qty	SF/Space	Total	Notes - off Sheriff's Lobby	
1.601	Sub-lobby	OS	1	100	100	
1.602	Processing	ER	1	100	100	Counter with sink and lower and upper storage
1.603	Customer Service Specialist	WS	2	64	128	1 future
1.604	Files	ER	1	100	100	
1.605	Workroom	ER	1	120	120	
1.606	Service Counter	OS	1	140	140	2 stations
1.607	Supervisor	PO	1	140	140	
				Subtotal	828	
				Grossing	290	
				Total	1,118	Another option is for this component to stay where it is with reconfiguration at the DMV office

Records

Records & Civil is an office suite with a high level of interaction with the public. This interaction may decline in the future through online records access; however, for the near-term, this highly interactive component of the Sheriff's Office is being planned for a face-to-face relationship with Canyon County citizens.

The counter area is secure and provides 3 stations with a queuing area for 10 and seating for 5 people. The rest of the area includes two offices and 12 workstations. There is also an interview room adjacent to both Records and the lobby for any private or longer duration interactions the public might have with Sheriff's staff.

Warrants

The warrants area was planned to have four work spaces and file storage; however, after discussion with stakeholders, it was determined that the warrants function will remain with dispatch in the existing County Courthouse.

Records Support

These staff are supported with a file storage room, a workroom for copiers, recycling, office supply storage and the like. There is also a general storage room that can be used when paper files are being transitioned between active needs and archives.



		Square Footage				
RECORDS & CIVIL	Type	Qty	SF/Space	Total	Notes	
1.701	Lieutenant	PO	1	160	160	See and hear counter
1.702	Records/Civil Supervisor	PO	1	140	140	See and hear counter
1.703	Records/Civil Lead	WS	1	64	64	
1.704	Administrative Technicians	WS	10	64	640	2 Future
1.705	Interview Room	ER	1	100	100	Off lobby
1.706	File Storage	ER	1	400	400	high density
1.707	Temp Workstations	WS	2	48	96	Hot seated
1.708	Public Service Counter Workstation	WS	3	64	192	ADA, hot seated
1.709	Public Service Counter	OS	1	220	220	3 windows, 2 standing, 1 ADA, glazed, queuing
1.71	Public Service Waiting	ER	1	80	80	Bench seating for 5
				Subtotal	2,092	
				Grossing	732	
				Total	2,824	

WARRANTS - REMAINS WITH DISPATCH	Type	Qty	SF/Space	Total	Notes
1.721	Supervisor	PO	1	140	-
1.722	Administrative Technicians	WS	3	64	-
1.723	Workspace	ER	1	100	- future
1.724	Warrant Files	OS/ER	1	400	- High density
				Subtotal	-
				Grossing	-
				Total	-

		Square Footage				
RECORDS SUPPORT	Type	Qty	SF/Space	Total	Notes	
1.731	Medium Conference	ER	1	300	300	up to 15 (emergency mgmt)
1.732	Workroom	ER	1	250	250	Shared, 2 large copiers, upper and lower cabinets
1.733	Kitchenette	ER	1	60	60	microwave, fridge, sink, etc.
1.734	General Storage	ER	1	100	100	
				Subtotal	710	
				Grossing	249	
				Total	959	



Patrol

The Patrol area is a highly active area with staff coming and going 24/7. There is an office component for command staff, animal control and the civil deputy. Patrol deputies use a report writing room, briefing room, duty bag storage, evidence processing, and a mud room.

K-9 support spaces are included in the patrol area. There is a K-9 storage area, a workroom with a bathing station, dog food, supplies and training gear, and 4 kennels that can house dogs when their handlers are out of town.

Locker rooms for the Sheriff's Office are located at the edge of Patrol. This includes a male locker room with 40 lockers and 3 bathroom/shower areas. The female locker room has 10 lockers and 2 bathroom/shower areas.

PATROL	Type	Square Footage		Notes		
		Qty	SF/Space		Total	
1.801	Captain Office	PO	1	180	180	
1.802	Lieutenant Office	PO	2	160	320	
1.803	Sergeant/Corporal Office	ER	4	160	640	Shared office, 2 WS
1.804	Animal Control	ER	1	160	160	Shared office, 2 WS
1.805	Corporal K-9	ER	1	140	140	
1.806	K-9 Storage	ER	1	100	100	
1.807	K-9 Kennels	ER	4	150	600	Indoor/Outdoor
1.808	K-9 Workroom	ER	1	120	120	Bathing sink, food storage, training supplies.
1.809	Civil Deputy	ER	1	160	160	Shared Corporal & Deputies
1.81	Briefing Room	ER	1	400	400	
1.811	Duty Bag Storage	ER	1	50	50	For 60 lockers in report writing room
1.812	Evidence Processing Room	ER	1	100	100	Slam lockers
1.813	Kitchenette	OS	1	60	60	Microwave, sink, coffee maker
1.814	Multipurpose Staff Room	ER	1	100	100	soft furniture, Shared with Dispatch (If colocated)
1.815	Report Writing Room	ER	14	35	490	2 DIM stations, 8 reports, 4 download
1.816	Work Room	ER	1	120	120	Copier, storage for notebooks and forms
1.817	Mud Room	ER	1	250	250	Washer, dryer, drying cabinet, boot wash station, boot dryer, garment rack, floor drain, utility sink, work counter, eye wash station, near patrol entrance
1.818	Equipment Storage	ER	1	200	200	Secure
1.819	Locker Room: Male	ER	40	15	600	high school size full height lockers with boot space
1.82	Locker Room: Female	ER	10	15	150	high school size full height lockers with boot space
1.821	Locker Room: Male Bathroom Area	ER	3	80	240	restrooms with shower, 1 ADA
1.822	Locker Room: Female Bathroom Area	ER	2	80	160	restrooms with shower, 1 ADA
				Subtotal	5,340	
				Grossing	1,869	
				Total	7,209	



Jail Space Summary

The jail space needs were derived through interviews with command staff and users from each component. Once interviews were completed, a space list was created and reviewed with the County. Clarifications and adjustments were implemented.

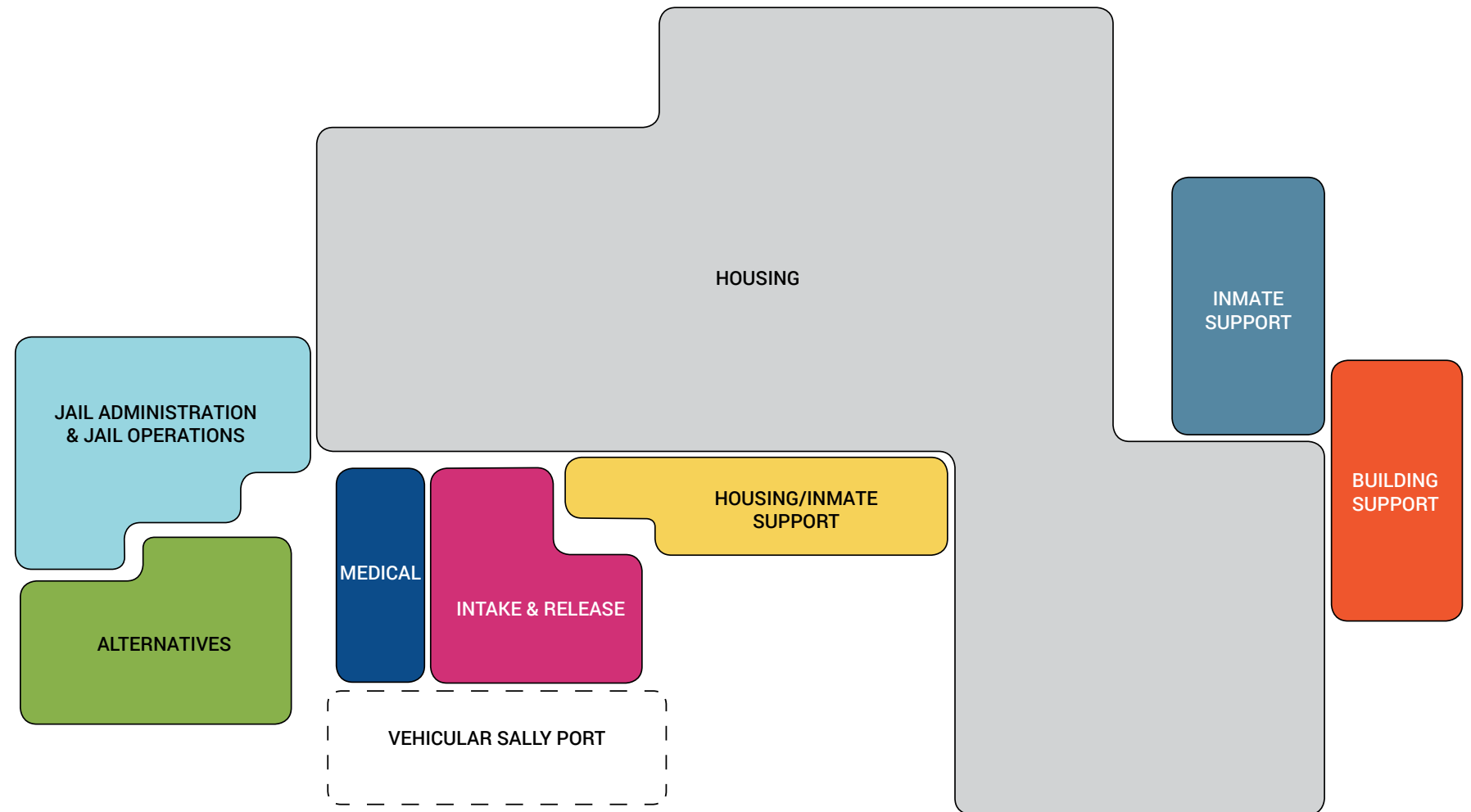
Housing components account for approximately 66% of the overall square footage with the square foot per inmate just under 300 at 298. As an indicator of efficiency, square footage per inmate ranges from about 215 to over 600. At 215 SF/inmate, a jail is designed as a place to house inmates with minimal programming for inmates or support spaces for staff. As a jail approaches the 600 SF/inmate range, it is a more specialized facility with intensive programming and a high number of staff.

At 300 SF/inmate, Canyon County's proposed new jail is appropriate for a jail to safely house inmates with inmate program areas and staff areas to support a mission to reduce recidivism.

JAIL	DGSF	GSF
ADMINISTRATION	4,949	5,645
RECEPTION	1,985	2,264
STAFF SUPPORT	10,935	12,473
OPERATIONS	12,120	13,824
MEDICAL	6,256	7,136
INTAKE & RELEASE	20,767	23,688
HOUSING	167,009	190,495
WORK RELEASE	10,341	11,795
FOOD SERVICE	8,632	9,846
LAUNDRY	4,654	5,308
FACILITIES/WAREHOUSE	13,967	15,931
Bldg System, Bldg Common & Circulation, Exterior Wall	36,791	NA
JAIL TOTAL	298,405	
	SF/Inmate	286

Bed Count	Beds	Pods
Maximum Housing	108	5
Medium Housing	344	8
Low Medium	512	8
Work Release	80	2
Total Bed Count	1,044	23

Overall Jail Adjacency Diagram



Adjacency diagrams for each component of the Sheriff's Office can be found in the appendix.



Jail Administration

Jail Administration includes most functions required to run the jail that do not need to be in the secure perimeter. Administration starts with a reception counter to the lobby. The public approach to the jail will be through a civic entrance and welcoming lobby. The lobby area includes a reception window, video visiting alcoves or carrels, non-contact visiting vestibules, public restrooms, access to the hearings room, and secure access into administration and the secure perimeter of the jail.

The lobby and visiting components (visiting is described in the Jail Operations section) of the jail are built to serve a jail of 2,000 provided that the jail increases its usage of video visiting, video court and web-based services for providing information to the public, inmate accounts and the like.

The bulk of public visiting is anticipated to take place off-site via video.

Behind the lobby and visiting areas are 5 staff offices, 5 workstations, 1 small conference room, 1 medium conference room, mail room, an IT workroom briefing room, storage space, a kitchenette, and a workroom.

Jail Administration is not sized to support future expansion of jail beds.

			Square Footage			
ADMINISTRATION	Type	Qty	SF/Space	Total	Notes	
2.001	Captain/Jail Commander	PO	1	180	180	with CCTV feed
2.002	Lieutenant Office	PO	2	160	320	with CCTV feed
2.003	Compliance Sergeant	ER	1	140	140	
2.004	Compliance Corporal	WS	2	64	128	1 Future
2.005	Office	ER	1	140	140	Future Growth
2.006	Lead Administrative Technician	PO	1	140	140	
2.007	Administrative Technicians	WS	3	64	192	Program provider
2.008	Administrative Secretary	WS	1	64	64	
2.009	IT	WS	2	64	128	WS, Combined with Work Room, 1 future
2.010	IT Work Room	ER	1	120	120	Combined with IT Work Station
2.011	Mail Room	ER	1	250	250	2 WS and work area, mail slots for staff through wall
2.012	Briefing Room	ER	1	750	750	up to 30 in classroom setting
2.013	Medium Conference Room	ER	1	400	400	up to 15, near Jail Commander
2.014	Small Conference Room	ER	1	250	250	up to 8
2.015	Property Control	WS	1	64	64	
2.017	Storage	ER	2	100	200	
2.018	Kitchenette	OS	1	60	60	Microwave, sink, coffee maker
2.019	Workroom	ER	1	140	140	Copier, shredder, office supply storage
				Subtotal	3,666	
				Grossing	1,283	
				Total	4,949	

			Square Footage			
RECEPTION	Type	Qty	SF / Space	Total	Notes	
2.101	Lobby	OS	1	600	600	Hardened lobby
2.102	Reception Counter	ER	1	200	200	Public side. 2 Walk-up spaces +1 ADA
2.103	Reception Workstation	ER	1	200	200	Secure. 2 Walk-up spaces +1 ADA
2.104	Interview Room	ER	2	100	200	AV recording, 1 soft, not open directly into lobby
2.105	Public Restroom	ER	2	60	120	with baby changing station
2.106	Video Visitation Alcove	ER	1	150	150	6 stations
				Subtotal	1,470	
				Grossing	515	
				Total	1,985	

Staff Support

Staff Support has a few components. Staff lockers are currently in the space list as an allowance for male and female staff, with flexibility built in should there be any changes in the future in staff count. There is an overshift room with 2 sets of bunk beds for staff to use if they are held late on a shift or if there is some other reason they cannot leave the facility (weather). A small wellness room is provided for staff use and can also serve as a lactation room when needed. A fitness room is provided that should include exercise machines and free weights, and will be accessible to any County employee. Also included in staff support is training classroom, tactical room, and necessary associated spaces.

STAFF SUPPORT	Type	Square Footage			Notes	
		Qty	SF / Space	Total		
2.201	Breakroom	ER	2	600	1,200	Allowance - one in admin & one inside secure area
2.202	Staff Restrooms	ER	8	60	480	Allowance - will be distributed
2.203	Locker Room	ER	100	15	1,500	15SF/staff - Allowance (Male & Female)
2.204	Locker Room Restrooms	ER	6	60	360	3 - Male 3- Female
2.205	Staff Showers	ER	5	60	300	3 - Male 2- Female
2.206	Overshift Room	ER	2	120	240	Near staff support. Bunk room for staff
2.207	Wellness	ER	1	80	80	Near staff lockers/main support areas. Sink and undercounter fridge.
2.208	Janitor's Closet	ER	6	40	240	Allowance - will be distributed
2.209	Fitness Room	ER	1	800	800	Exercise machines and free weights
2.21	Training: Tactical	ER	1	1,000	1,000	
2.211	Training: Tactical Storage	ER	1	200	200	
2.212	Training: Classroom	ER	1	1,500	1,500	44 people classroom setting
2.213	Training: Mat Storage	ER	1	100	100	Could be combined with Equip storage
2.214	Training: Equipment/Table Storage	ER	1	100	100	Could be combined with Mat storage
Subtotal					8,100	
Grossing					2,835	
Total					10,935	



Jail Operations

Jail operations comprises necessary components for the jail functions, including CERT, Control, Court and Professional Visitation. CERT (Corrections Emergency Response Team) has a locker/equipment room for necessary equipment, an armory that is secure outside the perimeter, and a rest room.

Three control rooms are included, one for each housing unit, with associated spaces of an equipment room and restroom. This helps for ease of access by staff working in the control room.

The hearings room is provided at the jail to reduce the need to transport inmates. Nearly all of the proceedings that will occur at the jail will be associated with an in-custody offender. There will be room off the jail's main lobby for security screening for all people entering the hearings room. The hearing room will include a 30-person gallery (group seating area), a well (court staff and lawyer area) with center raised dais and clerk, bailiff, court reporter, and witness stations. There will be no jury area. Two interview rooms on either side of the hearings room entrance will act as a sound vestibule between the lobby and the hearings room. Supporting the hearings room will be a separate administration area with space for workstations, 1 judge's chamber (shared by all judges), storage, 1 restroom, and a small kitchenette.

The hearing room is sized to function for the initial 1,000-bed jail facility. Future expansion of the jail may require additional hearing room(s) to be added. The hearing room is not intended to be a place for the public to attend the proceedings. The facility is planned to allow for video streaming of proceedings for the general public to view at the courthouse.

Video court is currently being used by Canyon County and will continue to be used in the new facility. This will include 5 video court booths and 1 ADA video court booth. This area will also have 2 inmate holding areas that have enough space for up to 6 inmates to wait as well as 3 single holding rooms. There will also be a video court office and a staff restroom.

			Square Footage			
CERT	Type		Qty	SF/Space	Total	Notes
3.001	Locker/Equipment Room/Muster	ER	15	35	525	Large lockers for 15
3.002	Restroom	ER	1	60	60	
3.003	Vestibule	ER	1	60	60	secure to enter Lockers/Armory (3-way interlock)
3.004	CERT Armory	ER	1	150	150	Secure - outside perimeter, cleaning area, clearing barrel, sink
					Subtotal	795
					Grossing	278
					Total	1,073

			Qty	SF / Space	Total	Notes
CONTROL	Type					
3.101	Control	ER	3	850	2,550	Elevated, 2 stations
3.102	Control Sally Vestibule	ER	3	100	300	Interlock to enter Control. Stairway.
3.103	Control Restroom	ER	3	60	180	Adjacent to Control
3.104	Control Equipment Room	ER	3	400	1,200	Interlock with SV and Control
					Subtotal	4,230
					Grossing	1,481
					Total	5,711

			Square Footage			
COURT	Type		Qty	SF / Space	Total	Notes
3.201	Hearings Room	ER	1	1,200	1,200	Bench, well, inmate seating for 30, bench is able to be closed off by movable wall, ADA, plan for additional 1 future. Public views via video at courthouse
3.202	Court Workspace	ER	1	500	500	Small chambers, clerk area, restroom
3.203	Hearings Room Vestibule	ER	1	80	80	Secure Sally from Lobby
3.204	Video Court Booth	ER	5	80	400	1/2 glass door, cuff port, secured video equipment
3.205	Video Court Booth (ADA)	ER	1	120	120	1/2 glass door, cuff port, secured video equipment
3.206	Inmate Holding	ER	2	150	300	wet, up to 6 inmates.
3.207	Single Holding	ER	3	80	240	wet
3.208	Video Court Office	PO	1	140	140	
3.209	Staff Restroom	ER	1	60	60	
					Subtotal	3,040
					Grossing	1,064
					Total	4,104

Professional Visiting

Professional visitation has space both within the reception and in each housing unit to allow for limited movement by inmates. This includes 8 non-contact booths and 1 ADA booth that has space for both professional visitors and inmates. Each housing pod has a similar setup where inmates are able to meet with their professional visitors without needing to leave their housing unit. There are 12 professional visitation booths dispersed throughout the housing units.

PROFESSIONAL VISITATION			Square Footage			Notes
			Qty	SF / Space	Total	
3.301	Professional Visiting Booth	ER	8	40	320	non-contact. With ability for visitor to share audio/video with inmate
3.302	Professional ADA Visiting Booth	ER	2	60	120	non-contact, with paper pass. With ability for visitor to share audio/video with inmate
3.303	Inmate Visiting Booth	ER	8	40	320	non-contact. With ability for visitor to share audio/video with inmate
3.304	Inmate ADA Visiting Booth	ER	2	60	120	non-contact, with paper pass. With ability for visitor to share audio/video with inmate
3.305	Profesional Visiting @ Pod	ER	12	40		Professional side, non-contact, with paper pass. SF of cell used for this purpose is counted, so no added SF needed.
3.306	Profesional Visiting @ Pod Circulation	ER	0	12,000	-	allowance for circulation to each pod. 2,400LFx5FT -
					Subtotal	880
					Grossing	352
					Total	1,232



Medical

Health services includes medical, mental health, and dental services. The clinic (medical) area is where inmates would enter into holding cells from the main corridor of the jail and medical staff can triage and treat as necessary. This area has 3 standard exam rooms and a trauma/procedure room, biohazard room, and 2 interview rooms. Supporting the exam rooms are a laboratory, inmate toilet, x-ray room, secure medication storage, clean and dirty utility rooms. Administrative space for medical providers to perform electronic charting, a health services administrator, director of nursing, a medical director, a mental health provider, nurses' station, storage, and staff restroom are included.

A dental operatory with space for 2 dental chairs is included in the medical clinic and has a lab and storage area to support the needs of the dental function.

MEDICAL CLINIC		Type	Square Footage			Notes	
			Qty	SF/Space	Total		
4.001	Holding	ER	2	150	300	Group waiting up to 6	
4.002	Holding	ER	1	50	50	single waiting	
4.003	Nurse Station	OS	6	64	384	Open counter, with 6 WS	
4.004	Exam Room	ER	3	140	420	exam table, sink counter with lockable storage, provider desk	
4.005	Trauma/Procedure Room	ER	1	180	180	exam table, sink counter with lockable storage, provider desk	
4.006	Lab	ER	1	140	140	Counters with uppers and lower storage, sink, refrigerator	
4.007	Inmate Restroom	ER	1	60	60		
4.008	Staff Restroom	ER	1	60	60		
4.009	Storage	ER	2	200	400	1 for Equipment and 1 for General Storage	
4.010	Health Services Administrator	PO	1	140	140		
4.011	Director of Nursing	PO	1	140	140		
4.012	Medical Director	PO	1	140	140		
4.013	Providers - Electronic Charting	ER	1	200	200	4-5 work stations	
4.014	Secure Medication Storage	ER	1	300	300	Counters with uppers and lower storage, sink, refrigerator	
4.015	Medication Storage Prep Room	ER	1	140	140	Counters with uppers and lower storage, sink, Cart storage to fit 4	
4.016	Clean Utility	ER	1	100	100	Counters with uppers and lowers, sink	
4.017	Soiled Utility	ER	1	100	100	Counters with uppers and lowers, sink, flushing sink	
4.018	Janitor's Closet	ER	1	40	40	mop sink, custodial supplies	
4.019	Biohazard	ER	1	50	50	floor drain, adjacent to sally	
4.020	Xray	ER	1	350	350	digital, with space for ultra sound	
4.021	Mental Health Office	ER	1	140	140		
4.022	Interview Room	ER	2	100	200		
4.023	Dental Operatory	ER	1	300	300	Space for 2 chairs	
4.024	Dental Lab	ER	1	100	100	Counter with upper and lower storage, sink.	
4.025	Office	ER	1	100	100	adjacent to dental, but off main hallway	
4.026	Dental Equipment	ER	1	100	100	compressor, amalgam separator, vacuum pump	
					Subtotal	4,634	
					Grossing	1,622	
					Total	6,256	



Intake, Release, and Transport

Intake begins at the vehicular sallyport. The sallyport has 3 drive lanes, parking for up to 8 vehicles and is adjacent to medical for any emergency needs. In the pre-intake area there is a Law Enforcement report writing area and restroom off of this sallyport, a decontamination cell with a shower and combi unit, a Breathalyzer/interview room, and a body scanner station.

Moving into intake there is clothing storage, dress-in cubicles, 4 group holding rooms, and 12 single holding cells. From Intake, the process moves to booking where there is an open booking area with seating for inmates who are behaving appropriately. The Booking Counter has 5 positions and 2 interview rooms. The Booking area includes a Classification office with up to 6 workstations, leaving room for future growth, a Classification Supervisor Office, Intake/Release Corporal, medical screening alcove and a mental health screening alcove. Support spaces for this area include storage, inmate property processing and storage, evidence, staff restroom, inmate restroom, and an inmate attorney phone call room.



		Square Footage			Notes	
PRE-INTAKE	Type	Qty	SF/Space	Total		
5.001	Vehicular Sally Port	1	8,000	4,000	8 parking spaces, 2 drive lanes, enclosed, tempered (counted at 50% for costing)	
5.002	Pre Intake Processing	ER	1	600	600	Open area with staff station. Kiosk for inmate \$
5.003	Body Scanner	OS	1	80	80	Scan everyone in pre intake
5.004	BAC/Interview	ER	2	100	200	1 BAC machine
5.005	Decontamination/Inmate Toilet	ER	1	80	80	Shower, floor drain, combi
5.006	Report Room	ER	1	140	140	For law enforcement off pre intake, window into interview rooms
5.007	Staff Restroom	ER	1	60	60	For law enforcement off report room
				Subtotal	5,160	
				Grossing	1,032	
				Total	6,192	

		Square Footage			Notes	
INTAKE	Type	Qty	SF/Space	Total		
5.201	Open Seating	OS	1	1,000	1,000	Open seating for 20-25. Adjacent to intake processing. TV.
5.202	Inmate Toilet	ER	2	60	120	for inmates in Open Seating, remote flush
5.203	Individual Holding	ER	12	80	960	wet, AV, cuff port, 7LF of bench, up to 3 inmates
5.204	Padded Cells	ER	2	80	160	Padded, flushing floor toilet
5.205	Group Holding	ER	4	150	600	wet, AV, cuff port, 13LF of bench, 6 inmates
5.206	Intake Interview Room	ER	2	100	200	AV Recording
5.207	Intake Processing Stations	OS	5	64	320	raised, counter, privacy fins between stations, computer on staff side. 1 ADA (lower)
5.208	File Room	ER	1	200	200	High density storage 1/2" average file size
5.209	Workroom	ER	1	120	120	copier, shredder, office supplies
5.210	Medical Screening	OS	1	100	100	alcove
5.211	Mental Health Screening	OS	1	100	100	alcove
5.212	Classification	ER	6	64	384	6 WS, 2 future
5.213	Classification Supervisor	PO	1	160	160	
5.214	Intake/Release Corporal	PO	1	160	160	raised?
5.215	Evidence	ER	1	140	140	Secure processing & storage of evidence
5.216	Storage	ER	2	100	200	general equipment & supplies
5.217	Change-In Area	ER	1	200	200	3 booths with shower
5.218	Clothing Issue	ER	1	600	600	shelving, adjacent to Change-In . Clothing and shoes only. Bedding & hygiene distributed at central supply.
5.219	Inmate Date Supplies	ER	1	100	100	shelving, refrigerator
5.220	Inmate Property Processing	ER	1	300	300	Vacuum machines, supplies, W&D, 20SF drying cabinet
5.221	Inmate Property	ER	1,050	1.5	1,575	Vaccumed sealed bags.
				Subtotal	7,699	
				Grossing	3,465	
				Total	11,164	



Release is a separate, but connected, area from Intake/Booking with access to the sallyport. It has a group waiting area, 2 single cells, dress-out, laundry alcove, changing room, property staging, GPS room, storage and a release office and counter.

Transport has a separate area that includes an office, storage, changing staging, change in/out, 4 individual holding cells and 2 group holdings for up to 6 inmates at a time.

			Square Footage			Notes
RELEASE	Type	Qty	SF/Space	Total		
5.301	Release Office	PO	1	140	140	
5.302	Release Service Counter	OS	1	100	100	2 release stations served by intake processing counter staff
5.303	Waiting	ER	1	100	100	seating
5.304	Single Holding	ER	2	80	160	
5.305	Laundry Alcove	OS	1	80	80	Inmate uniform laundry cart
5.306	Changing Room	ER	2	50	100	
5.307	Property Staging	ER	1	100	100	
5.308	Storage	ER	1	100	100	
5.309	Sally Vestibule	ER	1	100	100	
5.31	GPS Room	ER	1	140	140	Off Sally
					Subtotal	1,120
					Grossing	392
					Total	1,512

			Square Footage			Notes
TRANSPORT	Type	Qty	SF / Space	Total		
5.101	Transport Office	ER	1	200	200	
5.102	Transport Storage	ER	1	50	50	
5.103	Staff Restroom	ER	1	60	60	Serves all of ITR
5.104	Change In/Out	ER	1	200	200	3 booths - no shower.
5.105	Changing Staging	OS	1	80	80	Inmate uniform exchange for court
5.106	Individual Holding	ER	4	80	320	wet, AV, cuff port, 7LF of bench, up to 3 inmates
5.107	Group Holding	ER	2	150	300	wet, AV, cuff port, 13LF of bench, 6 inmates
5.108	Sally Vestibule	ER	1	100	100	Into Sally Port &/or release door
					Subtotal	1,310
					Grossing	590
					Total	1,900



Housing

Inmate housing is composed of different levels of security; maximum, medium, and special housing units. A maximum pod includes 22 single cells while medium pods have the same 22 cells, each with two bunks. Quad cells are larger and have four bunks in each. All cells include a combi unit (combined toilet and sink fixture), bunk(s), desk and stool, and a shelf with clothing hooks. All cells are arranged around an open dayroom area that has tables for meals, some soft seating, television(s), and an officer's station. Shower facilities are also in the dayroom.

The special housing units will be double-celled but can be used as single cells depending on the needs of that specific population. The special housing unit will include 4 negative pressure cells in case there are any health needs that a specially housed inmate might have.

All pods can be viewed from the housing control room on the mezzanine level. The two general population housing units each have a large outdoor recreation yard. The maximum housing units have 10 dedicated single outdoor recreation areas.

Each housing unit has a dedicated program space to reduce inmate movement throughout the rest of the jail. Program space allows for classes and trainings to be delivered to each housing unit separately so that more inmates are able to attend.

			Square Footage			
MAX HOUSING		Type	Qty	SF/Space	Total	Notes
6.001	Single Cell	ER	22	80	1,760	Wet, Sliders, wrist & ankle ports
6.002	Dayroom	ER	44	50	2,200	May be larger due to geometry
6.003	Staff Station	OS	1	100	100	raised open station
6.004	Showers	ER	6	50	300	1 ADA
6.005	Non Contact Attorney Visit	ER	1	50	-	At each dayroom. Atty accesses without going into the secure side of the jail. SF of cell used for this purpose is counted, so no added SF needed
6.006	Janitor's Closet	ER	1	35	35	
					Subtotal	4,395
					Grossing	1,978
					Total 1 Pod	6,373
					Total 5 Pods	25,491

110 Inmates

MAX HOUSING SUPPORT		Type	Qty	SF/Space	Total	Notes
6.010	Multipurpose	ER	1	300	300	up to 12 people
6.011	Individual Outdoor Recreation	ER	10	180	1,800	minimum 180 SF each
6.012	Outdoor Recreation	ER	1	750	750	for SN pods
6.013	Office	ER	1	160	160	
6.014	Interview	ER	2	80	160	AV recorded.
6.015	Interview	ER	1	120	120	with sink and lockable cabinets
6.016	Storage	ER	4	10	40	Storage at corners of 'crop circle'
					Subtotal	3,330
					Grossing	1,332
					Total	4,662



MEDIUM HOUSING - DOUBLES		Type	Square Footage			Notes
Item	Description		Qty	SF/Space	Total	
6.101	Double Cell	ER	22	80	1,760	Wet
6.102	Dayroom	ER	44	50	2,200	May be larger due to geometry
6.103	Staff Station	OS	1	100	100	raised open station
6.104	Showers	ER	6	50	300	1 ADA
6.105	Non Contact Attorney Visit	ER	1	50	-	At each dayroom. Atty accesses without going into the secure side of the jail. SF of cell used for this purpose is counted, so no added SF needed.
6.106	Janitor's Closet	ER	1	35	35	
					Subtotal	4,395
					Grossing	1,978
					Total 1 Pod	6,373
					Total 8 Pods	50,982

these units will include 2 special housing pods - for medical/mental health. One will have 4 negative pressure cells for males and the other will have 2 for the females.

352 Inmates

GENERAL POPULATION HOUSING - QUADS		Type	Qty	SF/Space	Total	Notes
6.201	Quad Cell	ER	16	160	2,560	Wet
6.202	Dayroom	ER	64	50	3,200	May be larger due to geometry
6.203	Staff Station	OS	1	100	100	raised open station
6.204	Showers	ER	8	50	400	1 ADA
6.205	Non Contact Attorney Visit	ER	8	50	-	at double units
6.206	Janitor's Closet	ER	1	35	35	
					Subtotal	6,295
					Grossing	2,833
					Total 1 Pod	9,128
					Total 8 Pods	73,022

512 Inmates

MEDIUM HOUSING SUPPORT		Type	Square Footage			Notes
Item	Description		Qty	SF/Space	Total	
6.301	Multipurpose	ER	4	600	2,400	20 inmates + staff, classroom setting
6.302	Multipurpose	ER	6	400	2,400	12 inmates + staff, classroom setting
6.303	Outdoor Recreation	ER	2	1,500	3,000	
6.304	Housing Sergeant Office	ER	1	200	200	
6.305	Interview	ER	6	100	600	3 each unit. AV recorded. 1 with sink and lockable cabinets
6.306	Storage	ER	8	10	80	Storage at corners of 'crop circle'
6.307	Programs Office Suite	ER	1	500	500	Storage, WS space, workroom
					Subtotal	9,180
					Grossing	3,672
					Total	12,852



Work Release

Work release is designed as a dormitory setting, with separate units for males and females. Currently, Canyon County is unable to provide work release for females due to lack of space. This will allow females to participate in the work release program.

Work release support spaces include a dress in/out for both males and females, 2 UA (urine analysis) rooms, an allowance for restrooms, staff office, station, and staff restroom. The staff station will have visibility into both dormitories.

WORK RELEASE			Square Footage			Notes
			Qty	SF/Space	Total	
7.101	WR: Office	PO	1	140	140	may be combined with staff station, divided with view into dorms and dress-in/out.
7.102	WR: Male Dress In/Dress Out	ER	50	18	900	50 1/4 height lockers clean, 50 1'x2' full height lockers dirty, processing, interview room
7.103	WR: Female Dress In/Dress Out	ER	30	18	540	30 1/4 height lockers clean, 30 1'x2' full height lockers dirty, processing, interview room
7.104	WR: UA	ER	2	80	160	at 'dirty' side
7.105	WR: Male Dorm	ER	50	60	3,000	Dormitory and dayroom
7.106	WR: Female Dorm	ER	30	60	1,800	Dormitory and dayroom
7.107	WR: Restrooms	ER	2	450	900	Restroom, showers 1:8, 1 in each dorm ADA
7.108	WR: Staff Station	ER	1	160	160	View into both dorms
7.109	WR: Staff Restroom	ER	1	60	60	
					Subtotal	7,660
					Grossing	2,681
					Total	10,341



Inmate Support

Food Service is planned to be a cook for the serving delivery method where meals are prepared just prior to delivery to the housing units. All meals will be served (via carts and trays) to each unit. Offenders will either eat in the dayroom or their cell depending on custody level. The kitchen is sized to prepare food for the full build-out of approximately 2,000 beds, though freezer, cooler, and dry storage will need to be added as the population grows.

Laundry is planned to serve the initial 1,000-bed population with one shift per day. Future expansions would accommodate the increased population by adding incremental shifts to manage the need.

			Square Footage			
FOOD SERVICE	Type	Qty	SF / Space	Total	Notes	
8.001	Supervisor Office	PO	1	160	160	
8.002	Staff Restroom	ER	1	60	60	
8.003	Inmate Restroom	ER	1	60	60	
8.004	Secure Storage	ER	1	80	80	near office
8.005	Cart Staging	OS	1	500	500	floor drain
8.006	Cart Cleaning Alcove	ER	1	80	80	With floor drain, cart wash, can wash
8.007	Food Prep Area	OS	1	1,800	1,800	Tables, hand sinks, traying area, ice machine
8.008	Cooking Area	OS	1	800	800	2 kettles, 2 skillets, 2 combi's, 4 oven
8.009	Training Area	OS	1	200	200	
8.01	Wash Area	OS	1	500	500	dishwash line, 3 compartment sink, hand sink, scraping stations.
8.011	Freezer	ER	1	600	600	Shelving, size to be confirmed with inmate count
8.012	Cooler	ER	1	400	400	Shelving, size to be confirmed with inmate count
8.013	Dry Storage	ER	1	1,000	1,000	Shelving, size to be confirmed with inmate count
8.014	Day Cooler	ER	1	400	400	
				Subtotal	6,640	
				Grossing	1,992	
				Total	8,632	

			Square Footage			
LAUNDRY	Type	Qty	SF/Space	Total	Notes	
8.101	Staff Office	PO	1	160	160	3 people
8.102	Dirty Staging	OS	1	300	300	carts and sorting. Floor drain.
8.103	Washing	OS	1	400	400	scale, wash, dry, store, distribute
8.104	Chemical Storage/Distribution	ER	1	120	120	near washing
8.105	Drying	OS	1	600	600	
8.106	Folding	OS	1	300	300	folding tables and cart circulation
8.107	Clean Staging Alcove	OS	1	1400	1,400	shelving
8.108	Sewing Station	OS	1	80	80	
8.109	Cart Staging	OS	8	20	160	
8.11	Inmate Restroom	ER	1	60	60	
				Subtotal	3,580	
				Grossing	1,074	
				Total	4,654	



Building Support

Building Support includes Logistics, Warehouse, and Facilities. It is intended that this portion of the project be built as a metal building.

Logistics manages supplies and the central custodial room. There is staff uniform storage, an office area, a large central supply storage room, and the central custodial room.

Warehouse is a large open space divided among commissary, inmate winter gear, SILD gear storage, abandoned inmate property, and a large warehouse space for storing bulk items.

Facilities has storage, workshop, bulk storage, tool crib, and work cart storage. This area will allow County facilities staff to be more efficient with their work in the jail.

			Square Footage			
LOGISTICS	Type	Qty	SF / Space	Total	Notes	
9.001	Quartermaster	PO	0	140	-	Office with Sheriff
9.002	Quartermaster Storage	ER	1	100	100	Uniform Storage (some at both locations)
9.003	Supply Corporal	PO	1	140	140	
9.004	Supply Deputies	ER	1	320	320	2 WS, 2 Future
9.005	Central Supply	ER	1	1,000	1,000	Supply storage and distribution of inmate initial housing supplies (on main corridor to housing)
9.006	Central Custodial Room	ER	1	300	300	cart storage, supplies
				Subtotal	1,560	
				Grossing	390	
				Total	1,950	

WAREHOUSE	Type	Qty	SF / Space	Total	Notes	
9.101	Office	PO	1	140	140	
9.102	Loading Dock Staging/Receiving	ER	1	800	800	pallet staging, fork lift and scissor lift charging
9.103	Loading Dock	ER	1	600	600	Enclosed, 2 roll up doors, dock levelers, ramp
9.104	Staff Restroom	ER	1	60	60	
9.105	Warehouse	ER	1	4,000	4,000	Quartermaster & Supply bulk storage
9.106	Commissary	ER	1	800	800	
9.107	Inmate Winter Gear Storage	ER	1	300	300	
9.108	SILD Gear Storage	ER	1	500	500	caged separate from warehouse with roll up door and man door, storage for tools and equipment
9.109	Abandoned Inmate Property	ER	1	800	800	Shelving, well ventilated
				Subtotal	8,000	Loading Dock & staging/receiving span between jail & warehouse
				Grossing	1,600	
				Total	9,600	

			Square Footage			
FACILITIES	Type	Qty	SF/Space	Total	Notes	
9.201	Office	PO	1	140	140	
9.202	Storage	ER	1	600	600	
9.203	Workshop	ER	1	600	600	
9.204	Bulk Storage	ER	1	200	200	Ice melt, oversized door
9.205	Tool Crib	ER	1	150	150	Secure
9.206	Work Cart Storage	ER	1	100	100	
				Subtotal	1,790	
				Grossing	627	
				Total	2,417	





LADY BEETLE



BLACK SWALLOWTAIL



GOLDEN NORTHERN BUMBLE BEE



WIDOW SKIMMER



BUFFALO TREEHOPPER



MOURNING CLOAK

PART II: DESIGN NARRATIVES

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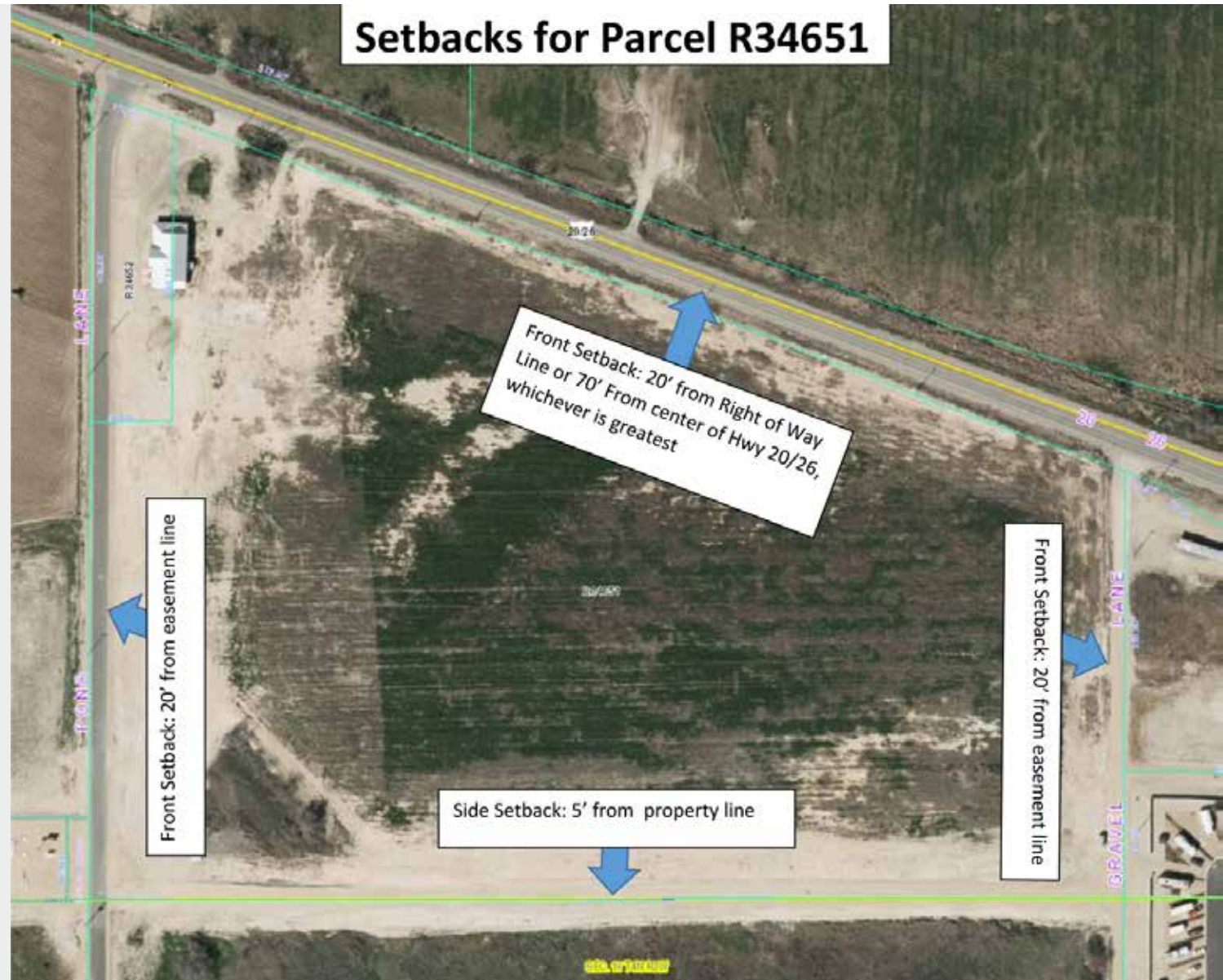


**CANYON
COUNTY
JAIL**

SITE INFORMATION

The Pond Lane Site, hereafter, "the site" is bounded by HWY 20/26 to the north, Pond Lane to the west, Gravel Lane to the east, and utility easement to the south. Setback requirement was provided by the County. There is an unoccupied single story building located at the northwest corner that will be demolished for this project.

The site is largely flat with the exception of the southwest corner where the 100-year flood plain extends onto the site. There is a very small wetland located inside this area per information from the County-engaged wetland consultant, Bionomics Environmental, Inc.



Wetland Area :

This diagram outlines the emerging wetland as determined by a wetland delineation report as well as the extent of the 100-year flood plain on this property.

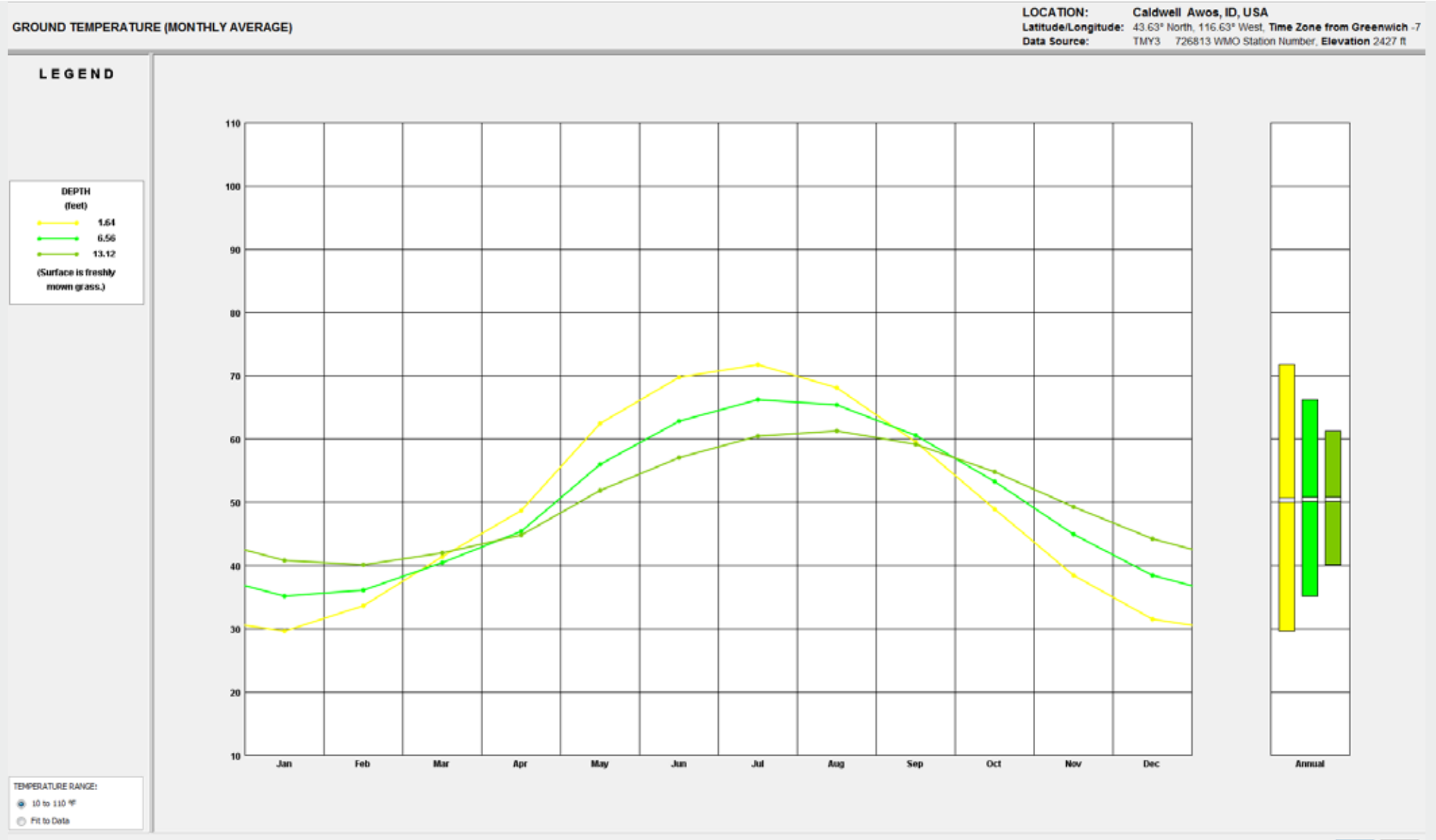


LOCAL CLIMATE

Local climate data shows no extremes in any category. Mean temperature varies from just below 30°F in the coldest winter month, December, to about 75°F in the warmest summer month, July. The average annual snow fall is under the national average. Wind velocity and frequency are evenly distributed on all direction with the northwest and southeast wind slightly above average. Wind velocity is typically between 5 and 10 miles/ hour all year round.

Ground Temperature - Monthly Average :

The associated chart shows the varying levels in ground temperature throughout the year. Demonstrated in the graph, the ground temperature changes as the depth in ground penetration changes in relation to the corresponding months. We see higher increases in ground temperature during summer months and lower temperatures associated with winter months, when snowfall in the greatest.

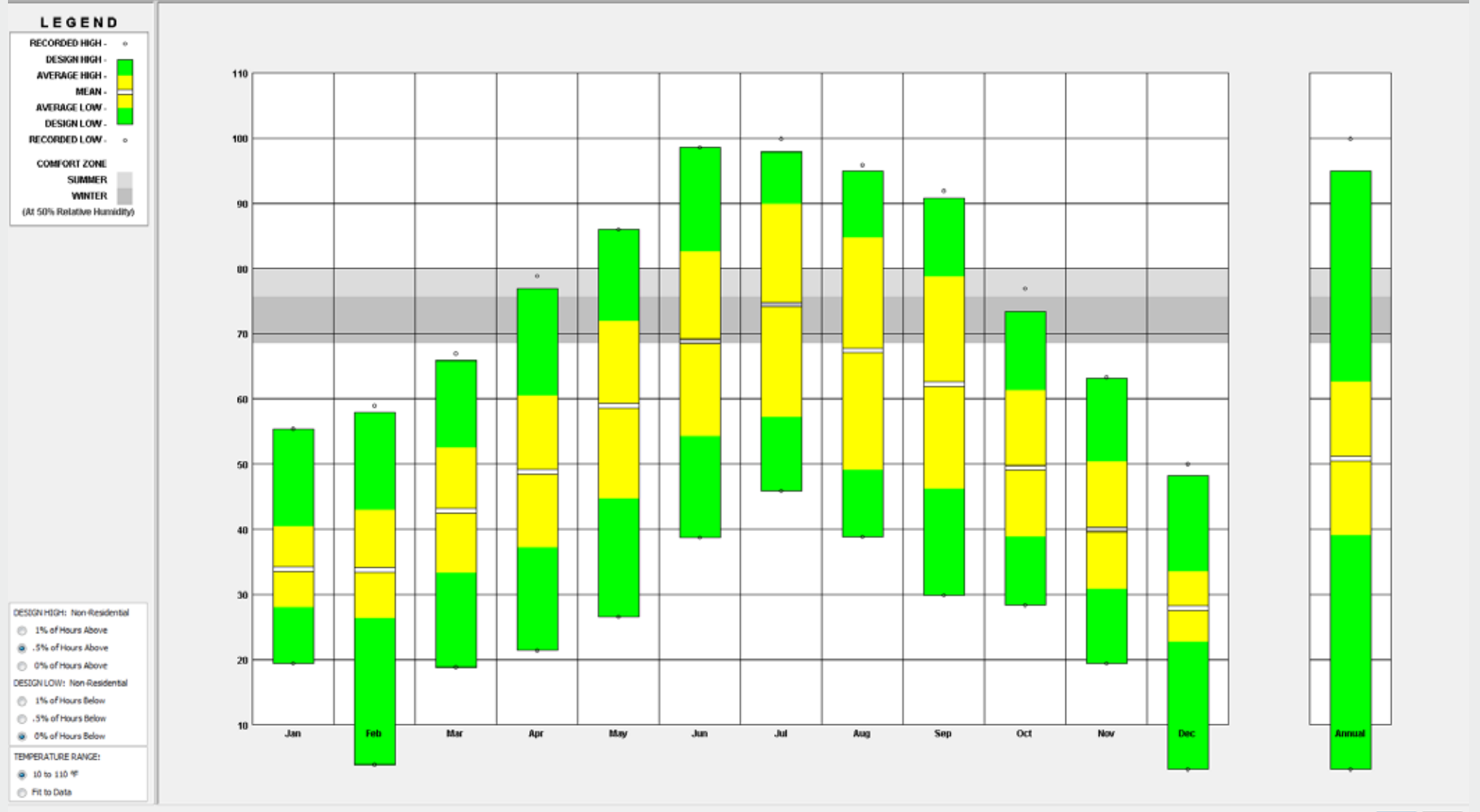


Temperature Range :

Throughout the year the city of Caldwell experiences a wide range of temperatures. The lowest temperatures are typically experienced in the months of February and December, while the highest temperatures are in the months of June and July. This data informs our recommended building systems.

TEMPERATURE RANGE
ASHRAE Standard 55-2004 using PMV

LOCATION: Caldwell Awos, ID, USA
Latitude/Longitude: 43.63° North, 116.63° West, **Time Zone from Greenwich** -7
Data Source: TMY3 726813 WMO Station Number, Elevation 2427 ft



Wind Velocity Range :

The wind velocity remains consistent throughout the year, on average between 5-10 mph. The highest recorded wind velocity took place during the month of March, as demonstrated in the associated chart.

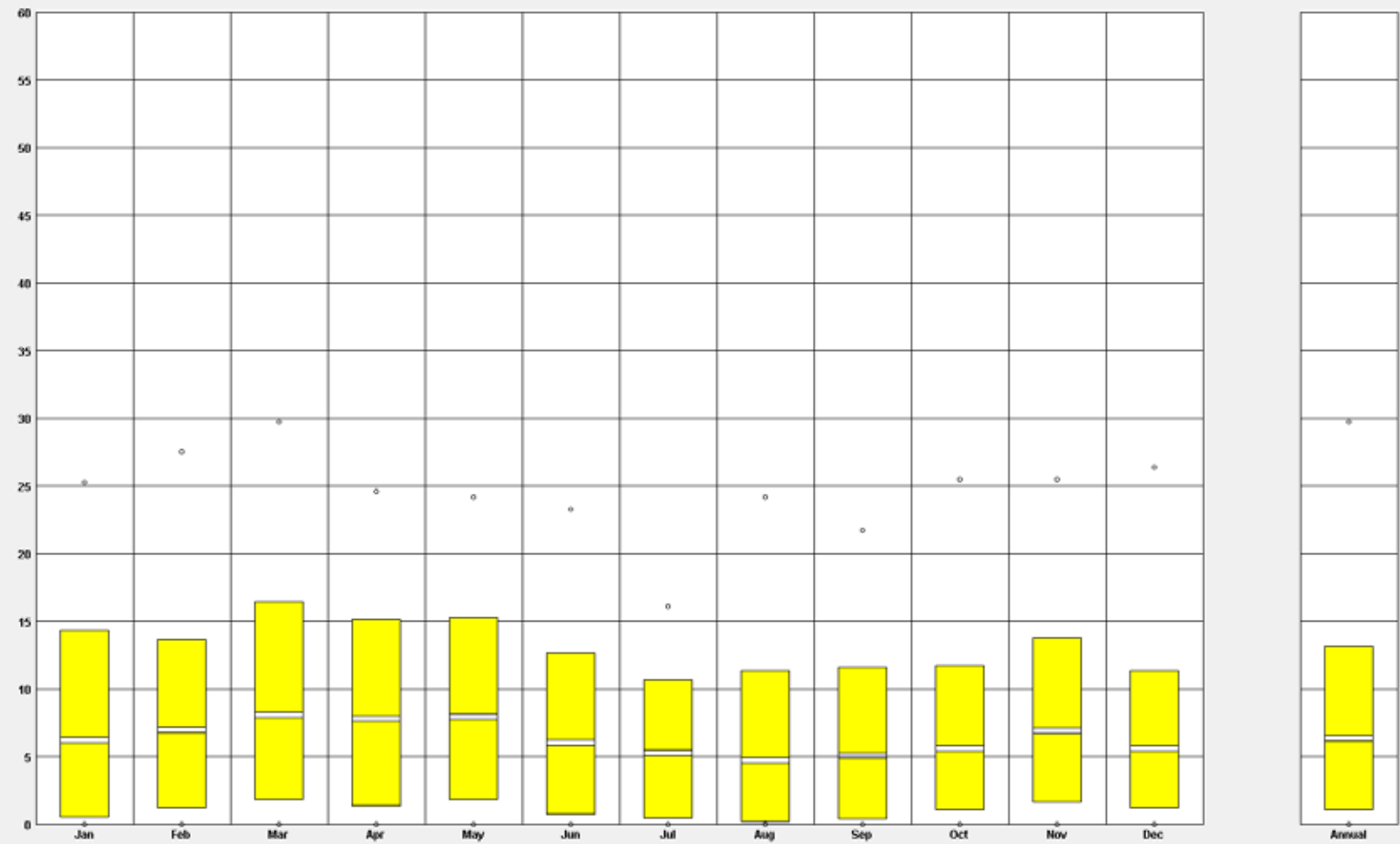
WIND VELOCITY RANGE

LOCATION: Caldwell Awas, ID, USA
Latitude/Longitude: 43.63° North, 116.63° West, Time Zone from Greenwich -7
Data Source: TMY3 726813 WMO Station Number, Elevation 2427 ft

LEGEND

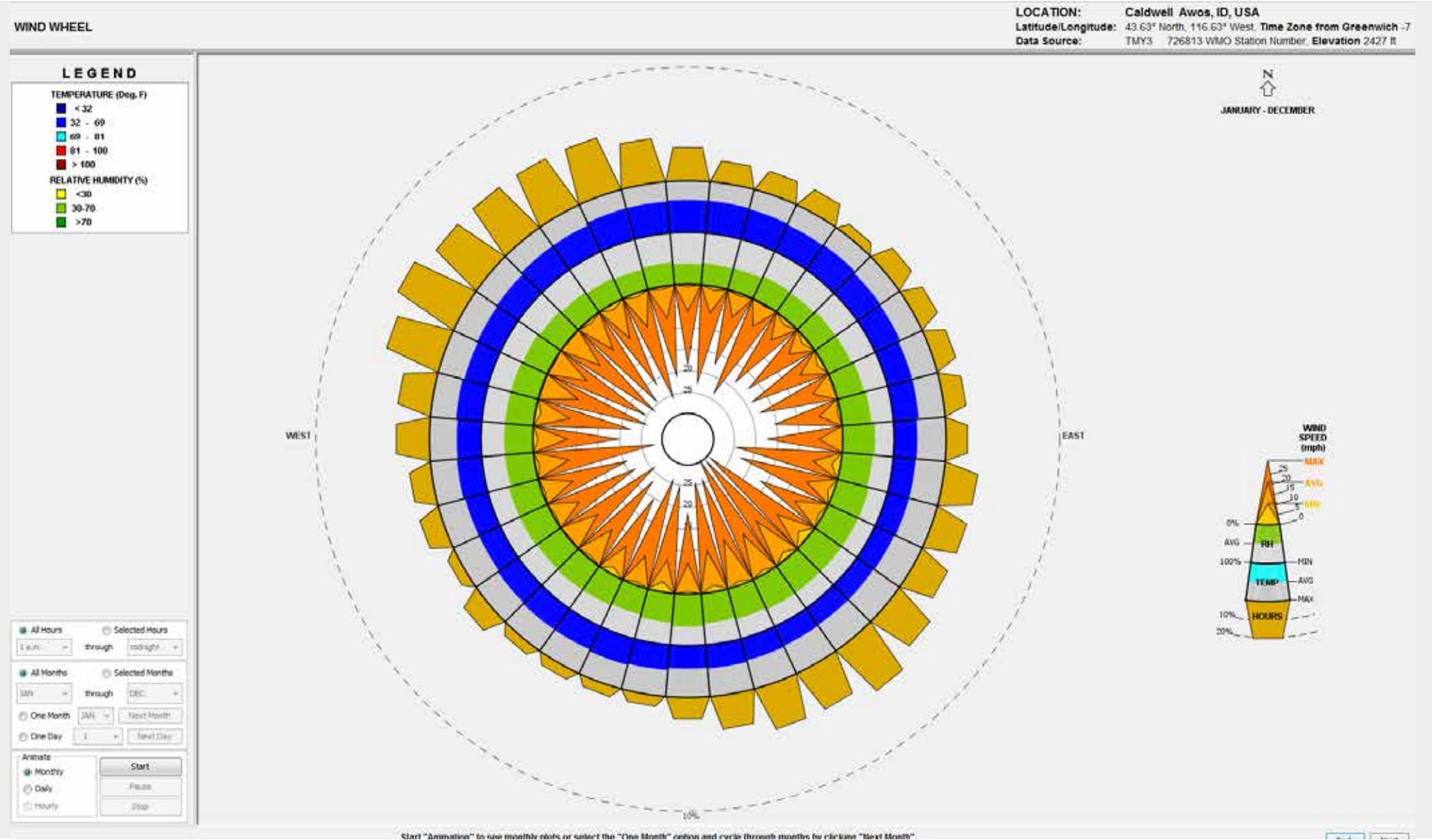
- RECORDED HIGH - ○
- AVERAGE HIGH - [Yellow Box]
- MEAN - [White Box]
- AVERAGE LOW - [Yellow Box]
- RECORDED LOW - ○
- (mph)

- PLOT:
- mph
 - fpm
- WIND VELOCITY:
- 0 to 60 mph
 - Fit to Data



Wind Direction and Intensity :

Within the city of Caldwell, the strongest winds are coming from the Southeast while the weakest winds are coming from the Northeast. Often strong winds can also arise from the Northwest.



**CANYON COUNTY JAIL
PRE-DESIGN CIVIL NARRATIVE
September 21, 2017**

INTRODUCTION

The following narrative is largely a compilation of information gathered from documents provided by others with preliminary storm drainage design in accordance with City of Caldwell standards. These documents include:

- “Preliminary Wetlands Analysis” by CH2M Hill dated June 15, 2007
- “Geotechnical Report” by CH2M Hill dated November, 2007
- “Municipal Services Agreement” between Canyon County and the City of Caldwell dated 2007
- Publicly available Canyon County GIS maps
- Discussions with City of Caldwell engineer Robb MacDonald regarding existing utility locations, and clarification on the Caldwell Stormwater Manual.

EXISTING SITE CONDITIONS

The 24-acre site is bounded by U.S. Highway 26 to the north, Gravel Lane to the east, the Caldwell Gun Club to the south, and Pond Lane to the west just west of I-84 near the City of Caldwell, Idaho. The site is currently unoccupied with the exception of a single story structure in the northwest corner. General topography is flat except for a wetland, located in the southwest corner of the site, which is approximately 5-feet lower than the rest of the site.

DEMOLITION

The project will require the demolition of a 4,000 square foot structure with paving in the north-west corner of the site. There are no other structures or paving currently present on the site.

FLOOD ZONE INFORMATION

The southwest corner of the site, currently shown as a “potential wetland” is within the 100-year flood plain of the Boise River. The remainder of the site is categorized as FEMA zone X, meaning that it is outside of the 500-year flood plain. See attached exhibit for FEMA flood map for the project site.

SITE ACCESS

The U.S. Highway 26 Right-of-Way (ROW) extends 100-feet from the road centerline. The area within the ROW is reserved for future road widening and drainage. Also, due to the Idaho Administrative Procedures Act (IDAPA) which governs regulations for rural regional highways, new site driveway access directly from Highway 26 is not feasible. Therefore, site access will be achieved via the existing Pond Lane and Gravel Lane. The main site access will be from Pond Lane via a driveway located approximately 350-feet from the Highway 26 centerline. The main access off of Pond Lane is preferred over Gravel Lane because it is a greater distance from the I-84 interchange.

The Pond Lane driveway bisects approximately 100 unsecured stalls for public parking to the north, and approximately 200 secured stalls for staff parking to the south. A loop road around the south side of the site will connect Pond Lane to Gravel Lane providing secured access through the secured parking lots. The loop road will also provide access to the Sally Port south of the building.

Street improvements may be necessary for both Pond Lane and Gravel Lane in order to comply with the requirements of the Canyon County Highway Standards Manual. This work will include a new asphalt paved, 34-foot wide street section with curb and gutter for both Pond Lane, and Gravel Lane. In addition, storm drainage, lighting, and street signage improvements will need to meet the requirements of the Canyon County Highway Standards Manual on both streets.

TEMPORARY EROSION AND SEDIMENT CONTROL

Swales and sediment traps or Baker tanks will be required during construction. The shallow groundwater, 4 to 6 feet below existing grade, may preclude infiltrating all of the construction storm water. Due to a lack of existing storm drain infrastructure surrounding the site, it is likely that the construction storm water that cannot be infiltrated will need to be pumped to a level spreader at the south of the site to disperse in a way that matches the existing site runoff conditions. Surface runoff Best Management Practices will be used as the primary construction runoff treatments. These Best Management Practices may include but are not limited to stabilized construction entrances, sediment traps, straw wattles, catch basin inserts, slope covering, and interceptor swale check dams.

STORM DRAINAGE

Canyon County has adopted the 2009 City of Caldwell Stormwater Management Manual which will apply to this project. Surface water will be collected in catch basins, pipes, and swales around the site and routed to sand and grease traps to provide water quality per the Stormwater Manual. The Stormwater Manual also requires detaining the 100-year 24-hour storm event, or providing a direct discharge to a storm drain conveyance system. Since there is no existing stormwater infrastructure, this project will provide storm detention.

Per the Stormwater Manual, discharges from the detention system must infiltrate or match the discharge location and be less than or equal to the flow rate of the existing site. Preliminary sizing for the entire build-out shows these flow control requirements would require approximately 200,000 CF of storage capacity, which equals approximately 67,000 square feet of 3-foot deep storm water ponds on site. Preferably, half shell chamber systems should be used for detention below the parking lots on site to accommodate part of, or all of the detention storage required for the project due to the grade constraints compounded with the distance between the ponds and the parking lots. The attached site sketch shows a mixture of chambers and ponds as the preferred preliminary storm drain design without consideration for infiltration at this time.

Phase I only build-out would require approximately 167,000 CF of storage capacity, equivalent to 56,000 SF of ponds, or 128,000 SF of chambers.

Infiltration, if feasible, will be used as a first option for discharge of site runoff. Given the high groundwater on-site, we recommend planning costs for full detention until a hydrogeologist is retained to determine infiltration feasibility. Stormwater that does not infiltrate will



discharge to the existing wetland southwest of the site at a rate less than or equal to the existing site conditions. To mimic the existing site discharge of sheet flow to the wetland, we propose utilizing a level spreader trench as shown on the concept plan.

The total required detention volume will be adjusted as the design progresses and the infiltration rate, and final site layout are developed. Due to the primarily flat nature of the site, pumps will be required to convey storm water from collection points to the detention systems or to discharge runoff from the detention systems. Alternatively, the site could be filled to create enough grade difference to convey storm water via gravity flow. Approximately 40,000 cubic yards of fill would raise site grades by 1-foot.

SANITARY SEWER

The project sanitary sewer will connect via gravity to both the existing trunk main line located in Pond Lane, and to the 12-inch sewer line located in the utility easement to the south of the site. Both of these sewers are more than 15-feet deep, therefore no sewer pumps will be required. See attached site plan for sanitary sewer location and connection points.

WATER

The project will take both domestic water and fire water service from the existing 12-inch main located in the utility easement to the south of the site. Water will be routed in a loop around the site, providing service connections to the building as well as 8 fire hydrants around the site.

The proposed structure will be a type 2B building with a fire flow calculation area of approximately 80,000 SF. Per the Uniform Fire Code, the building will have an anticipated fire flow rate requirement of 6,000 GPM. At this time, we do not know the pressure and flow rate of the new City 12-inch watermain.

ON-SITE PAVING

A combination of asphalt paving and reinforced concrete paving is proposed for the project. Asphalt paving would be used for the parking, circulation, and fire access paving section. Per the 2007 CH2M Hill geotechnical report, the asphalt paving section should be assumed to be 4-inch asphalt over 10-inch of base course. The loading dock and sally port areas will be especially susceptible to raveling; thus a reinforced concrete section is recommended for those areas. Final geotechnical recommendations will determine pavement sections based on site soil conditions.

Permeable pavements could be considered in the parking and circulation areas as well as walkways to reduce overall impervious area on the site, and therefore reduce overall required detention volume. Maintenance requirements need to be considered if implementing porous pavements given the high volume of agricultural dust. We would anticipate porous asphalt would need to be swept with a street sweeper truck once or twice a year and porous concrete once every other year or less.

1601 Fifth Avenue, Suite 1600 Seattle, WA 98101 206.622.5822 kpff.com

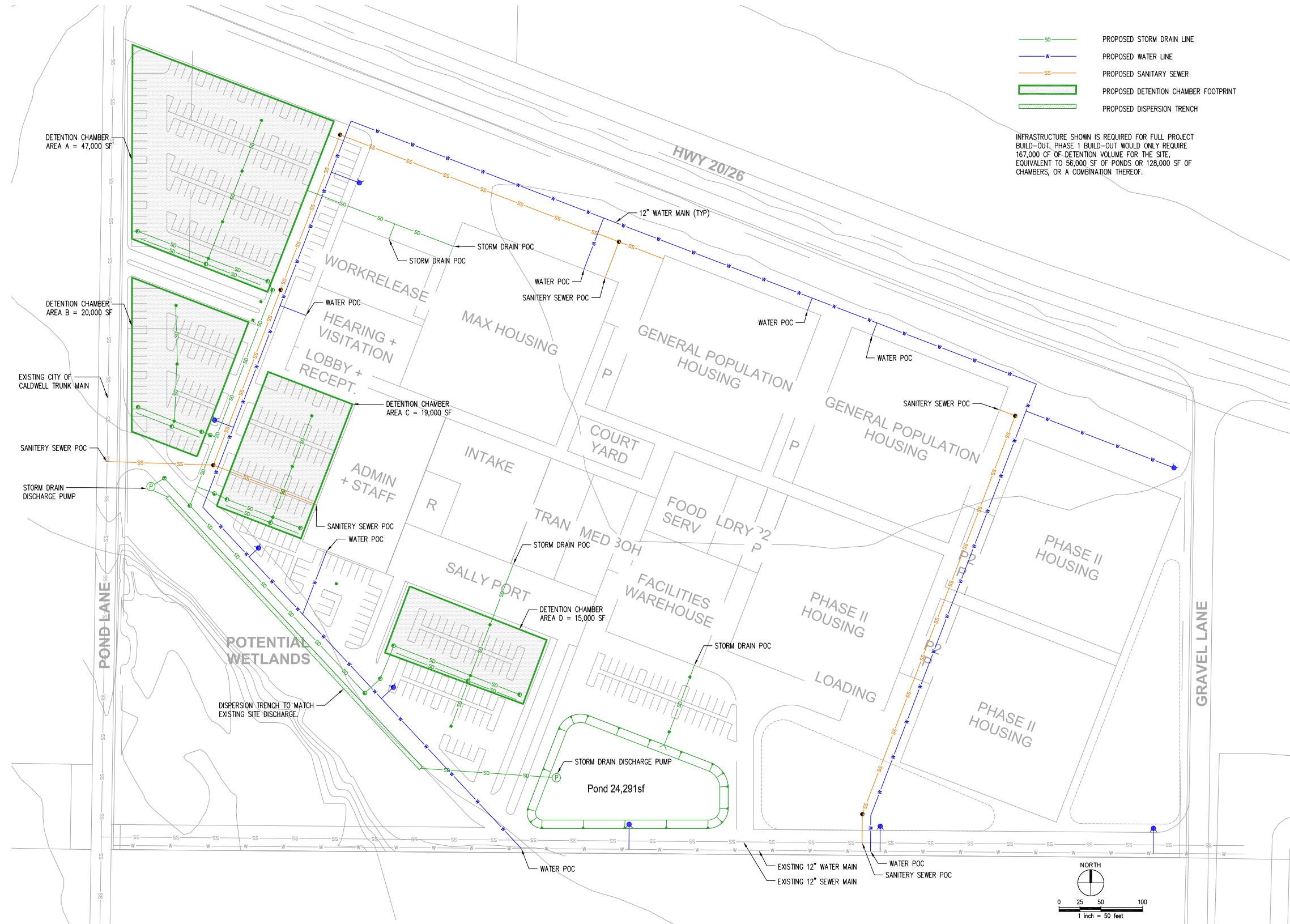


CONFIRMATION RECORD

Date:	9/7/2017
Job No.:	1700581
Task No.:	10
Project:	Canyon County Jail
Contact:	Robb MacDonald
Company:	City of Caldwell
By:	Dan Veldee
	Discussion by Telephone
Phone No.:	208-455-4682

- The city has installed a sanitary lift station to the south-west of the project site on Pond Lane per the 2007 municipal services agreement. They have installed a gravity trunk main located in Pond Lane at approximately 26-ft below grade, and a 12-inch sewer in the utility easement to the south of the site at approximately 16-ft below grade.
- The city has installed a 12-inch water main in the utility easement to the south of the site.
- Per the City of Caldwell stormwater manual, all stormwater must be detained and infiltrated on site. Discharge from the site is allowed if it matches the drainage patterns and flow rates of the existing site.
- In the event that the detention pond cannot feasibly be emptied in 120 hours by infiltration and matching existing discharge rates (per the Caldwell stormwater manual). The City will look to the engineer of the project to suggest a way to discharge stormwater from the detention pond, of which the city would accept or reject, in order to completely drain the pond within the 120 hour limit.
- Suggested stormwater discharge locations of the Caldwell gravel pond and the Highway 20/ 26 roadside ditch are not owned by the city and would require buy off from the state in order to discharge to these locations.





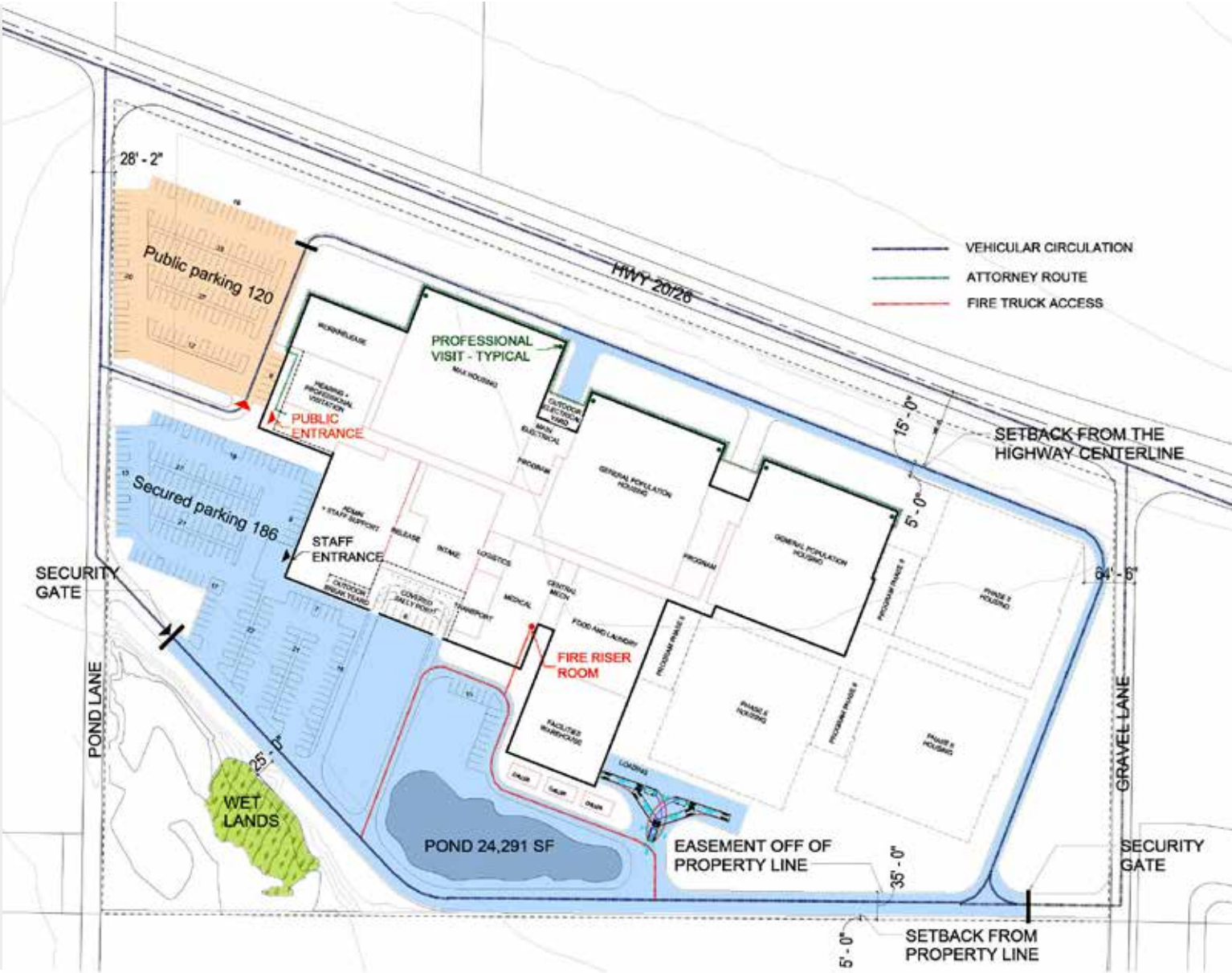
SITE PLANNING

Per Civil recommendation, the site accesses are achieved via Pond Lane and Gravel Lane. A public parking access and a separate secured parking access are all located on Pond Lane. The exit of secured parking is located on Gravel Lane. A loop road around the full build-out building footprint provides service vehicle access to the outdoor mechanical and electrical yards, the sally port, and fire truck to access the fire riser room. The loading dock is located at the south end of the facility/warehouse building so that it can be shared with the housing units in the future phases. There is a side walk connecting the main building entrance to each professional visit room located at each housing unit.

Per our projection and initial discussion with the County planning department, 120 public parking spaces and 186 staff parking spaces are provided.

The DLR Group design team studied multiple site plan options and sub-options. We presented interactively to the project stockholder group, received feedback and direction, and landed on the final site plan. This site plan maximizes the use of the property. It not only accommodates the phase one development defined by the program, but also takes consideration of the future total build-out. The public and secured sections of the site are clearly defined. The public, staff, service, and fire truck circulation routes are clearly separated.

This site plan is configured to support 3 additional housing units in the future. The units can be added incrementally over time to meet future needs and populations. The housing units are located to the east of the site inside of the perimeter loop road.

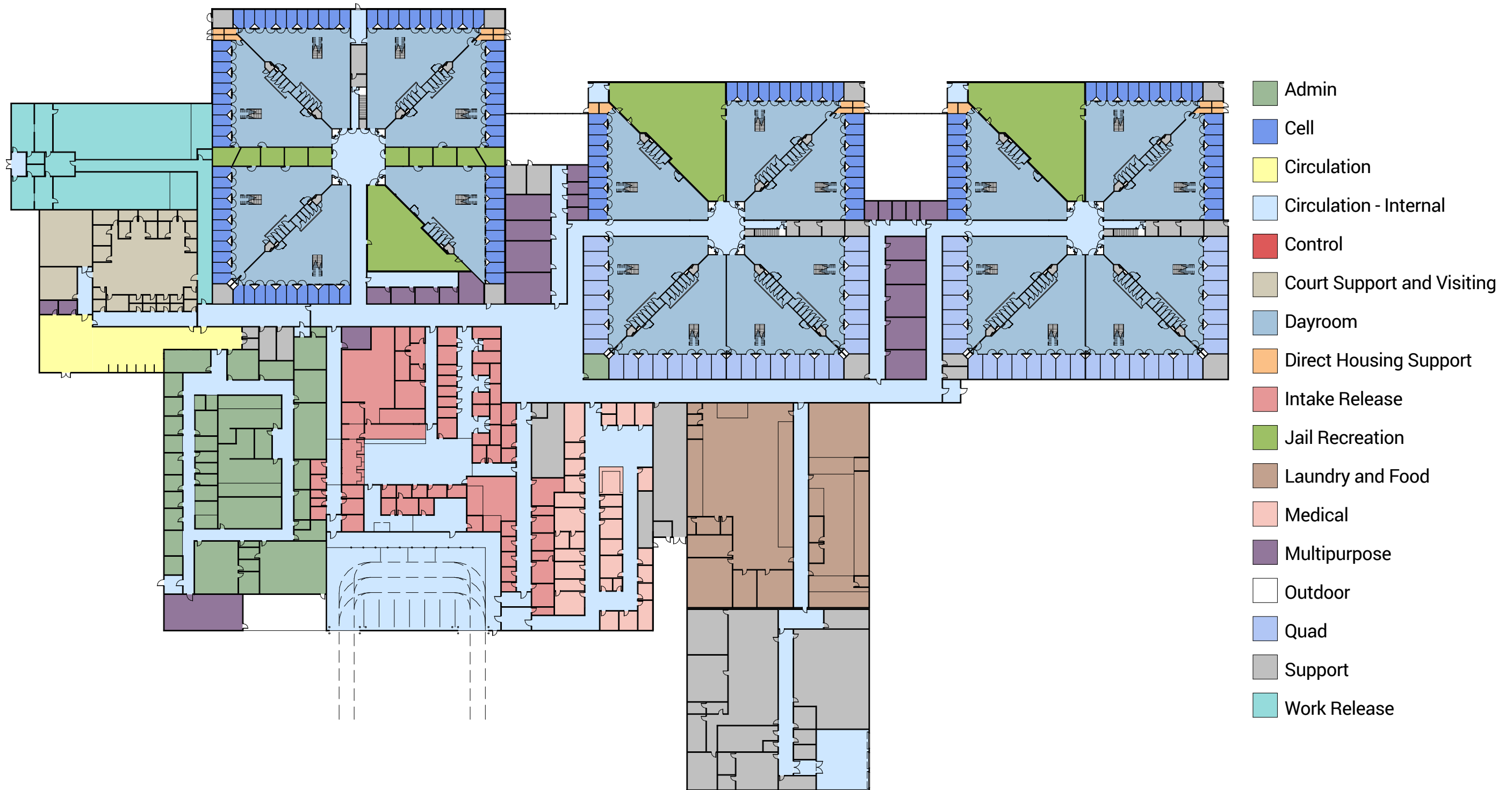


BUILDING DESIGN

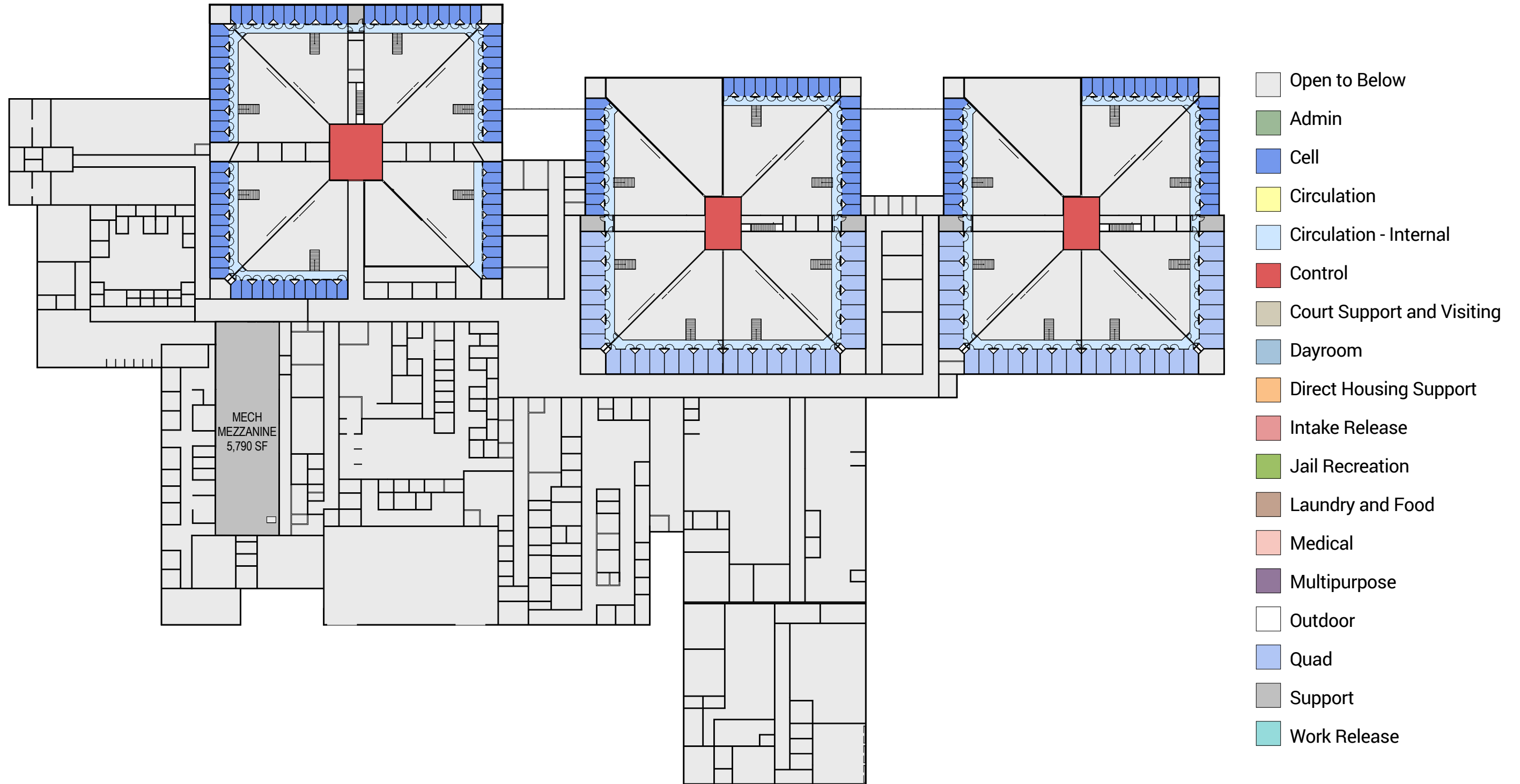
Per the program developed in Part I, the DLR Group design team did a space adjacency study, departmental blocking study, and building conceptual design. We studied multiple options during each study and conceptual design, presented and received feedback and direction from the stockholder group. The jail building has 3 housing units and one work release department that total 1,044 beds. The overall building plan features clear, simple, and efficient circulation. The central hallway stitches all the housing units, the future housing units in the full build-out, and all building departments including administration and staff support, intake-release, transport, medical, food and laundry, hearing and work release (See Illustrations). The facility warehouse department is a separate building that attaches to the main building due to its different HVAC requirements and structural system.

Decentralized program support spaces are provided adjacent to each housing unit in order to provide maximum flexibility and safe management. The DLR Group design team is also able to provide professional visit located at four of the max and special housing pods, and six of the general housing pods per the project stakeholder group's direction.

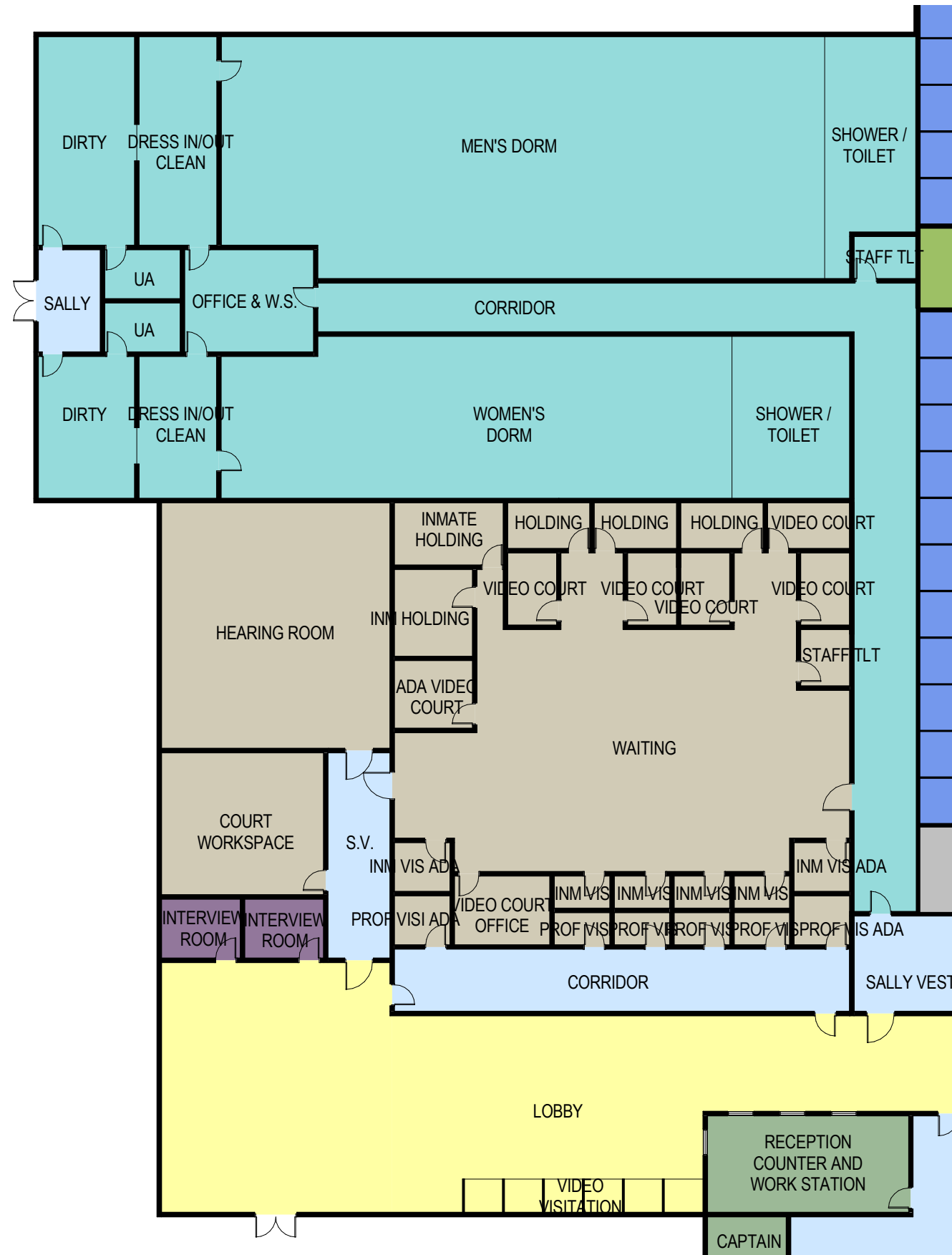
Overall Jail Plan



Overall Jail Plan - Mezzanine Level



Reception, Hearing, Work-Release



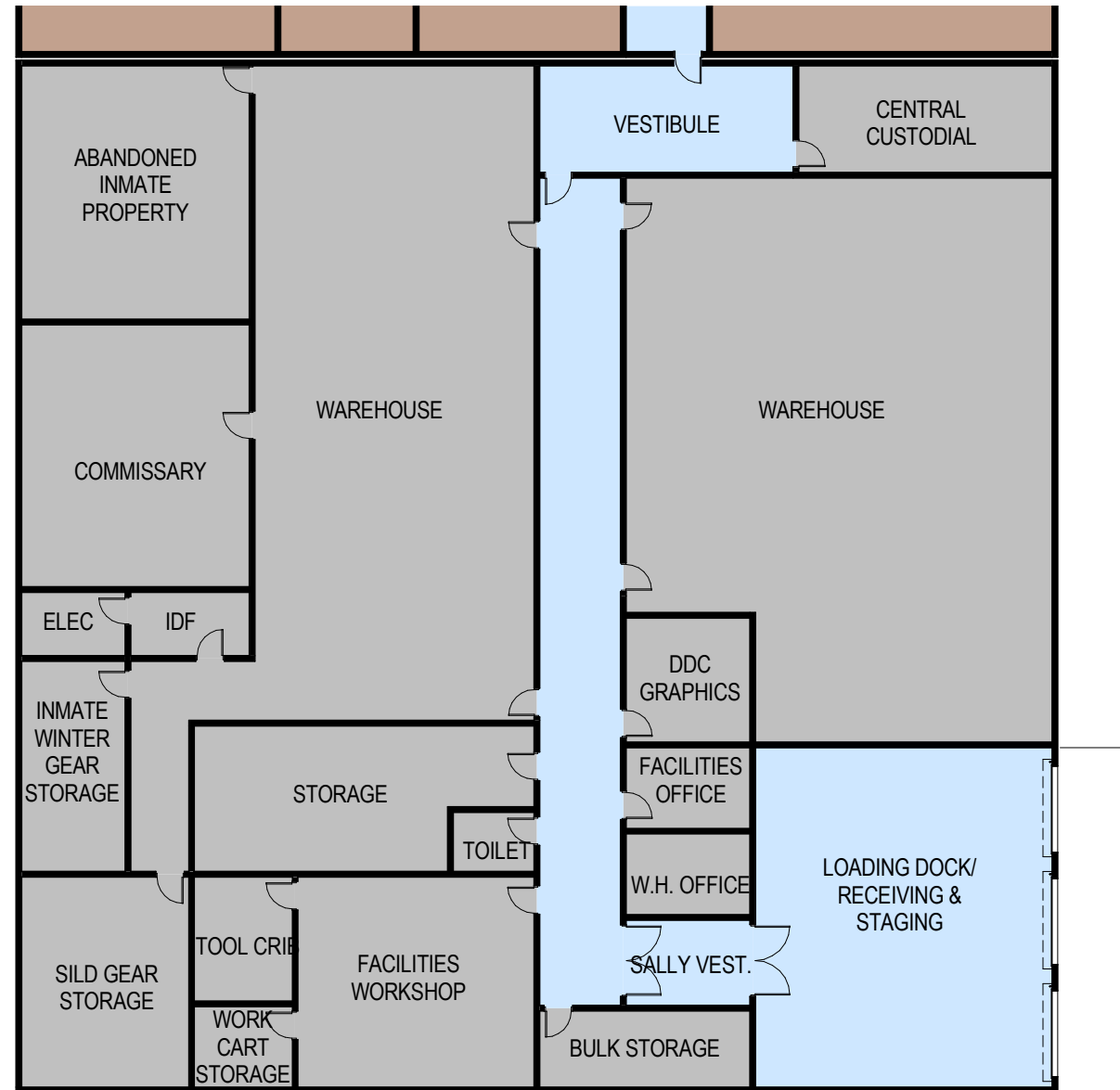
Admin, Intake, Release, Transport, Medical



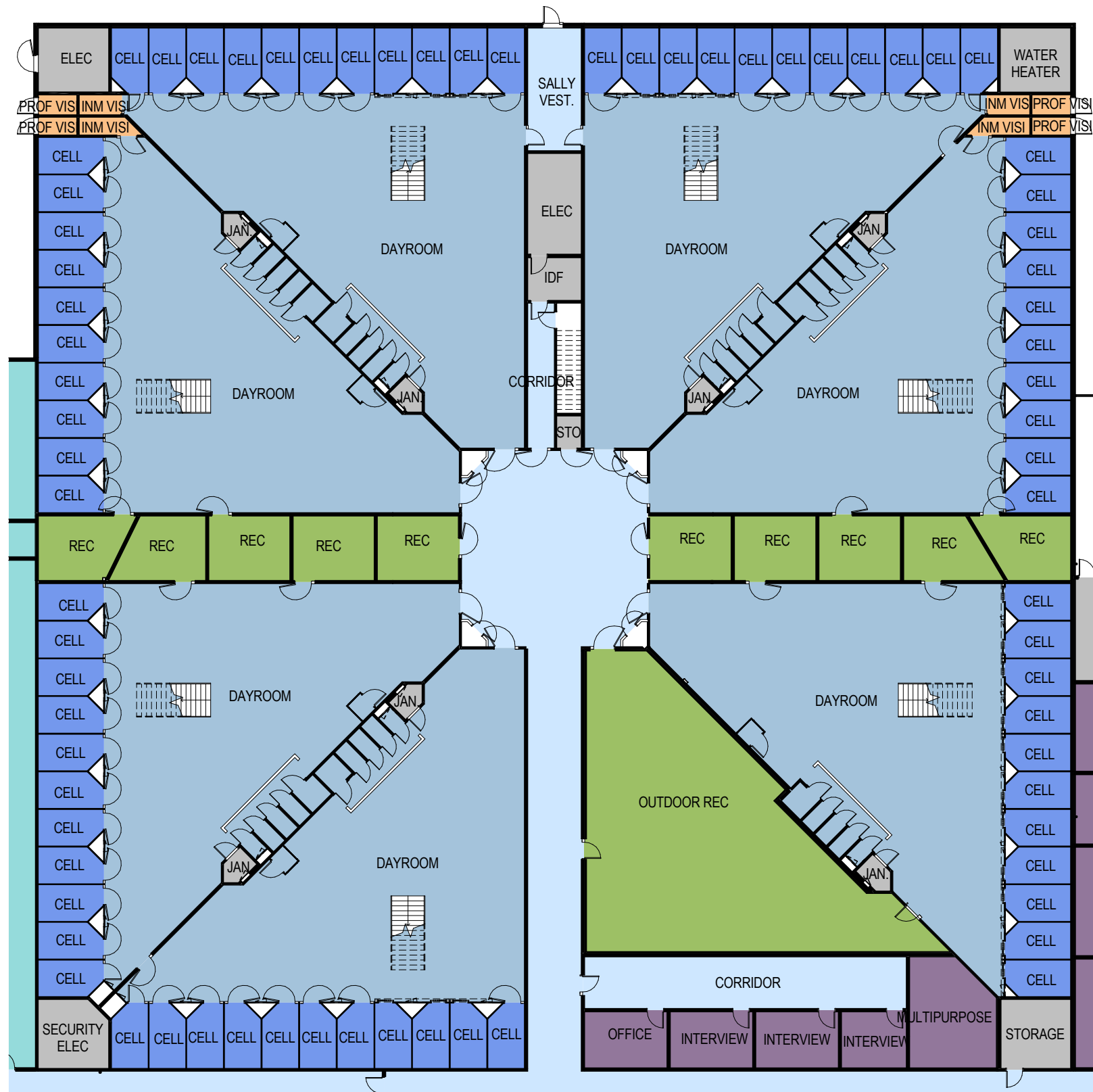
Food Service & Laundry



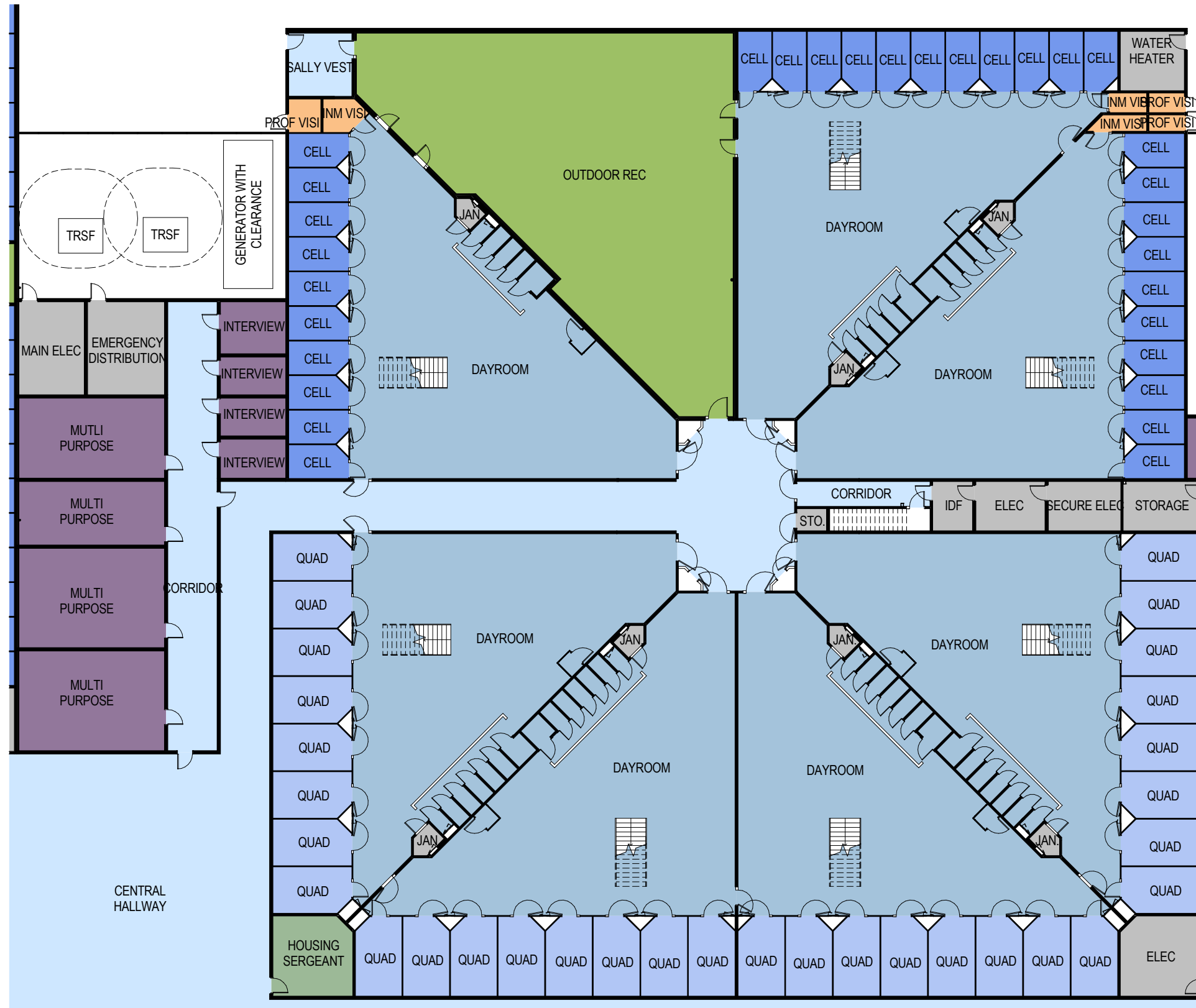
Facilities, Warehouse



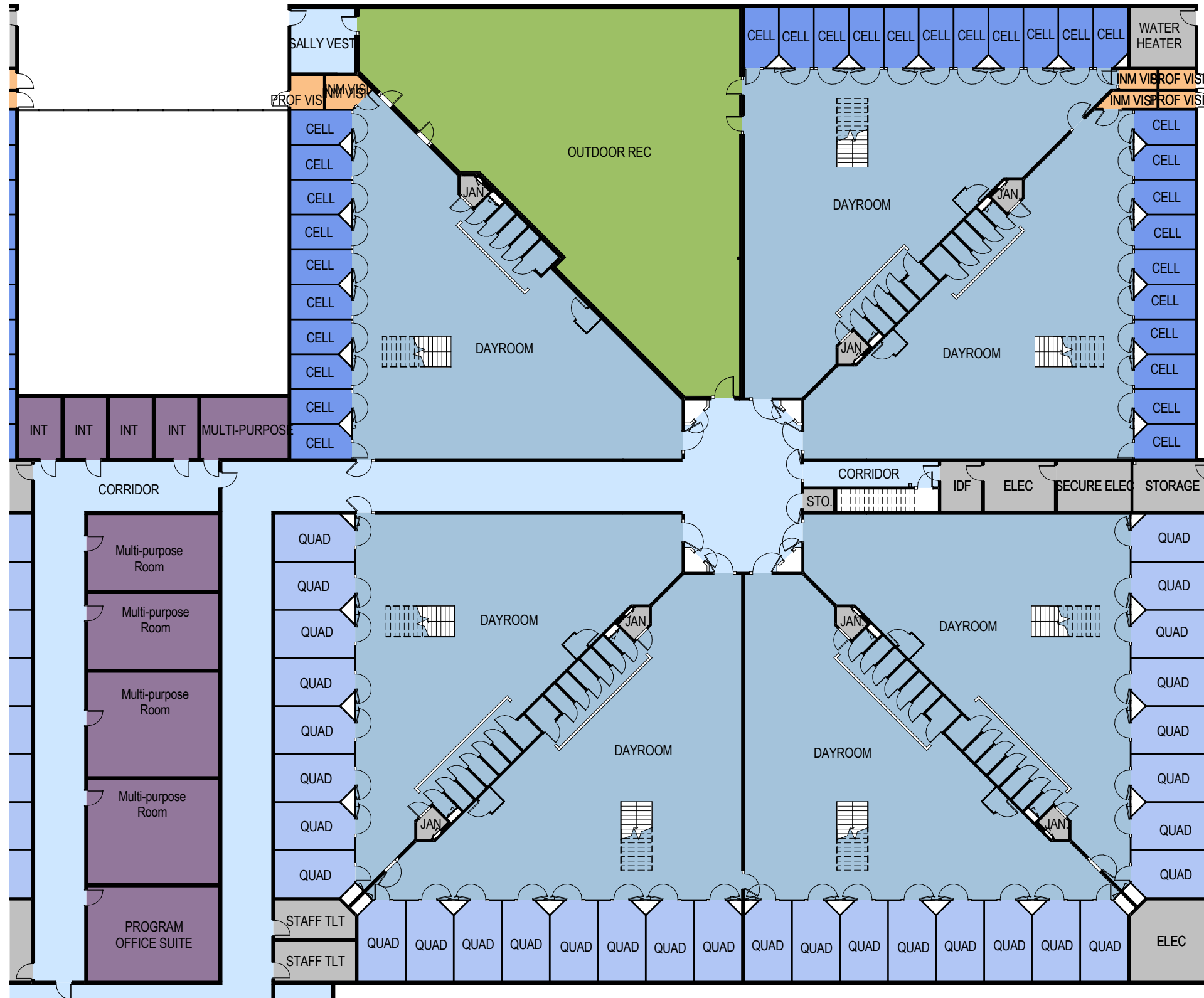
Max Housing



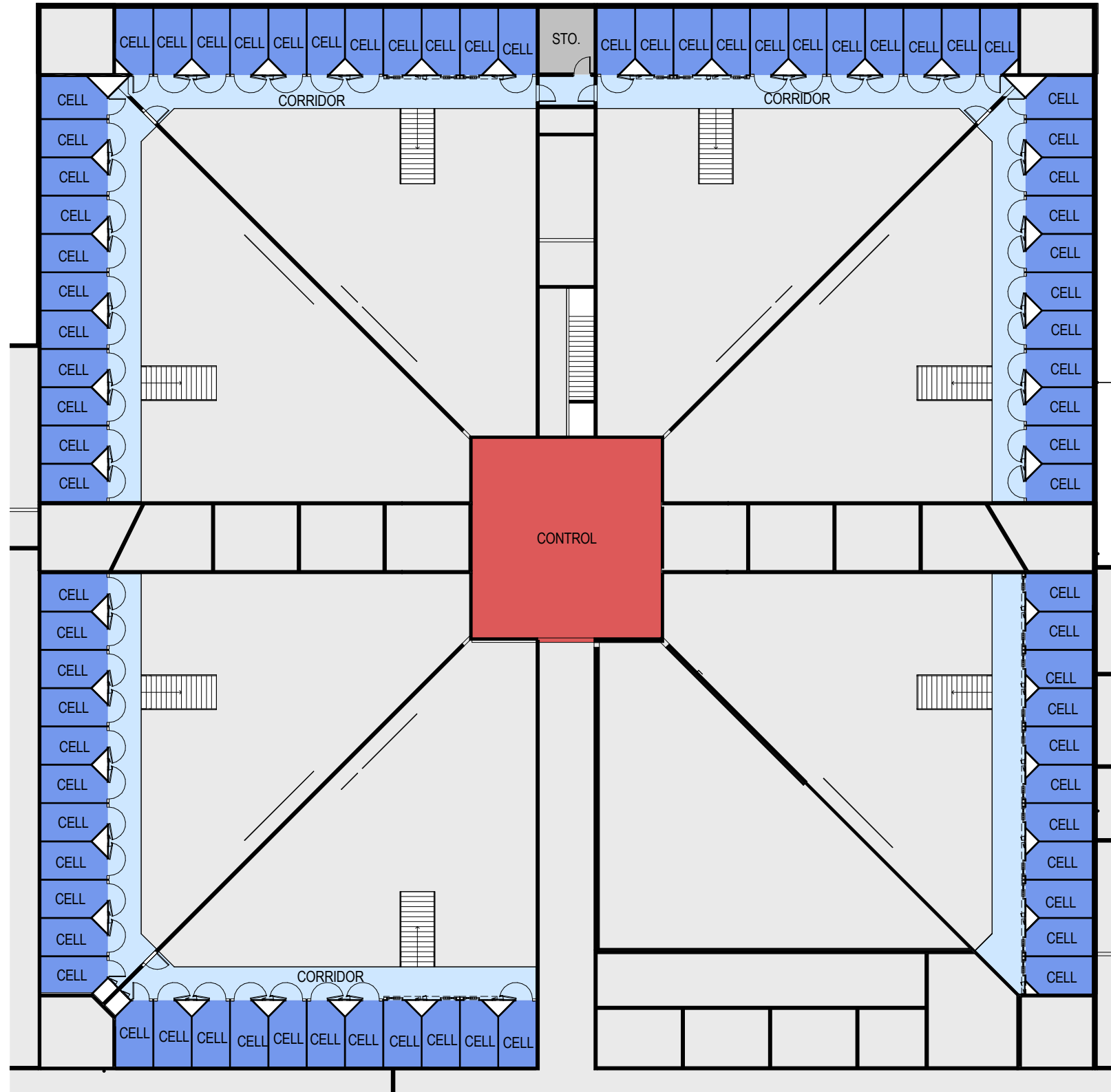
General Housing - 1



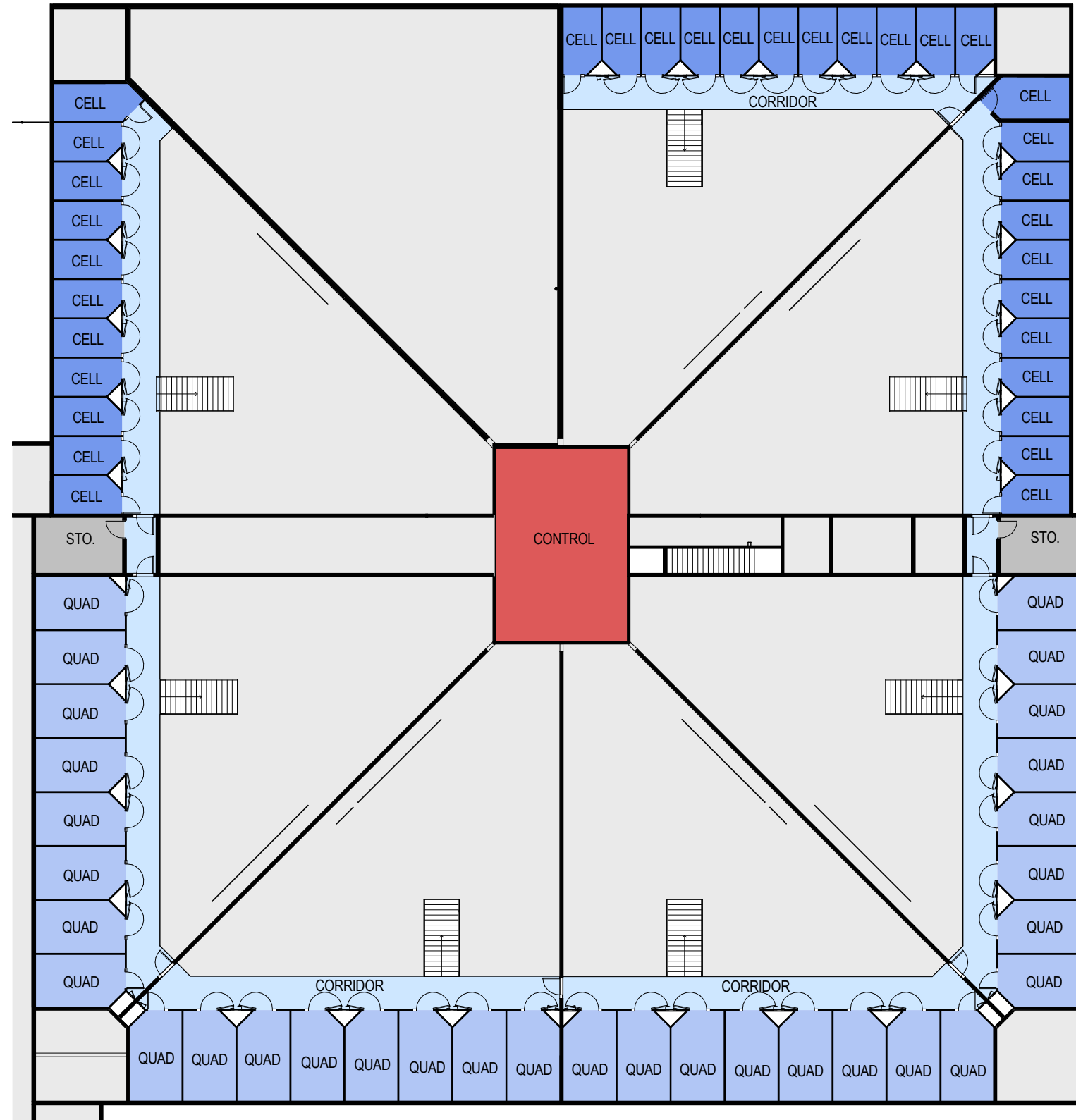
General Housing - 2



Max Housing - Mezzanine Level



General Housing 1 and 2 - Mezzanine Level



BUILDING MASSING AND EXTERIOR MATERIAL

Site In Context

The building is sited in an open country area surrounded by agricultural field. Very strong horizontal lines without interruption stretch in all directions. Occasionally farm houses and other agriculture structures come into sight. These buildings typically feature galvanized standing seam metal roof in gable form.

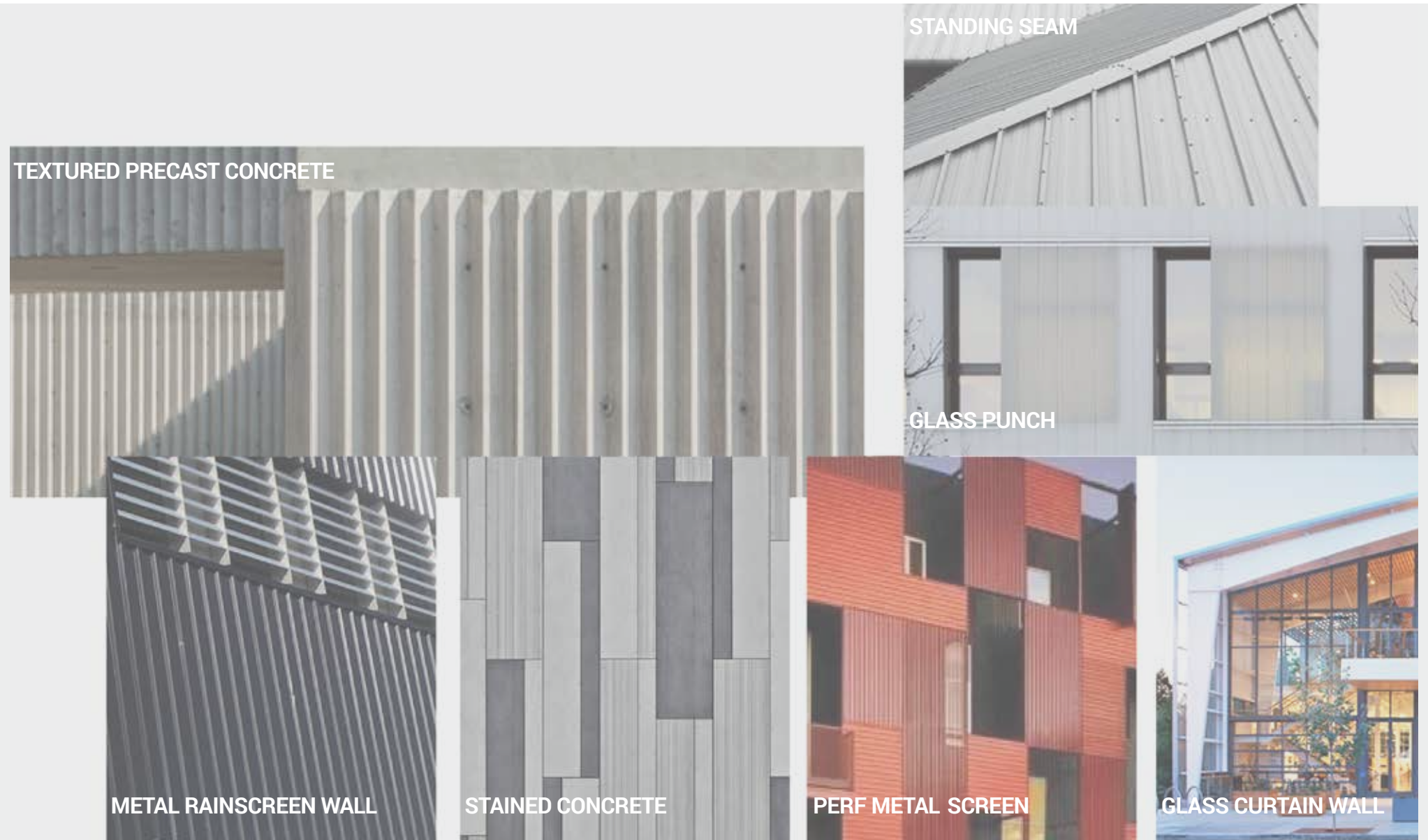


Exterior Material Palette

DLR Group's previous jail projects have proven that composite precast concrete panel is the most secure, durable, and cost effective exterior wall material. Stained textured concrete on the exterior layer of the panel adds a hint of architectural detail cost effectively.

The majority of the building has flat membrane roofing. Inspired by the agricultural buildings around the site, standing seam metal roof in gable form is used at the administration and hearing + work release blocks. The steel trusses and columns that are inside the staff office area and the hearing room are exposed to express the flavor and strength of the County style. The facility /Warehouse building also has standing seam metal gable roof similar to the main building.

At the public entrance and the staff break room area, transparent glass curtain wall is used to bring in maximum daylight and view. Durable, cost effective composite wood veneer panels will be used in the appropriate area to further deliver a welcoming and open feeling to the public and staff. Large punch windows bring abundant natural light into staff occupied areas.

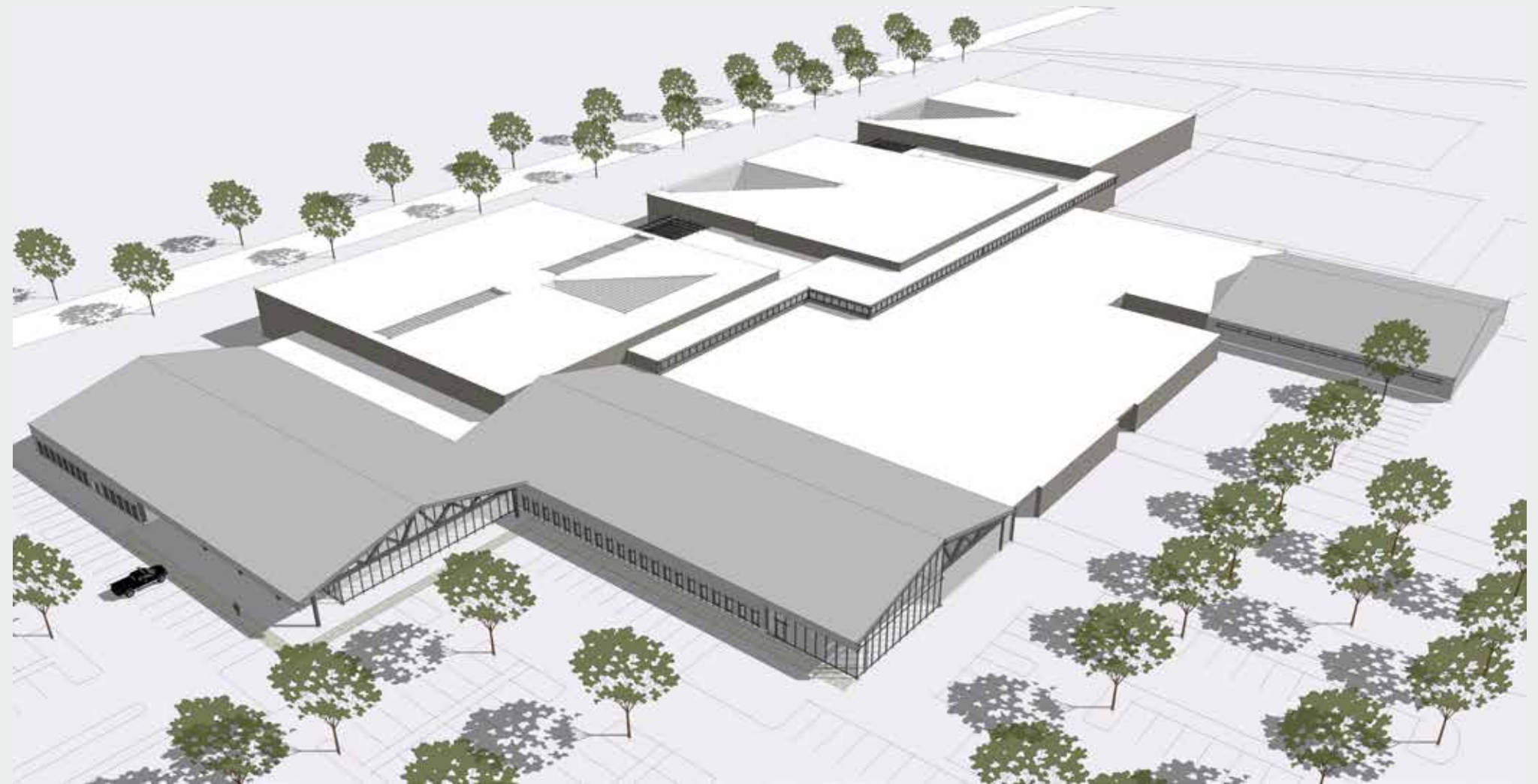


Massing

The three housing units are pulled away from each other to create gaps for the program support spaces to fill. This massing strategy breaks this otherwise 900' x 27' wall along HWY 20/26 down to more of a human scale, and creates a rhythm by these concrete housing blocks, especially after full build-out.

The roof of the central hallway pops up above the surrounding roof area to provide continuous clerestory windows along the entire length of the main secured circulation hallway. This strategy brings in ample natural light into the otherwise dark core of the building and provide good vision for security.

The massing and design of the Canyon County Jail is simple, clean, professional, and safe. The DLR Group design team took every opportunity to bring natural light into the building, to create an understated open and welcoming images at its public face.

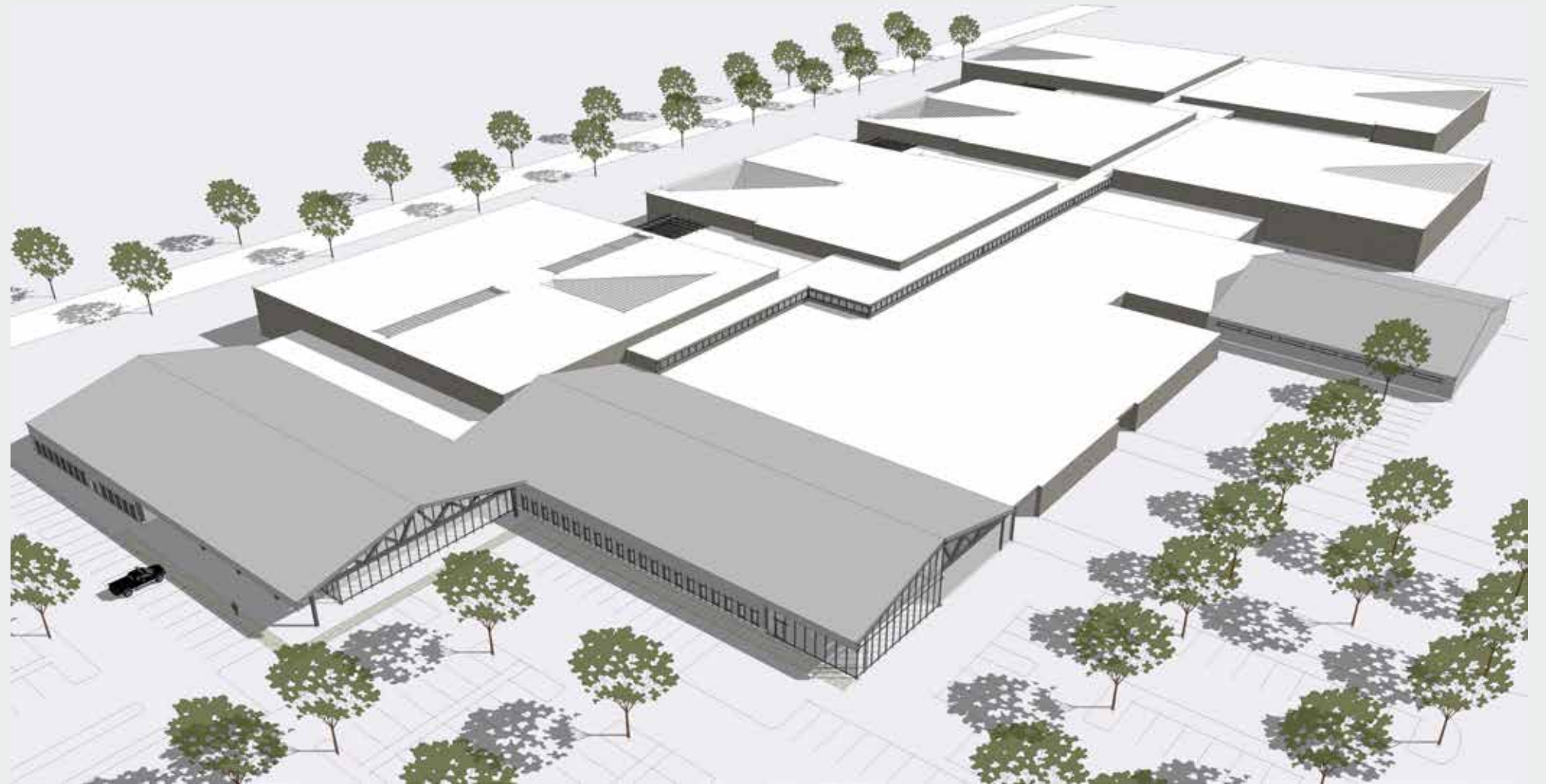


Phase I



Total Site Build-out Massing

The site plan is configured to support 3 additional housing units in the future. The units can be added incrementally over time to meet future needs and populations. The housing units are located to the east of the site inside of the perimeter loop road.



Total Site Build-out

Entrance Massing :

Public Entrance



Staff Entrance



Exterior Massing :

Highway View I - From the NE corner of the site



Highway View II - From the NW corner of the site



BUILDING SYSTEMS

ELECTRICAL NARRATIVE

Codes and Standards

The following codes are applicable to this project:

1. 2014 National Electrical Code, 2017 NEC effective July 1st 2017, including amendments as listed in IDAPA 07.01.06.
2. IDAPA Electrical Administrative Rules - 07.01.01 – 07.01.11
3. 2012 International Building Code (2015 IBC effective 1 January 2018)
4. 2012 IECC

Publications from the following standards organizations will be used as design guidelines for the project:

1. National Fire Protection Association (NFPA)
2. Illuminating Engineering Society of North America (IES)
3. Building Industry Consulting Service International (BICSI)
4. Americans with Disabilities Act (ADA)
5. National Electrical Manufacturer's Association (NEMA)
6. Electrical Industries Alliance (EIA)
7. Telecommunications Industry Association (TIA)

The project will be designed to conform to the Americans with Disabilities Act and Architectural Guidelines (ADAAG).

Electrical Scope of Work

1. A 480Y/277V, 3-phase, 4-wire electrical service and distribution system for lighting and motors, and 208Y/120V, 3-phase, 4-wire distribution system for receptacles and equipment loads for the main building.
2. Standby emergency generator and emergency distribution system.
3. Grounding system.
4. Switchboards and panel boards to accommodate electrical loads.
5. Convenience and computer receptacles.
6. Mechanical and plumbing equipment connections.
7. Commercial kitchen equipment connections.
8. Electrical sub-metering for, HVAC, and water heating loads.
9. Interior lighting and controls.
10. Daylight responsive lighting dimming controls.
11. Exterior lighting and controls.
12. New telecommunications service and distribution system consisting of a MDF/Service entrance room, multiple IDF rooms with four & two post floor mounted relay racks, and structured cabling system between MDF and IDF rooms and telecommunication outlets.
13. Phone system and all active networking equipment shall be furnished by owner.
14. CATV service and distribution system.
15. Audio & Video systems in instructional spaces including sound amplification system with wireless and hardwired microphones and ceiling mounted speakers.
16. Digital, addressable fire alarm system.
17. In building Distributed Antenna System (DAS) for emergency responders radios.
18. Roof and downspout heat trace system.



Power Distribution

Site Power:

1. Idaho Power will provide (2) utility transformers in a utility yard on the north side of the building near the highway. (1) 480Y/277V and (1) 208Y/120V transformer. The utility requires exterior service entrance sections with current transformers and metering. These will be located in the utility yards on the exterior wall of each electrical room and will feed switchgear in each room.

Normal Power:

1. Two services are currently planned. A 2,000Amp 480Y/277V, 4-Wire, 3-Phase electrical service for mechanical, motor and lighting loads and a 2,000Amp 208Y/120V, 4-Wire, 3-Phase service for receptacle and equipment loads.
2. An electric fire pump is not currently anticipated but may be required for the project depending on the available water pressure at the site. If required, the fire pump shall be connected to a separate service disconnect in the main service switch board and will require a separate vertical section in the main switchboard lineup.

Emergency Power:

1. A standby emergency generator is planned for emergency loads with a currently estimated standby rating of 500kW/625kVA. The generator shall be located outdoors in a sound attenuated weather protective enclosure. Generator shall be diesel powered with dual wall sub-base or in-skid mounted fuel tank with fuel capacity to provide 72 hours of run time at full load.
2. Provide three separate branches of emergency distribution with automatic transfer switches and distribution panels.
3. Provide a centralized double conversion online UPS system to feed critical telecommunications equipment.
4. Small localized UPS(s) shall be provided by div. 28 for detention security electronics equipment.

Lightning Protection System:

1. Provide Lightning protection system to meet IEEE, ANSI, NFPA 70, NEC 780, and UL standards for Lightning protection systems.

Grounding System:

1. A complete grounding system shall be provided in compliance with NEC. Insulated equipment grounding conductor shall be provided in all feeders, branch and lighting circuits' raceways.
2. A dedicated grounding system shall be provided for telecommunications systems. Telecommunication Main Grounding Bus (TMGB) shall be provided in the MDF room and Telecommunication Grounding Bus (TGB) shall be provided in all IDF rooms. All TGBs and TMGB shall be connected together and also to ground bus in the nearest electrical panel. All equipment, racks and cable trays shall be bonded to the TGBs and TMGB in the IDF and MDF rooms.

Distribution and Distribution Equipment:

1. Panel boards will be provided with door-within-door construction, copper bussing and bolt-on circuit breakers. Panel boards will be sized with a minimum of 25% spare capacity.
2. Surge Protection Devices (SPD): SPDs shall be provided at the main service switchboards and at individual panel boards serving computer receptacles or other sensitive electronic equipment. SPDs shall be integrally mounted to the switchboards and panel boards.
3. Provide power distribution and electrical connections to all receptacles, controls, lighting, kitchen equipment, mechanical and new HVAC equipment.

Cables and Conductors

1. All feeder conductors shall be copper up to 100Amps and copper or compact aluminum above 100Amps; aluminum conductors shall not be allowed for branch circuit wiring.
2. Cables with Type XHHW-2 insulation will be provided for services entrances conductors and feeder conductors to panel boards.
3. Cables with Type THHN-THWN insulation will be used for other feeders and all branch circuit conductors.

Receptacles:

1. General: In general, wiring devices will be white except receptacles automatically served by the emergency generator will be red.
2. Convenience Receptacles:
 - Provided throughout the building and within 25 feet of all roof mounted HVAC equipment as required by the National Electrical Code.
 - Specification-grade, 125 volt, 20 ampere rated and limited to a maximum of six duplex devices per 20-ampere branch circuit.

Heat Trace:

1. Provide design build heat trace system for roof, roof drainage and downspouts to provide winter de-icing and maintain roof drainage flow. Provide all panels, control panels, distribution and heating cable, coordinate with roofing and downspout system.

Lighting

Interior Lighting and Controls:

1. Interior lighting will be designed with LED type light fixtures with electronic dimming drivers.
2. All day lit spaces shall have daylight photocell sensors and light fixtures featuring continuous dimming option. Continuous dimming shall be standard for all LED fixtures.
3. All interior lighting fixtures will be specified with a 3500 degree K color range and a color rendered index of 81 or higher.
4. Emergency egress path illumination and green LED exit signs shall be provided with fixtures connected to life safety branch of the emergency generator.
5. Controls:
 - Lighting in the inmate cells shall be controlled from housing control room. No light switches shall be located within the cells. Provide centralized lighting relay panels controlled by the Detention Security Access System with override controls in housing control room.
 - Dayrooms: The lighting in the dayrooms will be controlled by centralized lighting control panels controlled by the Detention Security Access System with override controls located in the housing control room. Daylight responsive dimming controls shall be provided where photocells connected locally will dim the lights automatically.
 - Work rooms, offices and multi-purpose rooms: Lighting fixtures will be controlled by a dual circuit/action wall box occupancy sensor/switch operating in the vacancy sensor mode with manual on and automatic off function for lighting control. They will be programmed to come on

Exterior Lighting and Controls

1. Light fixtures with LED type lamps shall be provided. Pole-mounted fixtures will be provided to illuminate sidewalks, and vandal-resistant building-mounted fixtures will be provided at entrances and along the building perimeter. Exterior lighting will meet dark sky initiatives through the use of full cutoff fixtures, thus reducing light pollution.
2. Flush grade, ground mounted LED flagpole light fixtures with adjustable optics, (3) fixtures per flagpole.
3. Exterior lighting shall be controlled by master lighting control panels with an exterior roof mounted photocell sensor.



Special Systems

Pathways and Raceway:

1. Provide raceway, wireway, supports, racking for cabling and distribution systems specified by Security Electronic Consultant for CATV, Electronic Security, Access Control, Duress, Intercom, Paging, CCTV, IP Video, Visitation, Inmate Telephone, Data/Communication and Fiber System Cabling.
2. Ladder type cable trays shall be provided in all major corridors. Cable supports (d-rings, J-hooks or adjustable saddles) will be provided to allow cabling to be grouped and run along a common path in areas without cable tray.
3. Metallic raceways will be provided for cabling installed in walls, above inaccessible ceilings, exposed or where subject to physical damage. Raceway fill shall not exceed 40%.
4. The MDF telecommunications room will consist of (4) 31.5" x 35.4" x 84" enclosed four post cabinets and (6) 7' x 19" standalone equipment racks to support backbone and horizontal cable installation as well as Owner-provided network equipment. All racks will be seismically braced with overhead ladder racking and properly anchored floor hardware.
5. Each IDF and Secure Electronic rooms will consist of (5) 7' x 19" standalone equipment racks to support backbone and horizontal cable installation as well as Owner-provided network and Secure Electronics equipment. All racks will be seismically braced with overhead ladder racking and properly anchored floor hardware.
6. All ganged rows of equipment racks will have one 6-inch wide, full-height CCS vertical wire manager on the end of each row and one 10-inch wide vertical wire manager in between each pair of equipment racks.
7. All equipment racks will have one single unit horizontal wire manager at the top and bottom of each column of patch panels and equipment, and two double unit horizontal wire manager in for every 48-port patch panel.

Digital, Addressable Fire Alarm System:

1. A new fire digital, addressable fire alarm system will be provided. Extra care shall be taken when specifying the system to make sure that the system being specified is not proprietary and spare parts are readily available.
2. All fire alarm wiring and cables shall be installed in metallic raceways.

In Building Distributed Antenna System (DAS):

1. In building public safety DAS shall be provided for emergency responder's radio system coverage enhancement that will consist of roof mounted donor antenna, building distribution amplifier (BDA), coaxial and fiber optic cabling, master and remote fiber optic units and antennas.

MECHANICAL NARRATIVE

Adopted Codes

1. 2012 International Building Code (2015 IBC effective 1 January 2018)
2. 2012 International Energy Conservation Code (2015 IECC effective 1 January 2018)
3. 2012 International Existing Building Code (2015 IEBC effective 1 January 2018)
4. 2015 Uniform Plumbing Code (Effective date of Jan. 1, 2018)
5. 2012 International Mechanical Code
6. 2012 International Fuel Gas Code

Mechanical HVAC Systems

1. Heating & Cooling Plant:

- Provide hydronic condensing style boilers for heating with full 100% redundancy. Boilers shall fire simultaneously to achieve maximum efficiency. Heating pumps with full 100% redundancy shall be located in a central boiler room which will house the boilers and all other heating water system accessories.
- Chilled water shall be generated by evaporative condensed chillers located outside the building. Idaho being dry and hot during summer months, non-mechanical evaporative cooling is ideal for cooling. It is also extremely efficient as the condenser coil can be cooled down to almost the wet bulb temperature outside using water. Mechanical cooling shall provide supplemental cooling when needed for hotter days. Chilled water pumps will have a 100% standby capacity. The central boiler room will also house the chilled water pumps and associated chilled water system accessories.

2. Housing Blocks:

- Each housing unit will be served by a VAV rooftop unit. The dayroom and cells will be separated as two different zones. VAV boxes with reheat coil will divide the zones. The cells will be exhausted by a common exhaust fan.
- VAV boxes and ductwork will be located in the utility level and routed thru the cell chase.
- Hydronic heating and chilled water coils will be provided for both heating and cooling.
- RTU shall have a MERV 13 air filtration system, and an airside economizer. Heat recovery will be provided for the housing unit RTUs if required per code.
- Day room will be a return air system while the cells will be a 100% outside air system.
- Security supply and exhaust grilles will be provided for cells.
- The control room for the housing pods will also be served by a dedicated rooftop unit.

3. Intake/Release, Dorms and Medical:

- Intake and Release and Dorms will be served by constant volume 100% outside air rooftop units with MERV 13 air filtration system. Cells will be provided with 1 CFM/SF as required per code.
- Medical will be served by a VAV rooftop unit. VAV boxes with hydronic reheat coils will be zoned to provide comfort cooling or heating.

4. Kitchen/Laundry:

- The kitchen hood(s) will be equipped with an exhaust fan(s) and makeup air unit(s). The exhaust fan(s) and makeup air unit(s) will be constant volume. The makeup air unit(s) will be specified with gas-fired heater intended to temper the outside air to 60 F. Air conditioning will not be provided for makeup air system.
- The HVAC system for the kitchen will be a rooftop unit with a hot water coil, a DX coil, and MERV 13 air filtration system. Airflow will be constant volume. Overhead air distribution will be through conventional diffusers.
- Laundry dryers will be provided with exhaust and a makeup air unit.

5. Admin/Multi-Purpose:

- These spaces will be served by VAV rooftop units with MERV 13 air filtration system. VAV boxes with hydronic reheat coils will be zoned to provide comfort cooling and heating. Noise level will be limited to 30 NC.

6. Service type areas; i.e. mechanical rooms, etc., will be heated with cabinet or horizontal unit heaters (hydronic) with integral thermostats for local control of the equipment. Minimum cooling is planned for these areas.

7. HVAC Test and Balance:

- Air and Water Balance: Balancing will be accomplished by a firm with a minimum of three years of experience on similar projects.

8. Controls:

- Provide Reliable Controls for building DDC system. All RTUs, boilers, chillers, exhaust fans, unit heaters, etc. shall be on building management system. UUKL listed smoke control panel shall be provided as part of smoke control system.

9. Commissioning

- Fundamental and Advanced commissioning will be provided for the jail facility.



10. Smoke Control System:

- All windowless I-3 occupancy areas shall be provided with smoke control system per IBC.
- Rooftop units shall be used as a smoke control system. The dampers and actuators in the units will be listed to operate as part of smoke control system.
- Exhaust fans serving I-3 occupancy areas shall also be listed for smoke control application.
- Smoke control system shall be on emergency power.

Plumbing Systems

1. Domestic Water System:

- The domestic cold water service will be from main building service entering into the main mechanical room.
- Domestic water piping will be Type L copper piping with lead-free solder joints or mechanical coupling similar to pro-press.
- Insulation: Cold and hot water will be insulated using fiberglass with kraft jacketing. The insulation thickness will be specified to be consistent with energy code requirements.
- Pipeline Supports: Domestic water pipeline supports will be specified to be consistent with the requirements of the applicable plumbing code.
- Identification: Pipelines will have identification tags and flow arrows. Pipeline identification tags will be adhesive markers that are commercially available.

2. Domestic Hot Water:

- The domestic hot water system in the kitchen and laundry will be distributed at 140°F.

- The domestic hot water system in the restroom and other non-kitchen use will be distributed at 120°F.
- Tempered water at 105°F will serve Housing units.
- Domestic water heaters for kitchen and laundry will be located in the central mechanical room. Mechanical room in the Housing will be provided with their own water heaters.
- Medical, Intake/Release and Admin will be provided with separate water heaters located in the mechanical room.
- A recirculation pump will be provided for each hot water system with a network greater than 75 feet of piping to maintain hot water to the fixtures.

3. Plumbing Fixtures:

- All plumbing fixtures will be selected in accordance with the use of the facility and will meet all ADAAG, state, and local regulations.
- Water closets constructed from vitreous china with wall hanger and backing plate. Water closets will have an elongated bowl, siphon jet action, and open-front seat.
- Combi units and security fixtures will be provided in all inmate accessible areas.
- Lavatories will be vitreous china with center-set faucets in non-inmate areas, open drain type waste outlet, flexible supplies with angle stops, and adjustable 1¼-inch cast brass P-trap. Faucet will be automatic type. Water flows will be limited to 0.5 gallons per minute.
- Urinals to be wall-hung blow out type, vitreous china with flush valve, wall hanger and backing plate for non-inmate areas.

- Drinking fountains will be wall-mounted via a backing plate and constructed from stainless steel.
- Stainless steel sinks will be outfitted with faucet, supplies with stops, and cast brass P-trap. Faucet will be manual type with ADAAG-compliant handles. Faucets will be equipped with a 1.0 gpm flow restrictor for water conservation.
- Mop sinks will be pre-molded stone type with sink edge guards, wall-mounted faucet with hose end, brace, and vacuum breaker. Water flow will be limited to 2.5 gallons per minute.
- Handicapped- and ADAAG-accessible fixtures will be provided, as required.

4. Sanitary Waste and Vent System:

- Above ground sanitary piping will be cast iron with heavy duty mechanical couplings. Above ground vent piping will be cast iron with regular duty mechanical couplings. Below ground piping will be PVC. Kitchen sanitary waste shall be cast iron hubless.
- Sanitary and vent pipelines will not be insulated.
- Floor drains will be provided in toilet rooms. In unfinished areas, cast iron floor drain strainers will be provided. Finished areas will be supplied with polished brass floor drain strainers. Toilet rooms with one water closet will not have a floor drain.
- Floor drains and/or floor sinks will be provided in mechanical equipment rooms, as required. In unfinished areas, cast iron floor drain strainers will be provided.
- A grease interceptor will be provided for the kitchen and located outside the building. Grease interceptor will be compliant with requirements imposed by the local authority having jurisdiction.
- Pipeline Supports: Sanitary waste and vent pipeline supports will be specified to be consistent with the requirements of the applicable plumbing code.
- Identification: Pipelines will have identification tags and flow arrows. Pipeline identification tags will be adhesive markers that are commercially available.

5. Fire Protection System

- The fire sprinkler main will come on the south side into the fire riser room. Fire protection will be designed per the latest version of NFPA. Performance specification will be provided as part of Division 21 specs.

Each housing unit shall be a separate fire protection zone. Admin and rest of the areas shall be another zone.

Each housing block shall be provided with standpipe with coiled hose in a fire cabinet under the control room.

Provide dry pipe protection in areas subject to freezing.

Institutional type sprinklers with quick response will be provided for Housing units. Upright or pendant style sprinklers based on ceiling types will be provided in all other areas.

Kitchen exhaust hoods will contain auxiliary fire suppression system designed for anticipated use. IDF and MDF rooms will be provided with stand-alone FM200 system.

Fire pump shall be provided for this facility along with a jockey pump. The pumps shall be on emergency generator.



**CANYON
COUNTY
SHERIFF'S
OFFICE**

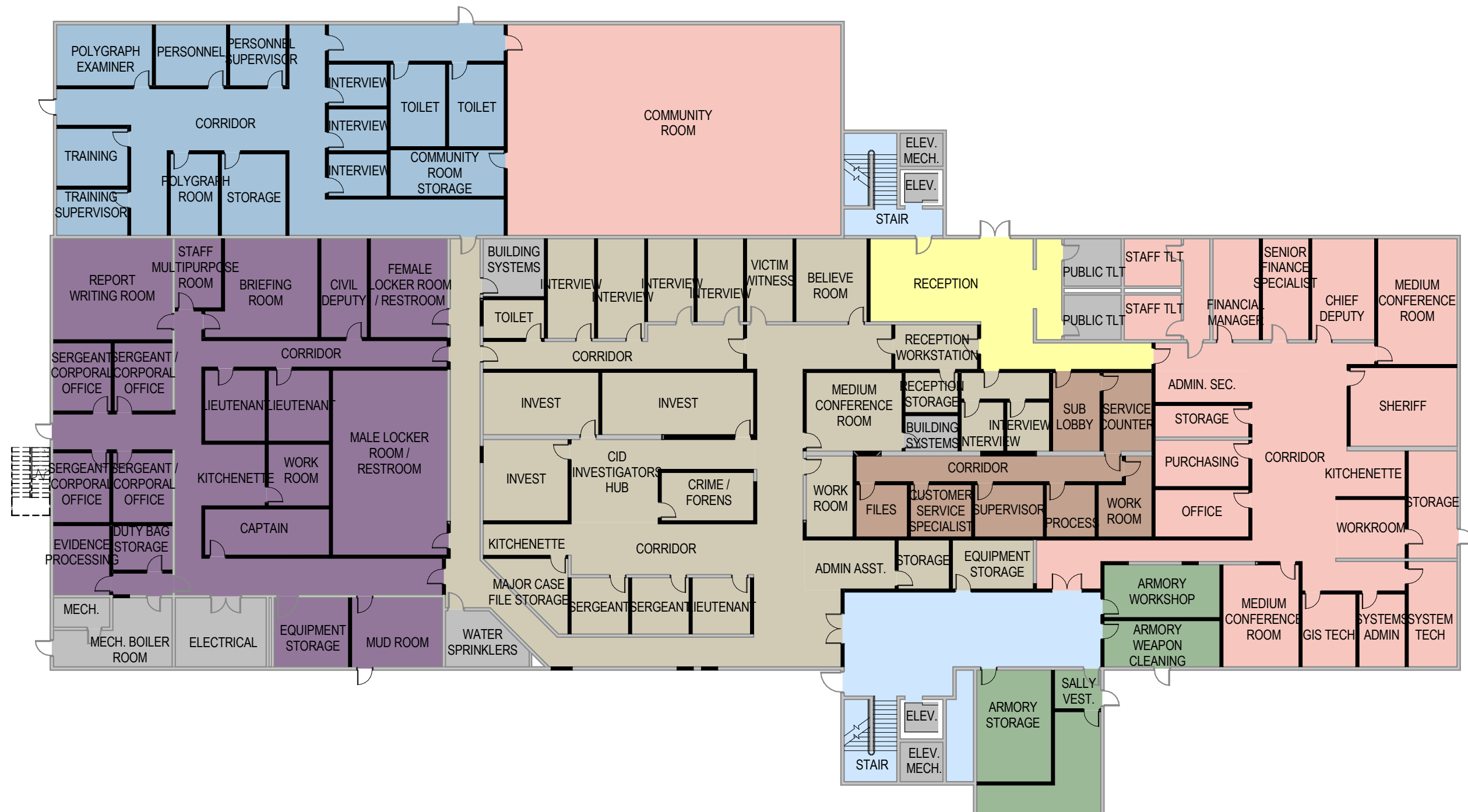


DALE G. HAILE BUILDING ADAPTIVE REUSE

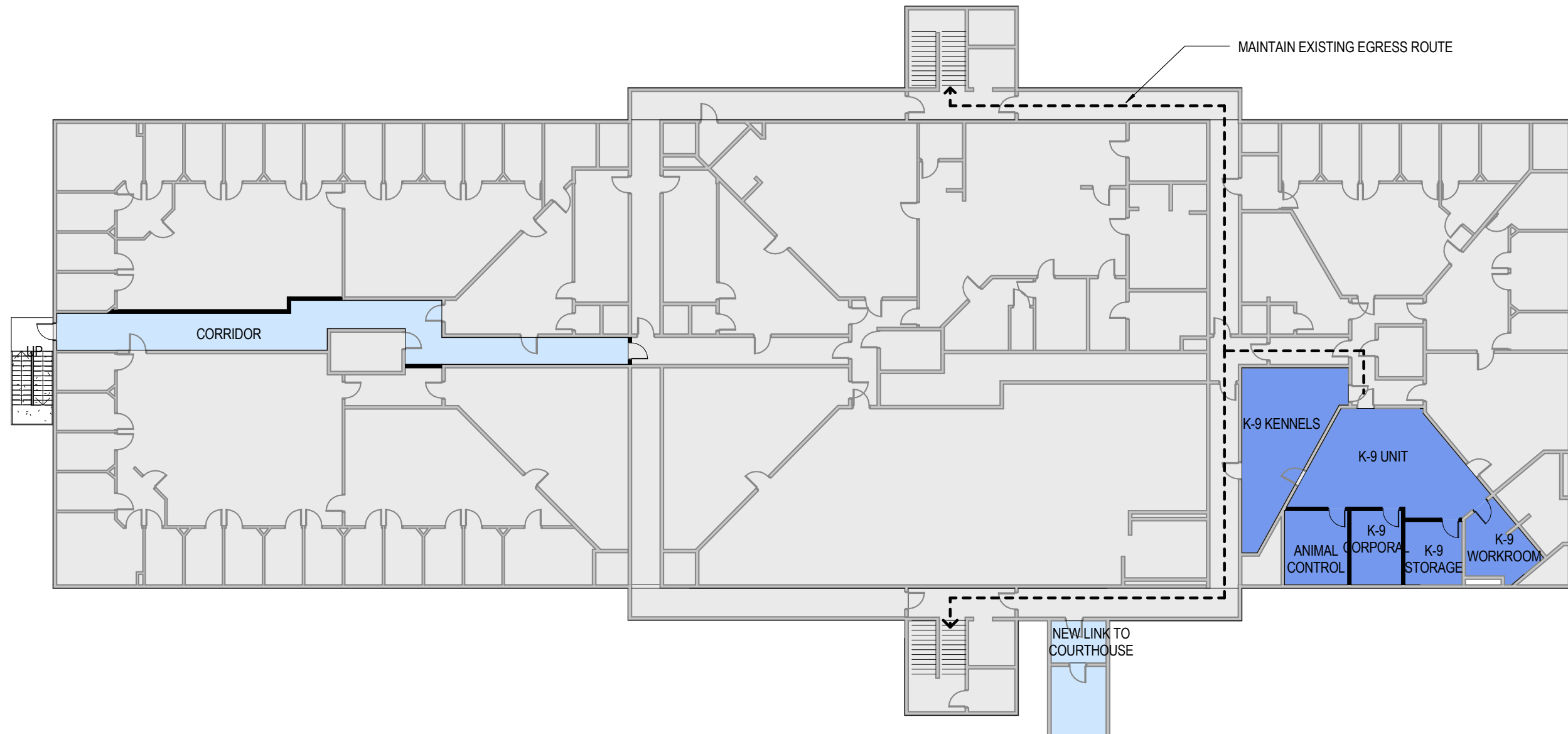
DLR Group design team studied the possibility to adaptively reuse the Dale G. Haile building to be the new Sheriff's Office. This building was built in 1991. It is the main building of the Canyon County Jail. Per the Facility Assessment done by DLR Group, the structural system of this building are largely sound. Certain building systems need to be replaced or improved in order to reuse this building as an office building. Per Pielow Consulting's building code analysis, certain architecture improvement is needed for this building to be reused as an office building. Please refer to these sections for detailed requirements.

DLR Group design team did space adjacency study, departmental blocking study, and conceptual design based on the information above. We presented and received feedback and direction from the stockholder group. The conceptual design keeps most of the load-bearing walls in place to simplify the construction and save cost. Windows maybe added on the first floor exterior wall to bring daylight into the offices. The entire first level and a small portion of the second level will be reused to accommodate the Sheriff's Office program. An exterior exit stair and exiting corridor were added on the second floor per the recommendation of the building code analysis. The "link" building between Dale G. Haile building and the main campus buildings has to be demolished and rebuilt to comply with building code in order to transport inmates. The rest of the second floor will be closed off and reserved for future growth or other county departments to use. Additional building code and accessibility study need to be executed before turning the closed-off space into usable space.

SHERIFF'S OFFICE - LEVEL 1



SHERIFF'S OFFICE - LEVEL 1



BUILDING SYSTEMS

ELECTRICAL NARRATIVE

Codes and Standards

The following codes are applicable to this project:

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4. Americans with Disabilities Act (ADA)
5. National Electrical Manufacturer's Association (NEMA)
6. Electrical Industries Alliance (EIA)
7. Telecommunications Industry Association (TIA)

The project will be designed to conform to the Americans with Disabilities Act and Architectural Guidelines (ADAAG).

Electrical Scope of Work

The electrical scope of work shall include the following:

1. Remodel existing Dale G. Haile building into the new Sheriff's office. 1st floor will be entirely remodeled. The second floor will be partially remodeled.
2. Reuse the existing Main Switchboard and utility transformer.

3. Reuse existing generator, provide new ATS's and emergency distribution.
4. Provide new panel boards on 1st floor. Replace panel boards on 2nd floor as needed to serve new loads or to replace panels on walls being demolished.
5. New convenience and computer receptacles.
6. New Mechanical and plumbing equipment connections.
7. New Interior lighting and controls.
8. Daylight responsive lighting dimming controls.
9. Reuse exterior lighting and controls.
10. New telecommunications distribution cabling.
11. New CATV service and distribution cabling.
12. New Audio & Video system.
13. New Digital, addressable fire alarm system.

Power Distribution

Site Power:

1. Reuse existing site power and distribution.

Normal Power:

1. Reuse existing branch panelboards for new receptacle and power distribution.

Emergency Power:

1. Reuse and recondition the existing emergency generator. Provide on-site manufacturer certified reconditioning.
2. Provide (2) new Automatic Transfer Switches and Standby and Life Safety power distribution systems for both floors.

Grounding System:

1. A new dedicated grounding system shall be provided for telecommunications systems. Telecommunication Main Grounding Bus (TMGB) shall be provided in the MDF room and Telecommunication Grounding Bus (TGB) shall be provided in all IDF rooms. All TGBs and TMGB shall be connected together and also to ground bus in the nearest electrical panel. All equipment, racks and cable trays shall be bonded to the TGBs and TMGB in the IDF and MDF rooms.

Distribution and Distribution Equipment:

1. Provide new panel boards on entire 1st floor.
2. On 2nd floor, reuse existing panel boards where possible. Provide new panel boards in areas where panels in are in walls scheduled for demolition.
3. 1st floor will be fully demolished, provide new power distribution and electrical connections to all receptacles, controls, lighting, kitchen equipment, mechanical and new HVAC equipment.
4. Provide new power distribution on 2nd floor in the areas to be remodeled.

Cables and Conductors

1. All feeder conductors shall be copper up to 100Amps and copper or compact aluminum above 100Amps; aluminum conductors shall not be allowed for branch circuit wiring.
2. Cables with Type XHHW-2 insulation will be provided for services entrances conductors and feeder conductors to panel boards.
3. Cables with Type THHN-THWN insulation will be used for other feeders and all branch circuit conductors.



Receptacles:

1. General: In general, wiring devices will be white except receptacles automatically served by the emergency generator will be red.
2. Convenience Receptacles:
 - Provided throughout the building and within 25 feet of all roof mounted HVAC equipment as required by the National Electrical Code.
 - Specification-grade, 125 volt, 20 ampere rated and limited to a maximum of six duplex devices per 20-ampere branch circuit.

Lighting**Interior Lighting and Controls:**

1. Replace all interior lighting on the 1st floor and part of the 2nd floor (in scope of work) with LED type light fixtures with electronic dimming drivers.
2. All day lit spaces shall have daylight photocell sensors and light fixtures featuring continuous dimming option. Continuous dimming shall be standard for all LED fixtures.
3. All interior lighting fixtures will be specified with a 3500 degree K color range and a color rendered index of 81 or higher.
4. Emergency egress path illumination and green LED exit signs shall be provided with fixtures connected to life safety branch of the emergency generator.
5. Controls:
 - Work rooms, offices and multi-purpose rooms: Lighting fixtures will be controlled by a dual circuit/action wall box occupancy sensor/switch operating in the vacancy sensor mode with manual on and automatic off function for lighting control. They will be programmed to come on to 50% intensity with one press of the switch. If the occupant desires 100%. The lights will turn off automatically after the room has been vacant for some time. Occupancy sensors will be low voltage with power packs.

Special Systems**Pathways and Raceway:**

1. Provide raceway, wireway, supports, racking and cabling for CATV, Security, Access Control, Duress, Intercom, Paging, CCTV, Data/Communication and Fiber System Cabling.
2. Metallic raceways will be provided for cabling installed in walls, above inaccessible ceilings, exposed or where subject to physical damage. Raceway fill shall not exceed 40%.
3. The MDF telecommunications room will consist of (4) 31.5" x 35.4" x 84" enclosed four post cabinets and (6) 7' x 19" standalone equipment racks to support backbone and horizontal cable installation as well as Owner-provided network equipment. All racks will be seismically braced with overhead ladder racking and properly anchored floor hardware.
4. Each IDF rooms will consist of (5) 7' x 19" standalone equipment racks to support backbone and horizontal cable installation as well as Owner-provided network equipment. All racks will be seismically braced with overhead ladder racking and properly anchored floor hardware.
5. All ganged rows of equipment racks will have one 6-inch wide, full-height CCS vertical wire manager on the end of each row and one 10-inch wide vertical wire manager in between each pair of equipment racks.
6. All equipment racks will have one single unit horizontal wire manager at the top and bottom of each column of patch panels and equipment, and two double unit horizontal wire manager in for every 48-port patch panel.

Digital, Addressable Fire Alarm System:

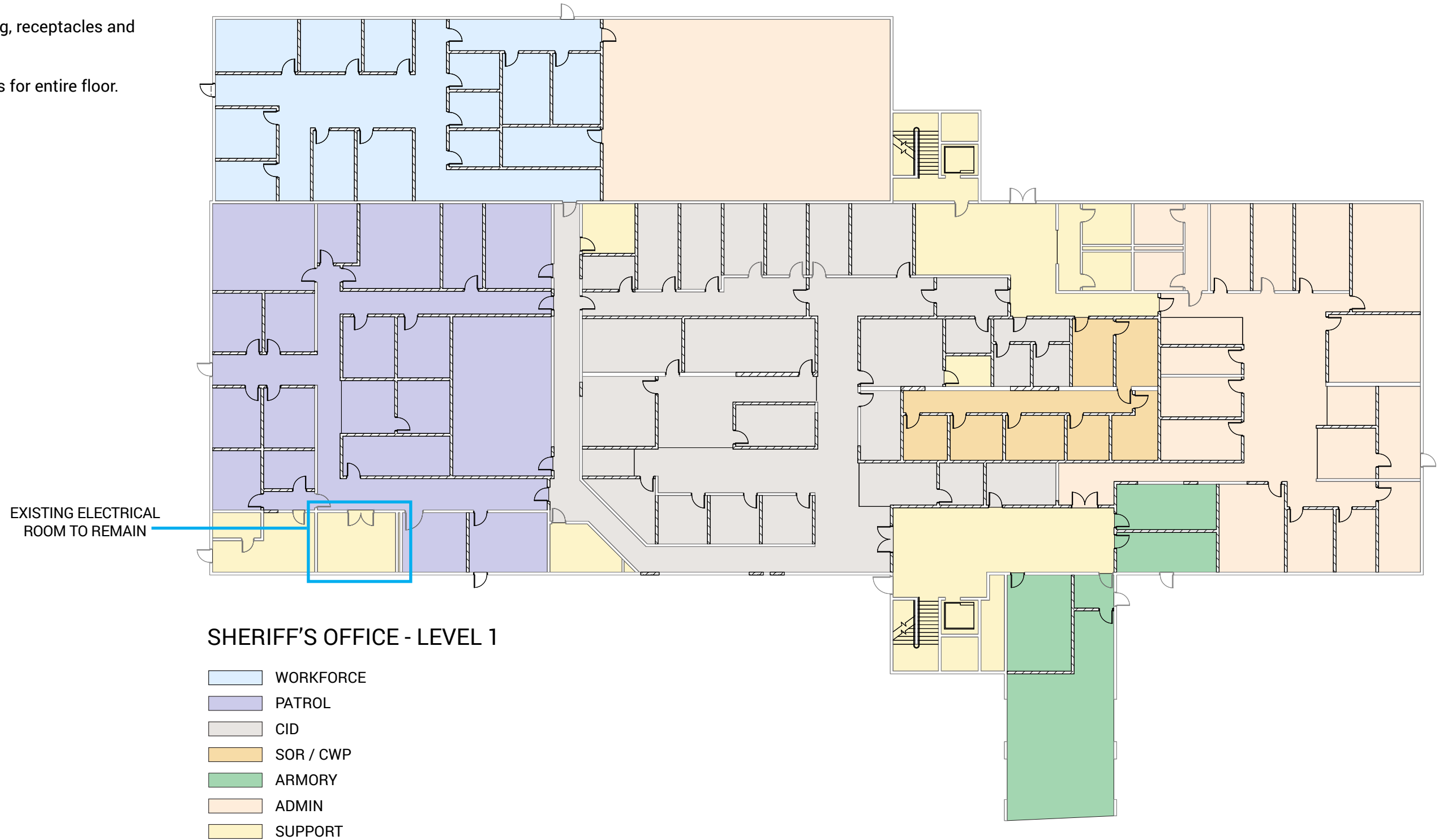
1. A new fire digital, addressable fire alarm system will be provided. Extra care shall be taken when specifying the system to make sure that the system being specified is not proprietary and spare parts are readily available.
2. All fire alarm wiring and cables shall be installed in metallic raceways.

In Building Distributed Antenna System (DAS):

1. In building public safety DAS shall be provided for emergency responder's radio system coverage enhancement that will consist of roof mounted donor antenna, building distribution amplifier (BDA), coaxial and fiber optic cabling, master and remote fiber optic units and antennas.

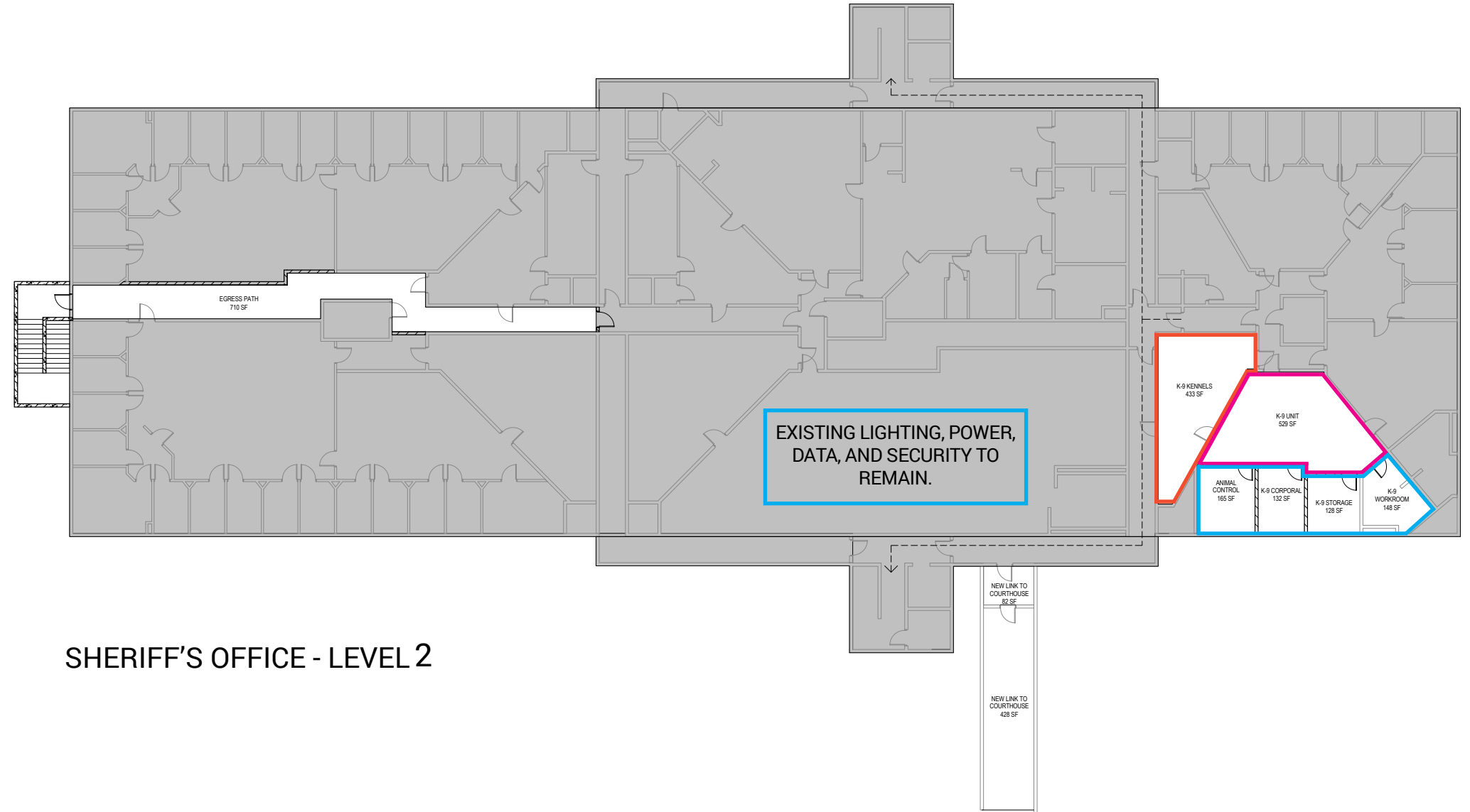
Electrical Systems Summary - Level 1

- 1. Reuse existing main switchgear.
- 2. Provide new panelboards, lighting, receptacles and power distribution.
- 3. Provide new low voltage systems for entire floor.



Electrical Systems Summary - Level 2

1. Reuse existing distribution and lighting in areas not being remodeled.
2. Provide new lighting, power, data, paging, security, CCTY and fire alarm in remodeled areas.
3. Reuse existing low voltage systems for entire floor. Reconnect existing paging, security, CCTV and data into new head end locations on first floor.
4. Reconnect existing fire alarm devices into new system.
5. Provide connections to new mechanical and HVAC systems.



SHERIFF'S OFFICE - LEVEL 2

MECHANICAL NARRATIVE

Adopted Codes

1. 2012 International Building Code (2015 IBC effective 1 January 2018)
2. 2012 International Energy Conservation Code (2015 IECC effective 1 January 2018)
3. 2012 International Existing Building Code (2015 IEBC effective 1 January 2018)
4. 2015 Uniform Plumbing Code (Effective date of Jan. 1, 2018)
5. 2012 International Mechanical Code
6. 2012 International Fuel Gas Code

Mechanical HVAC Systems

1. Existing heat pumps serving the Sheriff's offices shall be removed. Associated condenser water piping shall also be removed. The whole mechanical system shall be gutted.
2. Heating and cooling shall be provided by new water source heat pumps. Ventilation shall be provided by rooftop or indoor air handlers. Ventilation will be distributed by VAV boxes to the heat pumps on the return side to mix with the return air. Ventilation air ducts will be sized for 100% outside air economizer cooling as required by 2012 IECC. Based on current energy code, economizer cooling is a requirement. The north side of the building has a lower roof where the RTUs can be mounted. The remaining ventilation units will be located in the decommissioned space of second floor.
3. Air handlers/RTUs will be provided with energy recovery section and MERV 13 filters.
4. See attached plans for new HVAC zones. One heat pump per zone shall serve the new Sheriff's offices. Heat pumps shall be sized at a maximum of 2.5 ton capacity (30,000 Btu/hr).
5. New condenser water piping shall be routed from the fluid cooler to the heat pumps.

1. Vehicular Sallyport shall be provided with supply and exhaust air. The space will be kept negative with respect to adjacent spaces and be provided with carbon monoxide and nitrogen dioxide sensors.
2. Similar heat pumps shall also be provided to serve the second floor K-9 areas. Ventilation air shall come from a new air handler located on the same floor. Condenser piping shall be routed to the second floor also. Rest of decommissioned second floor spaces shall be provided with heaters to keep the spaces from freezing.
3. Exhaust fans for restrooms shall exhaust air out through the lower roof.
4. DDC controls for the building shall be Reliable controls.

Plumbing

1. New plumbing fixtures and domestic water lines shall be provided to serve the new restrooms and locker rooms. New electric water heaters shall be located in the mechanical room. Hot water circulation pump shall circulate hot water around the building. New reduced pressure backflow preventer on the cold water line shall prevent backflow back into City water mains.
2. Security plumbing fixtures will be used in restrooms accessible to inmates holding areas.
3. Water softener shall be included if the water quality test results indicate hard water.

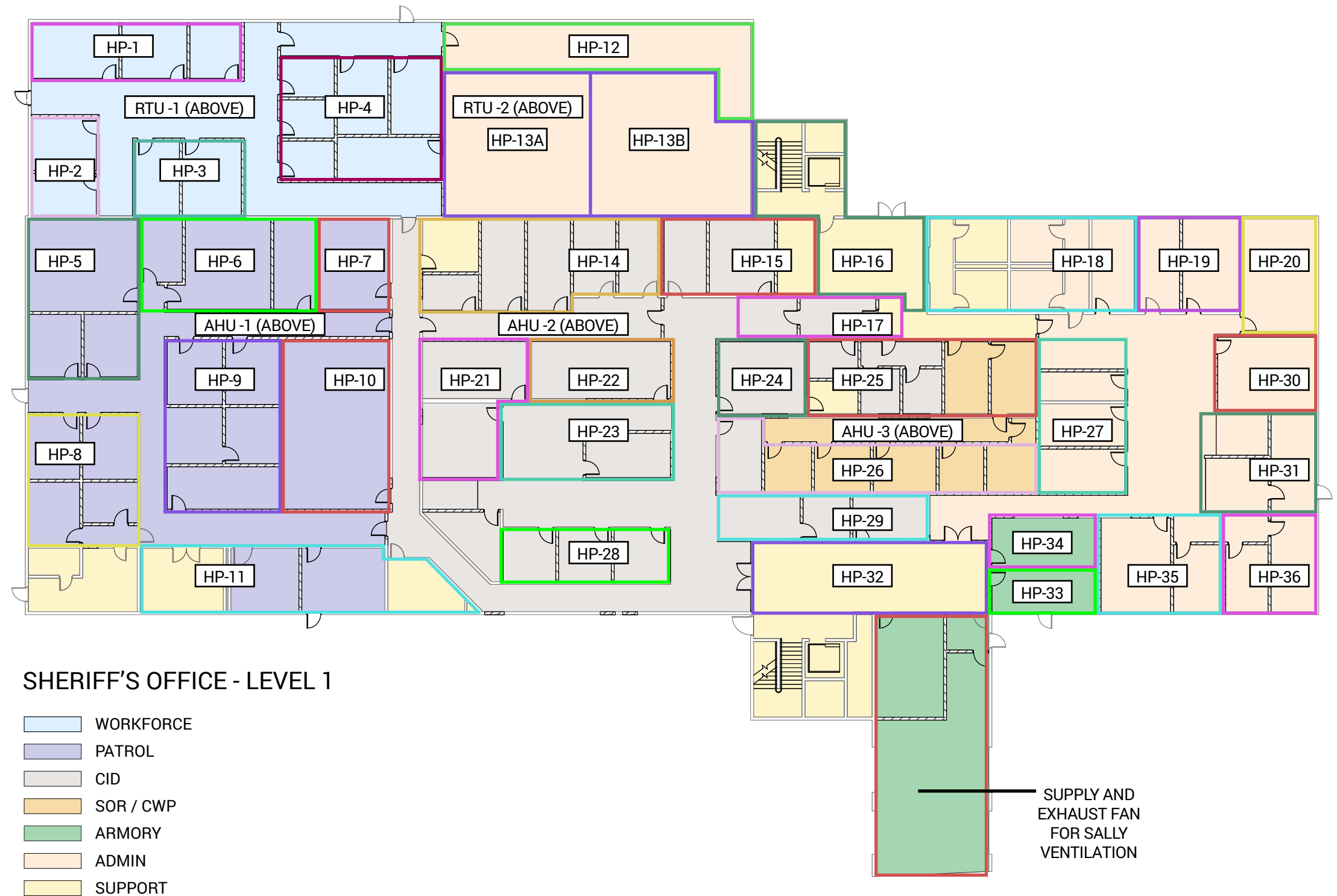
Fire Protection System

1. New fire protection system shall be provided for the entire first floor. The second floor shall also be provided with modified sprinkler system to serve the new floor plan.
2. Fire riser room shall house the double check backflow assembly (or as required by local AHJ). Areas subject to freezing shall be served by dry pipe fire protection systems. Otherwise all the areas will be served by wet pipe systems.



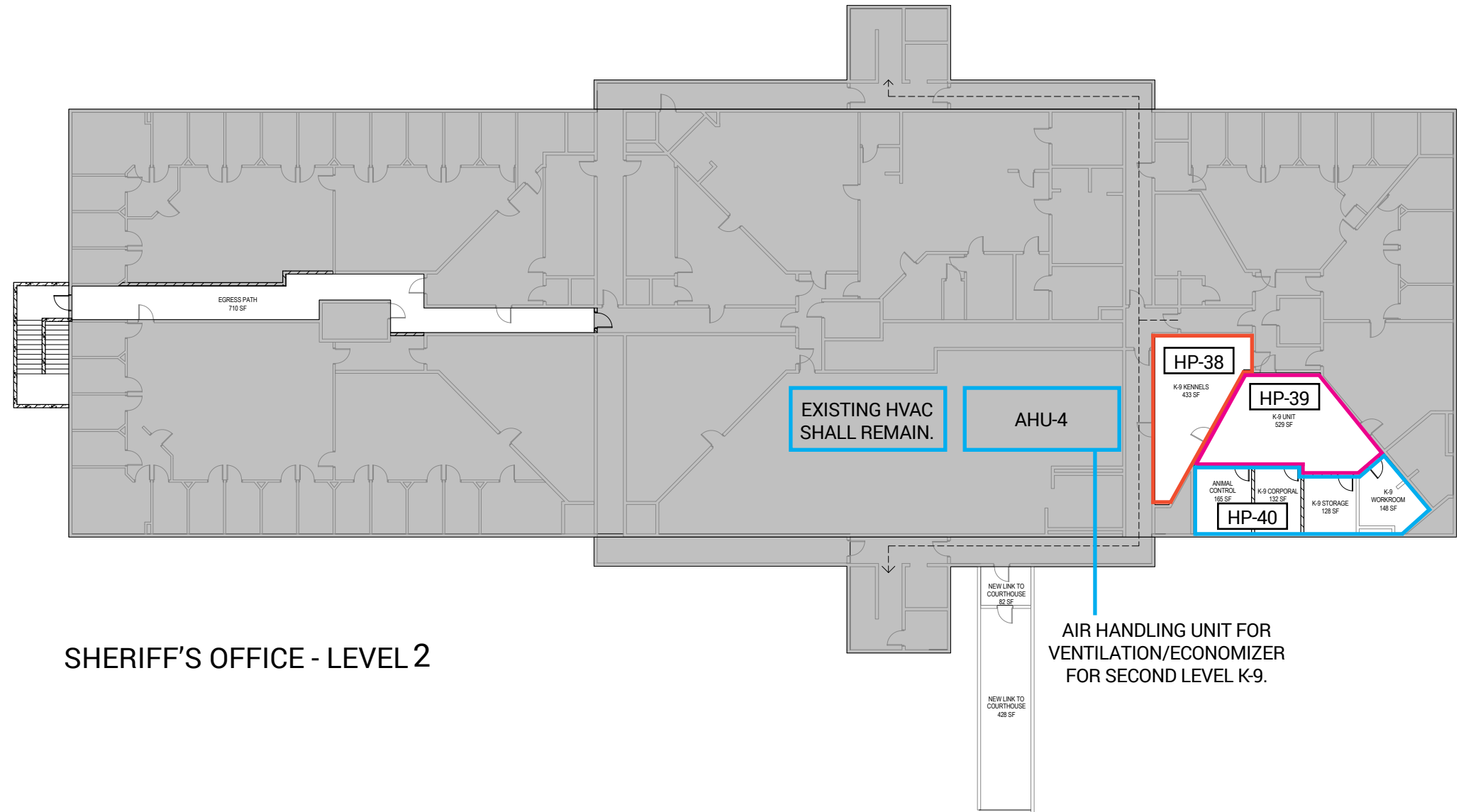
Mechanical Systems Summary - Level 1

1. Heating/Cooling: Total of 37 water source heat pumps - Reuse (E) fluid cooler.
2. Ventilation/Economizer: Use VAV AHU/RTU (DOAS) units above to provide ventilation and economizer. Total needed -5.
3. Garage type ventilation for vehicular sallyport.



Mechanical Systems Summary - Level 2

- 1. Heating/Cooling: Total of 3 water source heat pumps - Reuse (E) fluid cooler.
- 2. Ventilation/Economizer: Use VAV AHU (DOAS) unit to provide ventilation and economizer. Total needed -1.
- 3. Existing HVAC system to holding shall remain.





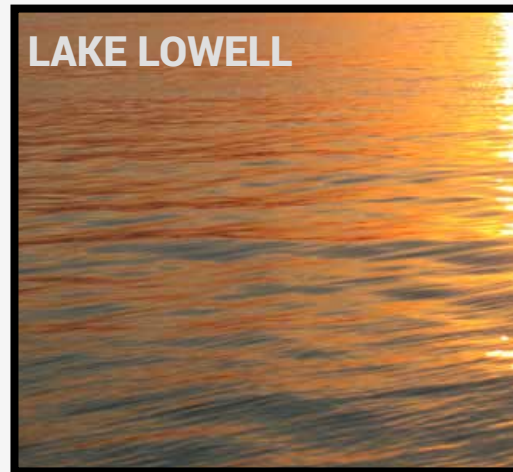
PINE WOOD



GARNET SAND



BOISE RIVER



LAKE LOWELL



GRAVEL



RED CEDAR WOOD

PART III: SCHEDULE

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CONSTRUCTION SCHEDULE

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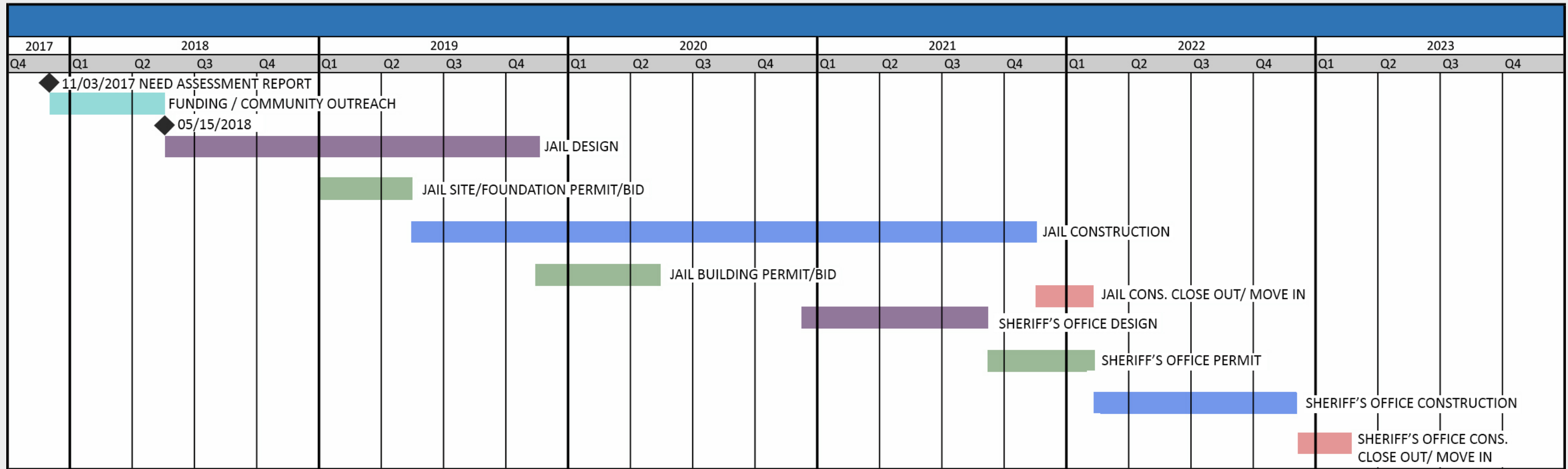


CONSTRUCTION SCHEDULE

DLR Group projected the construction schedule based on the funding secured on May 15, 2018. We expect the design process for the jail building to start right after the bond is approved, and would take approximately 18 months to complete. The site/grading/foundation package will be issued as an early work scope of work during the design process to get the site work permit. The construction will start right after receiving the site permit, and would take approximately 30 months to complete. This early work package will reduce the overall project schedule to be reduced by approximately 6 months.

We expect the Sheriff's Office design to take 9 months and would occur during the construction of the jail building. We recommend scheduling the construction permits to occur about the same time as the new jail is completed and during the jail occupancy period. This way the construction of the Sheriff's Office would start immediately after the Dale Haile jail is vacant. We expect the construction of the Sheriff's office to take approximately 10 months.

DLR Group recommends the Construction Manager/General Contractor (CM/GC) construction delivery method. CM/GC is an alternative approach to the traditional design-bid-build process. In the design-bid-build approach, owners aim to have a complete project design finished when general contractors begin bidding. Under the CM/GC approach the owner engages the services of a CM/GC during the early design stages. The CM/GC takes on the role of construction manager during design development, project planning, and budget creation. When the project is almost ready to begin construction, the owner and CM/GC negotiate a guaranteed maximum price (GMP) for construction services, and the construction manager becomes the general contractor. Because the contractor is involved during the entire planning and construction process, these projects often see better budget control, fewer change orders, and time-saving outcomes. CM/GC method is best suited for large, complex projects with site or schedule constraints.





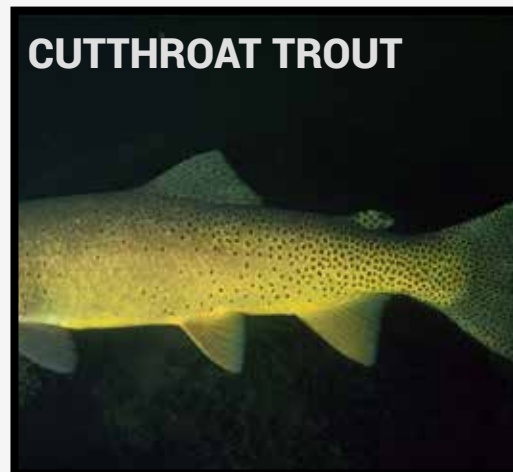
APALOOSA HORSE



ELK



MOUNTAIN BLUEBIRD



CUTTHROAT TROUT



MONARCH BUTTERFLIES



PEREGRINE FALCON

PART IV: COST ESTIMATES

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CONSTRUCTION COST ESTIMATE



**Canyon County
JAIL
Caldwell, Idaho**

**FEASIBILITY STUDY
COST ESTIMATE R2**
October 9, 2017

JMB CONSULTING GROUP

JMB CONSULTING GROUP

4320 29th Avenue W
Seattle, Washington 98199
Tel: 206.708.7280

October 9, 2017

Bill Valdez
DLR Group, Inc.
51 University Street
Suite 600
Seattle, Washington 98101

**Re: Canyon County
Subject: Jail
Caldwell, Idaho**

Dear Bill:

In accordance with your instructions, we enclose our cost estimate for the project referenced above. This cost estimate is a statement of reasonable and probable construction cost. It is not a prediction of low bid.

We would be pleased to discuss this report with you further at your convenience.

Sincerely,

Jon Bayles

JMB Consulting Group LLC 17-021

Enclosures

BASIS OF COST ESTIMATE R2

Conditions of Construction

The pricing is based on the following general conditions of construction

A start date of May 2019

A construction period of 30 months

The general contract procurement method will be CM/GC

There will not be small business set aside requirements

The contractor will be required to pay prevailing wages

EXCLUSIONS

Owner supplied and installed furniture, fixtures and equipment

Furnishing of audio visual equipment

Hazardous material handling, disposal and abatement except as identified

Off-site work

Compression of schedule, premium or shift work, and restrictions on the contractor's working hours

Design, testing, inspection or construction management fees

Architectural and design fees

Scope change and post contract contingencies

Assessments, taxes, finance, legal and development charges

Environmental impact mitigation

Builder's risk, project wrap-up and other owner provided insurance program

Land and easement acquisition



OVERALL SUMMARY

		\$ / SF	\$x1,000
Building+Sitework	266,302 SF	541.25	144,137
TOTAL Building & Sitework Construction			144,137

Additive Alternates

Alt 1: Sheriff's Office Renovation	37,070 SF	467.48	17,329
Alt 2: Sheriff's Office Replacement	37,070 SF	619.24	22,955

BUILDING+SITWORK Construction Systems and Assemblies Summary

Enclosed Area 266,302 SF

		Base Bid	
		\$/SF	\$x1,000
A	Substructure		
A10	Foundations	16.70	4,447
A20	Basement construction	-	-
A	SUBSTRUCTURE	16.70	4,447
B	Shell		
B10	Superstructure	18.10	4,820
B20	Exterior enclosure	33.00	8,788
B30	Roofing	22.90	6,098
B	SHELL	74.00	19,706
C	Interiors		
C10	Interior construction	58.00	15,446
C20	Stairs	1.80	479
C30	Interior finishes	15.20	4,048
C	INTERIORS	75.00	19,973
D	Services		
D10	Conveying systems	-	-
D20	Plumbing	29.30	7,803
D30	Heating, Ventilation and Air Conditioning (HVAC)	44.30	11,797
D40	Fire protection systems	5.50	1,465
D50	Electrical	70.90	18,881
D	SERVICES	150.00	39,945
E	Equipment and furnishings		
E10	Equipment	15.10	4,021
E20	Furnishings	4.00	1,065
E	EQUIPMENT AND FURNISHINGS	19.10	5,086
F	Special construction and demolition		
F10	Special construction	31.60	8,415
F20	Selective demolition	-	-
F	SPECIAL CONSTRUCTION AND DEMOLITION	31.60	8,415
G	Building sitework		
G10	Site preparation	9.25	2,463
G20	Site improvements	11.50	3,062
G30	Site civil/Mechanical utilities	6.75	1,798
G40	Site electrical utilities	4.50	1,198
G90	Other site construction	-	-
G	BUILDING SITEWORK	32.00	8,522

Canyon County Jail Building+Sitework Caldwell, Idaho		Feasibility Study Cost Estimate R2 October 9, 2017 17-021.120	
BUILDING+SITWORK Construction Systems and Assemblies Summary			
Enclosed Area		266,302 SF	
		Base Bid	
SUBTOTAL DIRECT COST		398.40	106,095
Contingencies			
Design & Estimating Contingency	10.00%	39.84	10,609
Construction/Risk Contingency	3.00%	11.95	3,183
Escalation Contingency	11.66%	46.44	12,367
SUBTOTAL SUBCONTRACT COST		496.63	132,254
General			
NSS/Job Services/Site Logistics	5.47%	8.45	2,250
SUBTOTAL		8.45	2,250
General			
General Conditions	2.40%	9.58	2,550
Fee	2.50%	12.63	3,363
Preconstruction Fees	EXCLUDED		
SUBTOTAL		22.20	5,913
SUBTOTAL CONSTRUCTION COST		527.28	140,416
Permits, Insurances, Bonds & Taxes			
Bid Document Reproduction	0.00%	-	-
CM/GC P&P Bond	1.00%	5.27	1,404
GL Insurance	1.00%	5.27	1,404
Builder's Risk Insurance	0.50%	2.64	702
Permits	0.15%	0.79	211
TOTAL PROBABLE CONSTRUCTION COST		541.25	144,137

Canyon County Jail Alternates Caldwell, Idaho		Feasibility Study Cost Estimate R2 October 9, 2017 17-021.120			
		Quantity	Unit	Rate	Total
Alt 1: Sheriff's Office Renovation					
Demolition, selective	37,070.00	sf	12.00	444,840	
Foundations - assume CMU can be placed on existing SOG	No work anticipated				-
SOG - selective replacement for plumbing	34,600.00	sf	3.00	103,800	
Gravity+lateral frame	No work anticipated				-
Floor + roof framing	No work anticipated				-
Misc metals/pads/curbs	37,070.00	sf	2.00	74,140	
Exterior cladding					-
Patch/repair exterior finish	37,070.00	sf	4.00	148,280	
Interior of exterior	37,070.00	sf	3.50	129,745	
Entrances/openings	37,070.00	sf	7.00	259,490	
Detailing/interface existing	37,070.00	sf	2.00	74,140	
Roof patch/sheetmetal allowance	41,350.00	sf	2.00	82,700	
Interior partitions+doors	37,070.00	sf	44.00	1,631,080	
Specialties	37,070.00	sf	5.00	185,350	
Stairs, exterior	1.00	flt	35,000.00	35,000	
Interior wall/floor/ceiling finishes	37,070.00	sf	33.50	1,241,845	
Elevators	No work anticipated				-
Plumbing	37,070.00	sf	14.50	537,515	
HVAC	37,070.00	sf	53.00	1,964,710	
Fire protection	37,070.00	sf	5.50	203,885	
Electrical	37,070.00	sf	63.00	2,335,410	
Equipment & fixed furnishings	37,070.00	sf	12.00	444,840	
Code minimum improvements to remaining shell	24,752.00	sf	10.00	247,520	
Site work allowance	37,070.00	sf	12.00	444,840	
New link to courthouse	60.00	lf	10,000.00	600,000	
Additional contingency + escalation	14.00%		11,189,130.00	1,566,478	
Mark ups	35.86%		12,755,608	4,573,790	
					17,329,398



Canyon County Jail
 Alternates
 Caldwell, Idaho

Feasibility Study Cost Estimate R2
 October 9, 2017
 17-021.120

	<i>Quantity</i>	<i>Unit</i>	<i>Rate</i>	<i>Total</i>
Alt 2: Sheriff's Office Replacement				
Demolition, complete building wrecking	61,822.00	sf	11.00	680,042
Foundations	37,070.00	sf	10.00	370,700
SOG	18,535.00	sf	7.50	139,013
Elevator pit	1.00	ea	10,000.00	10,000
Gravity/lateral frame	37,070.00	sf	22.50	834,075
Floor framing	18,535.00	sf	26.50	491,178
Roof framing	18,535.00	sf	20.00	370,700
Misc metals/pads/curbs	37,070.00	sf	2.25	83,408
Exterior cladding	37,070.00	sf	44.00	1,631,080
Roof patch/sheetmetal	18,535.00	sf	26.00	481,910
Interior partitions+doors	37,070.00	sf	44.00	1,631,080
Specialties	37,070.00	sf	5.00	185,350
Stairs, interior	2.00	flt	20,000.00	40,000
Interior wall/floor/ceiling finishes	37,070.00	sf	33.50	1,241,845
Elevators	1.00	ea	100,000.00	100,000
Plumbing	37,070.00	sf	14.50	537,515
HVAC	37,070.00	sf	53.00	1,964,710
Fire protection	37,070.00	sf	5.50	203,885
Electrical	37,070.00	sf	63.00	2,335,410
Equipment & fixed furnishings	37,070.00	sf	12.00	444,840
Site work allowance	37,070.00	sf	12.00	444,840
New link to courthouse	60.00	lf	10,000.00	600,000
Additional contingency + escalation	14.00%		14,821,579.50	2,075,021
Mark ups	35.86%		16,896,601	6,058,630
				22,955,230

PROJECT COST ESTIMATE

Canyon County Law Enforcement Center Caldwell, ID		Concept Design Rough Order of Magnitude 10/12/2017	
Project Cost Worksheet			
	Enclosed Area	\$ / SF	\$x1
Construction Cost			
New construction	298,500 SF	482.87	144,137,000
TOTAL Building & Sitework Construction - Construction Cost	298,500 SF	482.87	144,137,000
ACQUISITION COSTS			
Purchase/Lease Cost			-
Appraisal and Closing Costs			-
Right-of-Way Costs			-
Offsite Mitigation			500,000
Other Acquisition Costs			-
Escalation on ACQUISITION COSTS	16.50 %		82,500
CONSULTANT SERVICES			
Pre-Schematic Design Services	Included in Basic Services		-
Programming/Site Analysis	Included in Basic Services		-
Environmental Analysis			257,000
Best Review	Included in Basic Services		-
Functional Programming	Included in Basic Services		-
Site Programming	Included in Basic Services		-
Technical Programming	Included in Basic Services		-
Analysis and Surveys			129,000
Program Estimates	Included in Basic Services		-
Program Schedule			-
Construction Documents			
A/E Basic Design Services - through CA			14,378,000
Extra Services			
Acoustical Consultant	Included in Basic Services		-
Bid Alternatives	Included in Basic Services		-
Civil Design (Above Basic Services)	Included in Basic Services		-
Communications Consultant			-
Constructability Review Participation			-
Constructability Review/Plan Check			-
Consultant Selection Cost			-
Design - Code Plan Check			-
Design - Program Changes			-
Document Reproduction			393,000
Door Hardware Consultant	Included in Basic Services		-
Electronic/Audio Visual Consultant			-
Elevator Consultant	Included in Basic Services		-
Energy Conservation Report/ LEEDS Review (LCCA Review)			-
GCCM Support/Selection Review	Included in Basic Services		-
Geotechnical Investigation	Included in Basic Services		-
Graphics (signage design and furnish - OFCI)			130,000
Hazardous Materials Consultant			81,000
Hospital/Laboratory Consultant			-
Indoor Air Quality Consultant			-
Interior Design/Furnishing Consultant	Included in Basic Services		-
Kitchen Consultant			-
Landscape Consultant	Included in Basic Services		-
Other			-
Quality Control Consultant			-

Canyon County Law Enforcement Center Caldwell, ID		Concept Design Rough Order of Magnitude 10/12/2017	
Project Cost Worksheet			
	Enclosed Area	\$ / SF	\$x1
Permit Expeditor			-
Renderings, Presentations, and Models	Included in Basic Services		-
Security Consultant	Included in Basic Services		-
Site Survey	Included in Basic Services		-
Specialty Consultants			-
Thermal Scans			-
Transportation Consultant			61,000
Move Coordination			-
Travel and Per Diem			211,000
Value Engineering Study	Included in Basic Services		-
VE Participation and Implementation	Included in Basic Services		-
Voice and Data Consultant	Included in Basic Services		-
Electrical/Lighting Design Consultant	Included in Basic Services		-
Mechanical Consultant	Included in Basic Services		-
Structural Consultant	Included in Basic Services		-
Construction Phasing/Early Bid Packages	Included in Basic Services		-
Partnering	Included in Basic Services		-
Equipment Coordination & Design			-
Other Services			
Bid/Construction/Closeout - 29% of basic services			Included above
Reimbursables			
As-Builts	Included in Basic Services		-
Commissioning and Training			627,000
Construction Support			-
Cost/Scheduling Consultant			-
Environmental Mitigation Services			-
HVAC Balancing			298,500
On-Site Representative			-
Other			-
Small Contracts (Attorney's DRB)			251,000
Testing			970,000
Design Services Contingency			
Change Order Design Allowance			-
Design Fee Contingency	8.47%		1,506,000
Other Contracts			
Telecommunications Cable Plant			-
Other			-
Hazardous Materials			382,250
Moving Costs - allow \$500/person	320 EA	650	208,000
Other			-
GC/CM or Design Build Costs			
Preconstruction Services			1,514,000
Construction Contingencies			
Management Reserve			-
Allowance for Change Orders	5.00%		7,237,000
Construction Retainage			-
SubTotal: Construction Contingencies			
Sales Tax	6.00%		9,209,000
EQUIPMENT			



Project Cost Worksheet

	Enclosed Area	\$ / SF	\$x1	
E10 - Equipment			-	
E10 - Movable Equipment			-	
E20 - Furnishings - Detention	268,500 SF	10.00	2,685,000	
E20 - Furnishings - Non detention	30,000 SF	25.00	750,000	
Inventory Equipment			-	
Special Construction			-	
Escalation on EQUIPMENT		16.50%	566,775	
Sales Tax	6.00%		241,000	
ARTWORK				
Project Artwork	1.00%		1,514,000	
OTHER COSTS				
Advertising			-	
Utility Connection Fees			401,000	
Traffic or Environmental Mitigation Fees			-	
Financing Costs			-	
In-Plant Services			-	
Utilities/Temporary Facilities			269,000	
Security Services (labor)			213,000	
Master Use Permits (Owner)			173,000	
Building Permit (Contractor)			930,186	
Other Permits, plan check, inspection fees			465,093	
Performance and Payment Bond		Included in Construction Cost	-	
Claims Review Board			-	
Builders Risk		Included in Construction Cost	-	
Connectivity (C&C)			-	
Other			-	
Capitalized Operating Expenses			-	
PROJECT MANAGEMENT				
Canyon County Project Management			3,506,000	
Pre-Active Project Management			-	
Contract Project Management			4,466,000	
Contract Construction Management			-	
PM Other Costs			-	
TOTAL Soft Costs	298,500 SF	182.93	54,605,304	27.5%
TOTAL PROJECT Costs	298,500 SF	665.80	198,742,304	

COMPARABLES

20 Year Masterplan :

1044 BED NEED	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
Existing Beds	477	477	477	0	0
New Beds	0	164	196	660	1044
Contract Beds	567	403	371	384	0
CAPITAL COST	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
New Beds	\$0	\$ 17,420,000	\$ 123,900,000	\$ 164,900,000	\$ 198,980,000
Contract Beds/Year \$ 140 per Bed/Day	\$ 28,973,700	\$ 20,593,300	\$ 18,958,100	\$ 19,622,400	\$0
Contract Beds/ 20 Years	\$ 579,474,000	\$ 411,866,000	\$ 379,162,000	\$ 392,448,000	\$0
Capital Cost Subtotal	\$ 579,474,000	\$ 429,286,000	\$ 503,062,000	\$ 557,348,000	\$ 198,980,000
ANNUAL OPS COST	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
Staffing Existing Beds	\$ 12,121,691	\$ 12,121,691	\$ 12,121,691	\$0	\$0
Staffing New Beds	\$ 429,624	\$ 3,348,329	\$ 3,085,781	\$ 10,824,552	\$ 12,924,936
Operational Cost Subtotal	\$ 12,551,315	\$ 15,470,020	\$ 15,207,472	\$ 10,824,552	\$ 12,924,936
Operational Cost Subtotal/20 Year	\$ 251,026,308	\$ 309,400,408	\$ 304,149,448	\$ 216,491,040	\$ 258,498,720
TOTAL CAPITAL & OPS COST	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
Total Capital & Ops Cost/20 Years	\$ 830,500,308	\$ 738,686,408	\$ 807,211,448	\$ 773,839,040	\$ 457,478,720



Incremental Growth :

779-1044 BED I.G. NEED	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
Existing Beds	477	477	477	0	0
New Beds	0	164	196	660	1044
Contract Beds	435	271	239	252	0
CAPITAL COST	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
New Beds	\$0	\$ 17,420,000	\$ 123,900,000	\$ 164,900,000	\$ 198,980,000
Contract Beds/Year \$ 140 per Bed/Day	\$ 22,202,950	\$ 13,822,550	\$ 12,187,350	\$ 12,851,650	\$0
Contract Beds/20 Years	\$ 444,059,000	\$ 276,451,000	\$ 243,747,000	\$ 257,033,000	\$0
Capital Cost Subtotal	\$ 444,059,000	\$ 293,871,000	\$ 367,647,000	\$ 421,933,000	\$ 198,980,000
ANNUAL OPS COST	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
Staffing Existing Beds/Year	\$ 12,121,691	\$ 12,121,691	\$ 12,121,691	\$0	\$0
Staffing New Beds/Year	\$ 429,624	\$ 3,348,329	\$ 3,085,781	\$ 10,824,552	\$ 12,924,936
Operational Cost Subtotal/Year	\$ 12,551,315	\$ 15,470,020	\$ 15,207,472	\$ 10,824,552	\$ 12,924,936
Operational Cost Subtotal/20 Year	\$ 251,026,307.80	\$ 309,400,408	\$ 304,149,448	\$ 216,491,040	\$ 258,498,720
TOTAL CAPITAL & OPS COST	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
Total Capital & Ops Cost/20 Years	\$ 695,085,308	\$ 603,271,408	\$ 671,796,448	\$ 638,424,040	\$ 457,478,720

Incremental Growth with Pre Trial Credit:

779-1044 BED I.G. NEED	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
Existing Beds	477	477	477	0	0
New Beds	0	164	196	660	1044
Contract Beds	435	271	239	252	0
With 50% PreTrial Credit	307	143	111	124	0
CAPITAL COST	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
New Beds	\$0	\$ 17,420,000	\$ 123,900,000	\$ 164,900,000	\$ 198,980,000
Contract Beds/Year \$ 140 per Bed/Day	\$ 15,687,700	\$ 7,307,300	\$ 5,672,100	\$ 6,336,400	\$0
Contract Beds/20 Years	\$ 313,754,000	\$ 146,146,000	\$ 113,442,000	\$ 126,728,000	\$0
Capital Cost Subtotal	\$ 313,754,000	\$ 163,566,000	\$ 237,342,000	\$ 291,628,000	\$ 198,980,000
ANNUAL OPS COST	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
Staffing Existing Beds/Year	\$ 12,121,691	\$ 12,121,691	\$ 12,121,691	\$0	\$0
Staffing New Beds/Year	\$ 429,624	\$ 3,348,329	\$ 3,085,781	\$ 10,824,552	\$ 12,924,936
Operational Cost Subtotal/Year	\$ 12,551,315	\$ 15,470,020	\$ 15,207,472	\$ 10,824,552	\$ 12,924,936
Operational Cost Subtotal/20 Year	\$ 251,026,307.80	\$ 309,400,408	\$ 304,149,448	\$ 216,491,040	\$ 258,498,720
TOTAL CAPITAL & OPS COST	Status Quo	Dale Haile Exp.	1 Unit	2 Unit+WR	3 Unit+WR
Total Capital & Ops Cost/20 Years	\$ 564,780,308	\$ 472,966,408	\$ 541,491,448	\$ 508,119,040	\$ 457,478,720



PART V: APPENDIX

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ADJACENCY DIAGRAMS

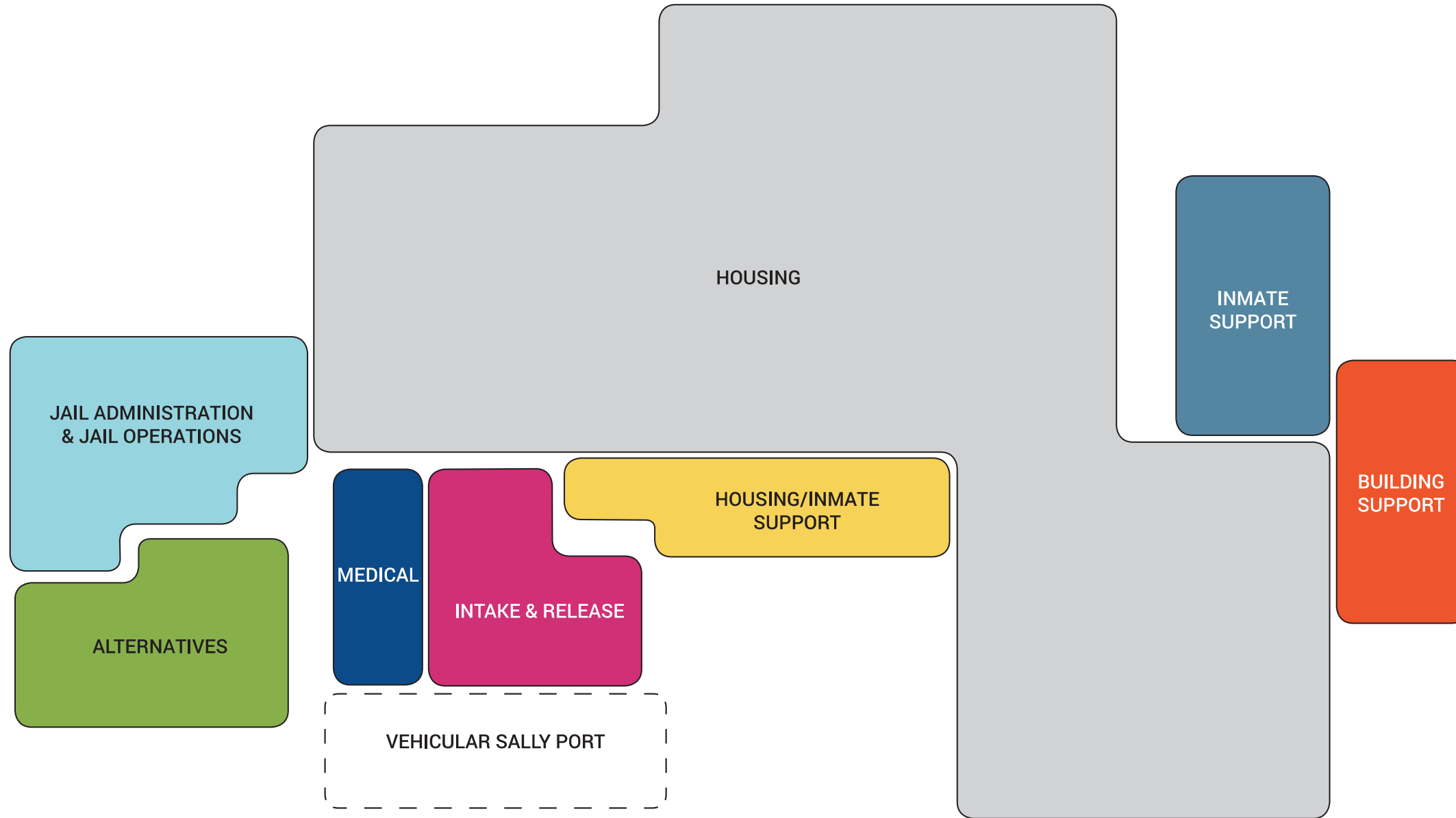
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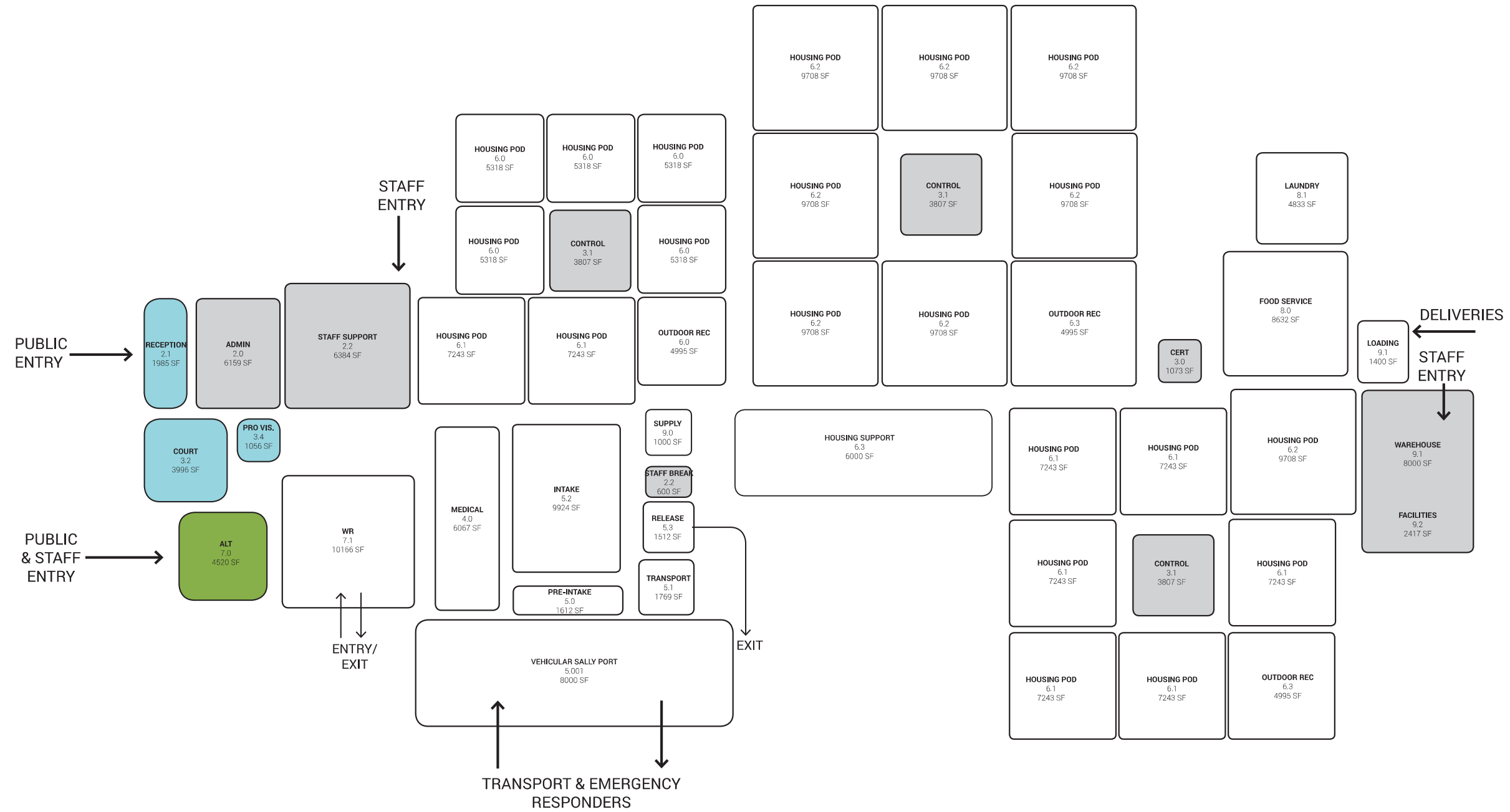


JAIL ADJACENCIES

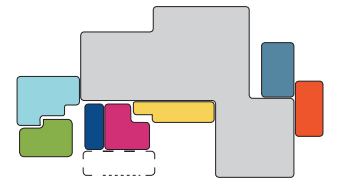
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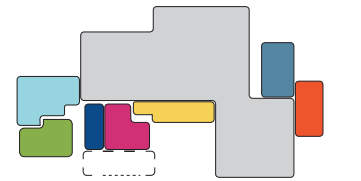
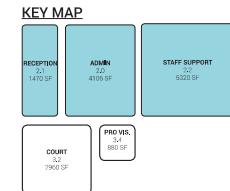
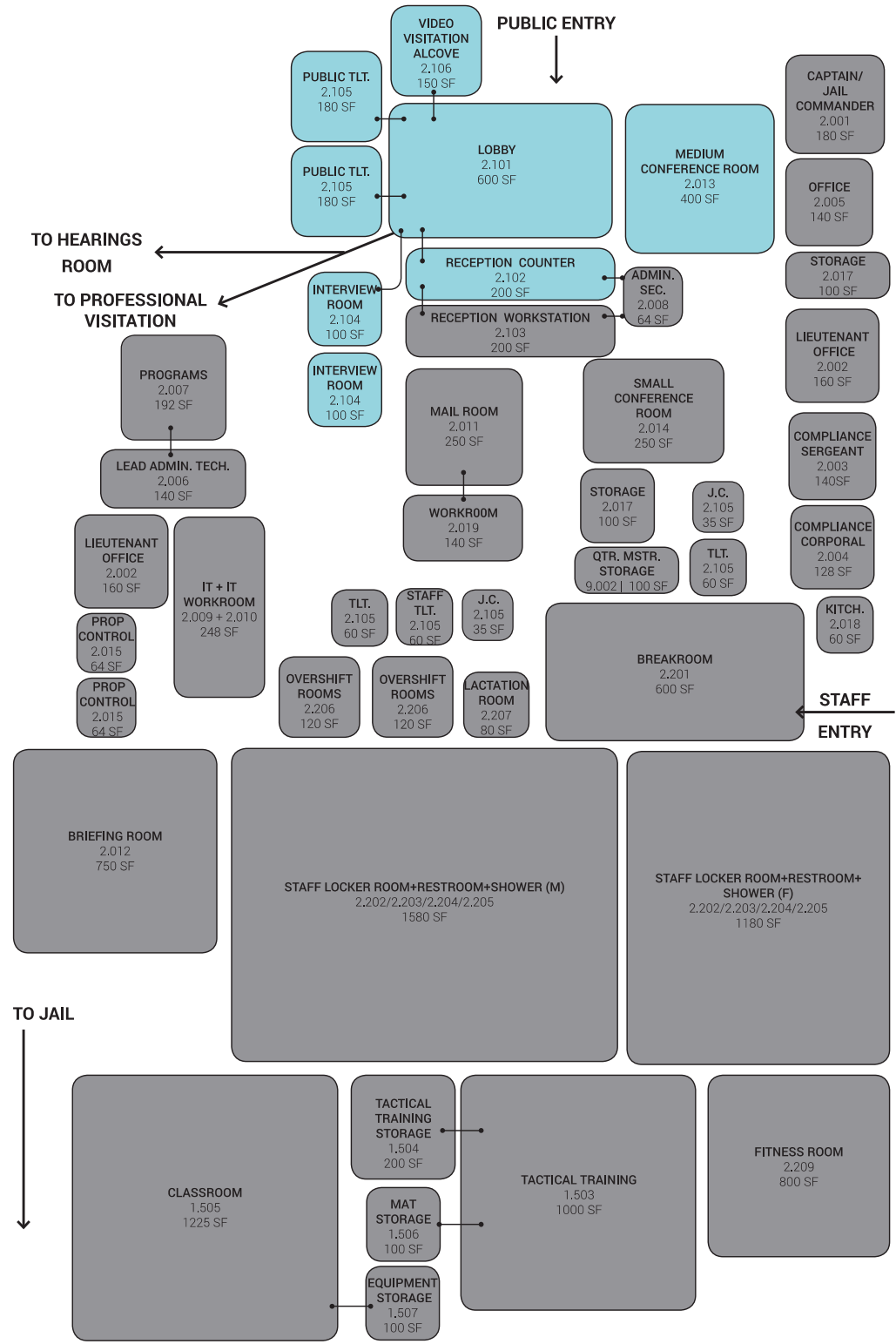
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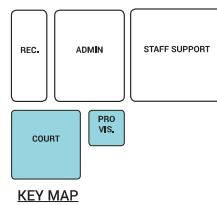
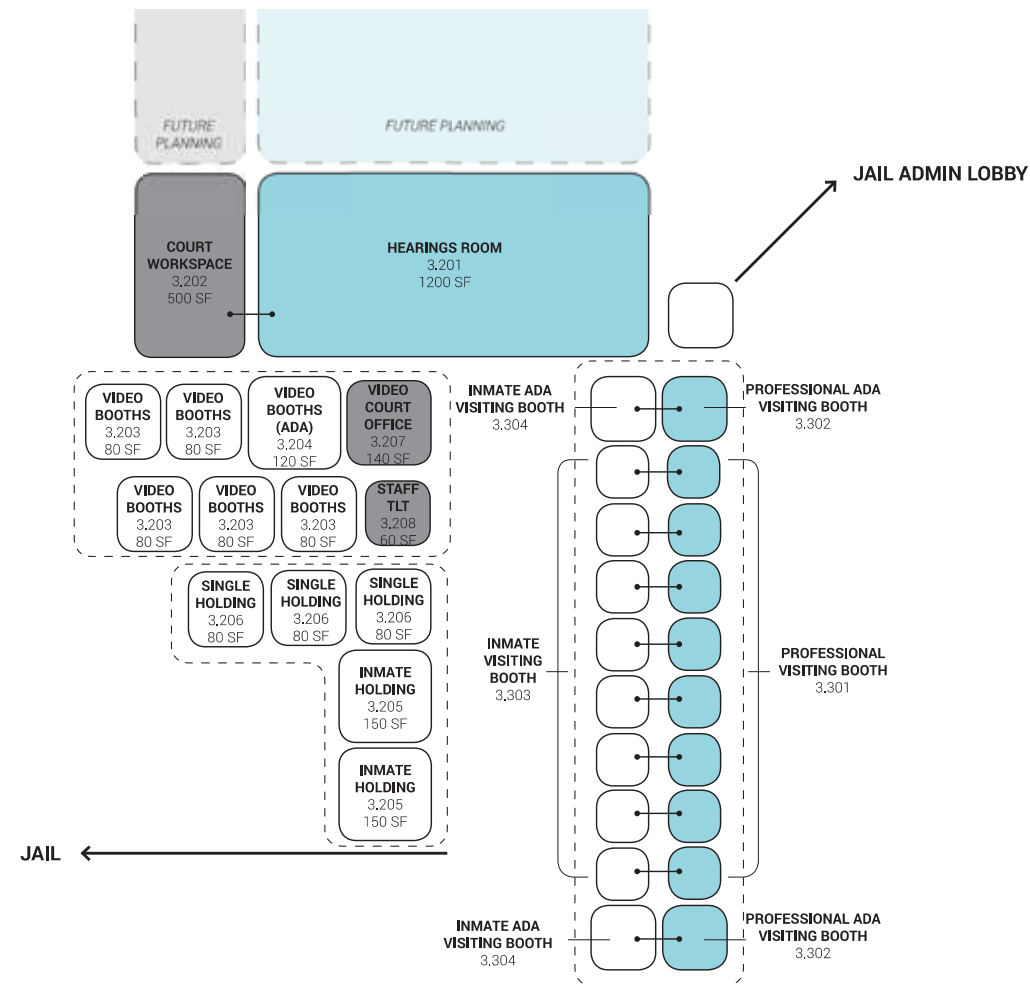
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 - INMATE



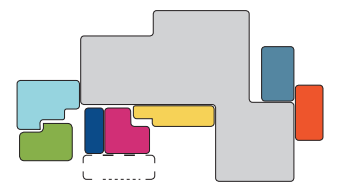
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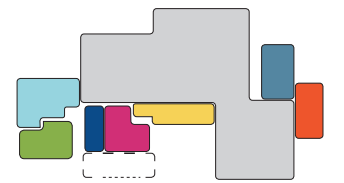
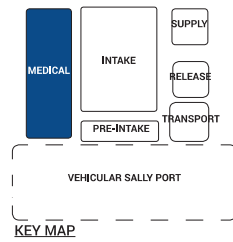
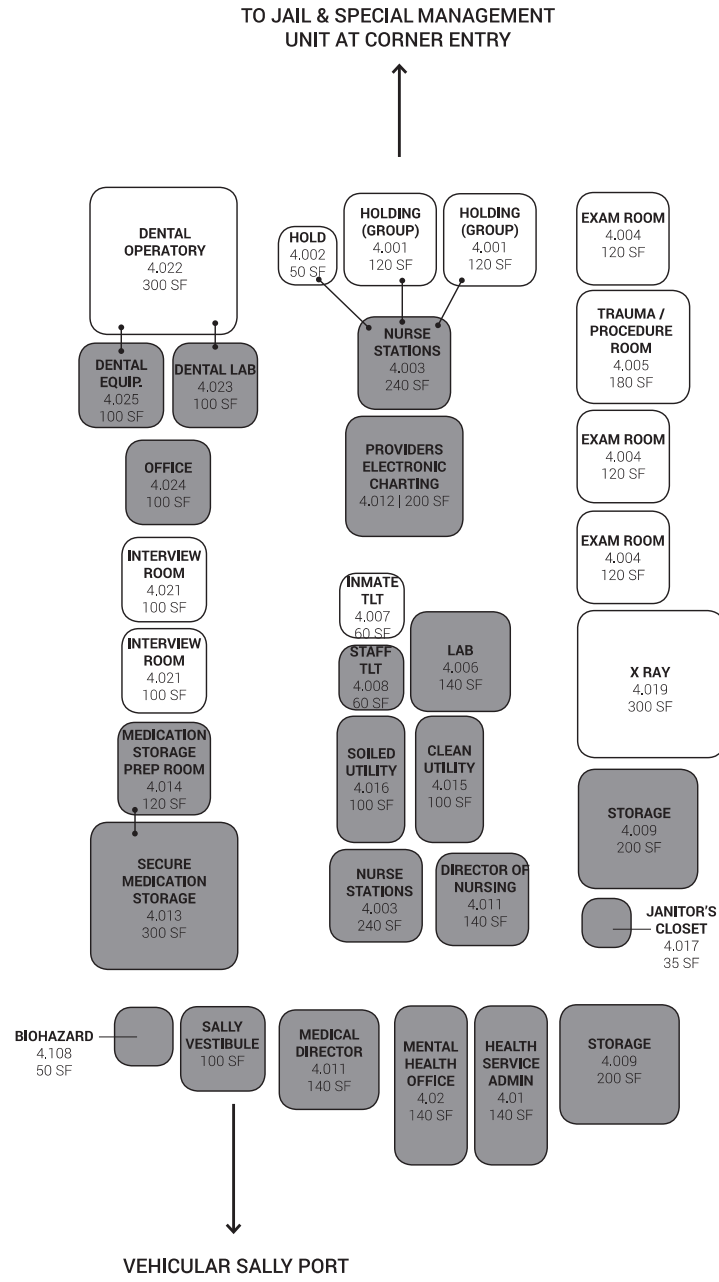
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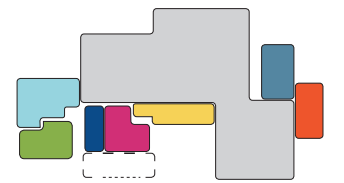
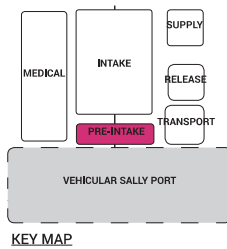
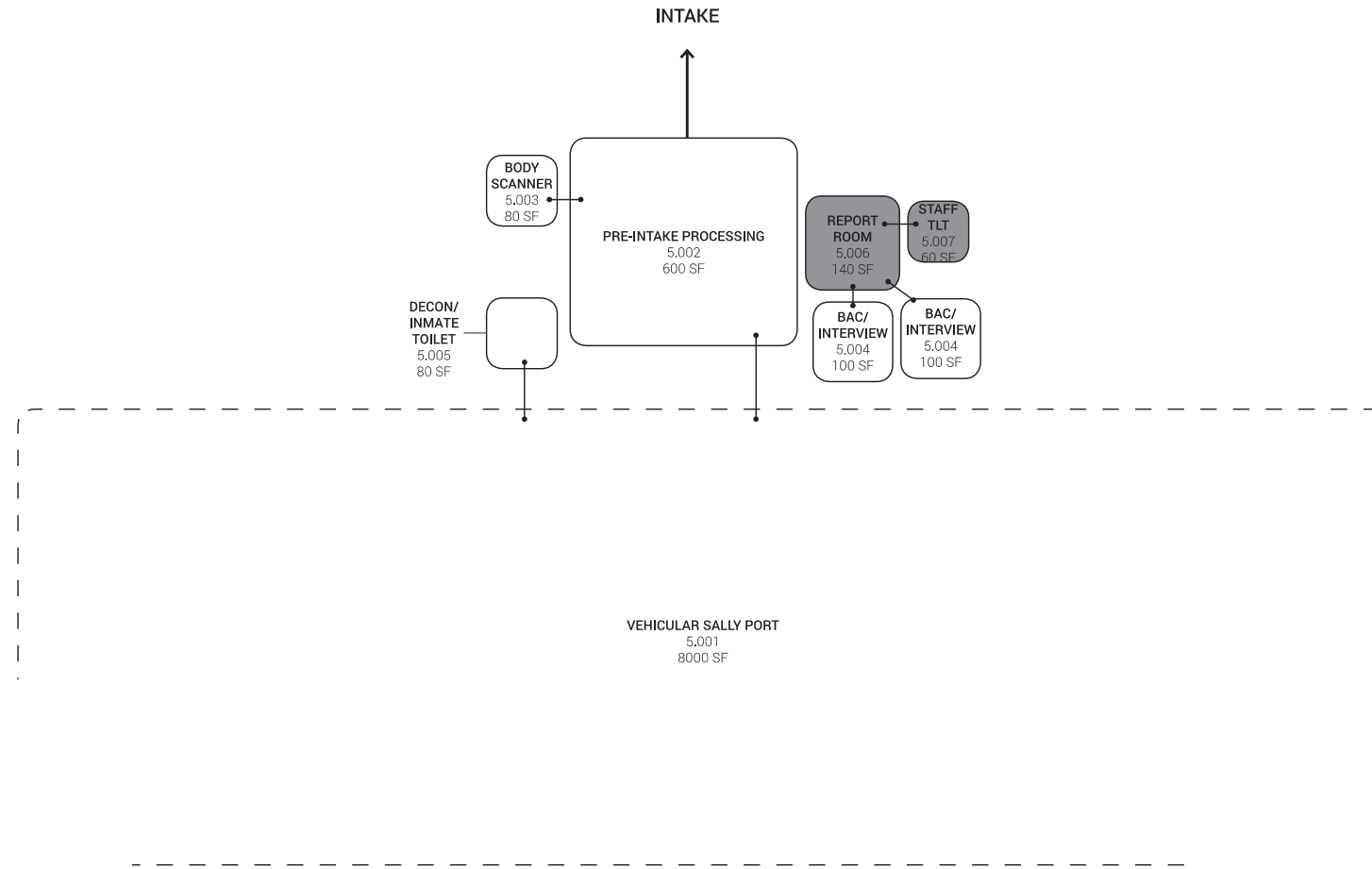
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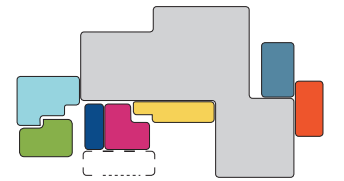
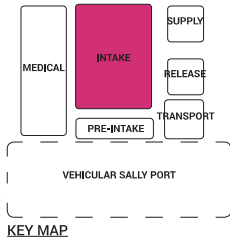
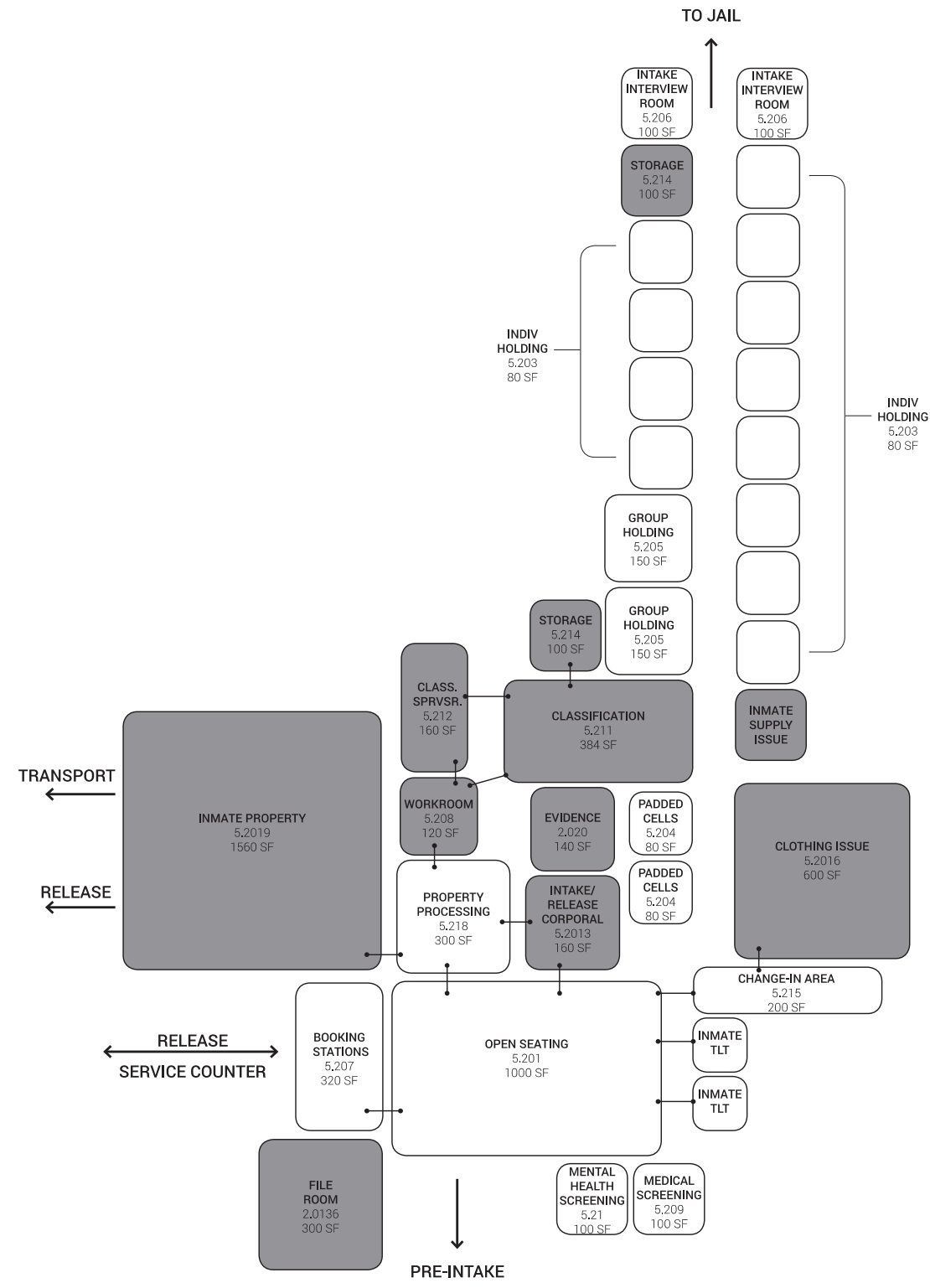
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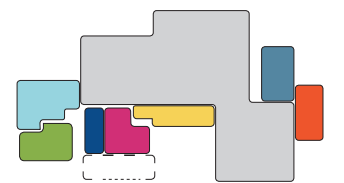
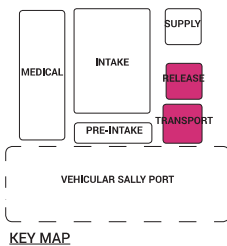
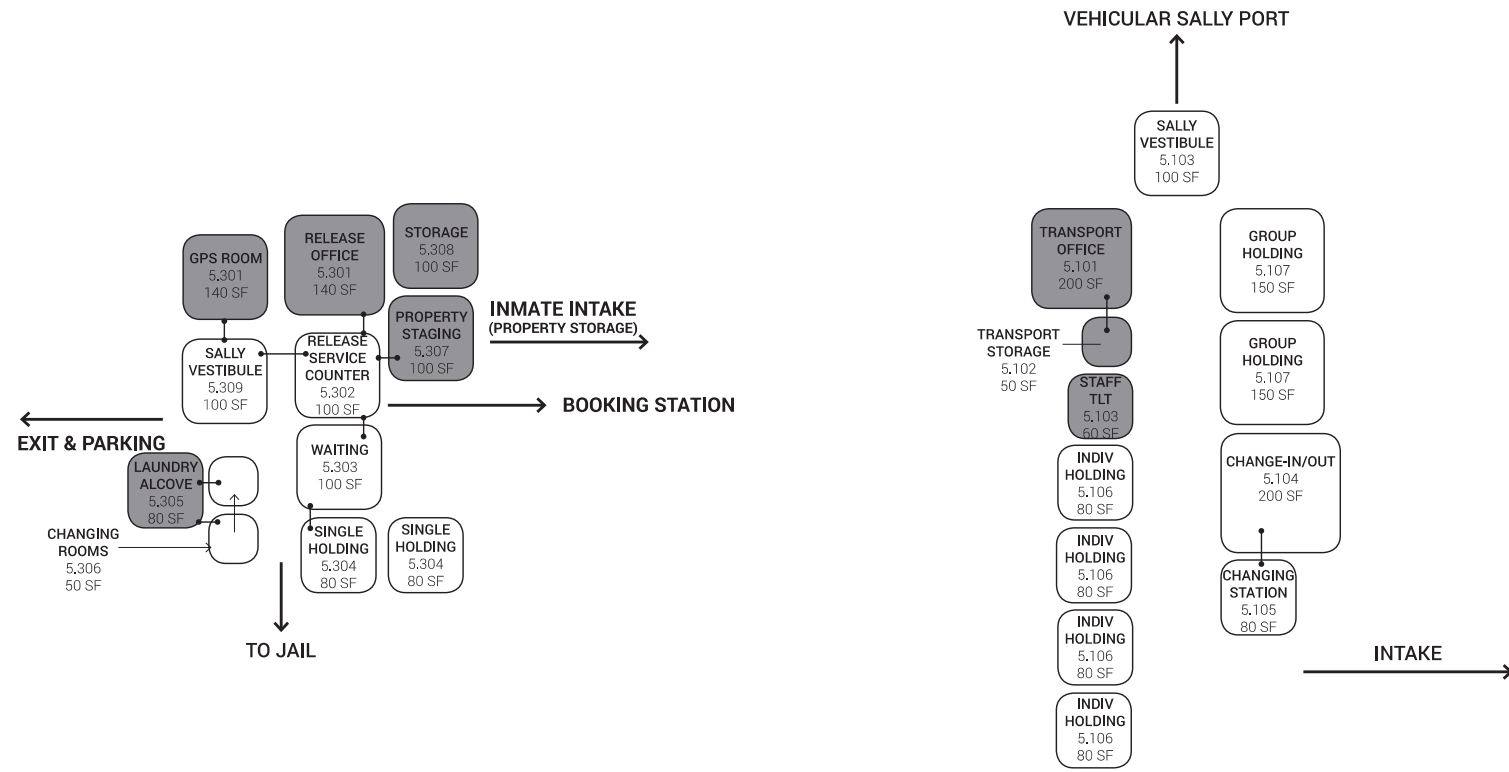
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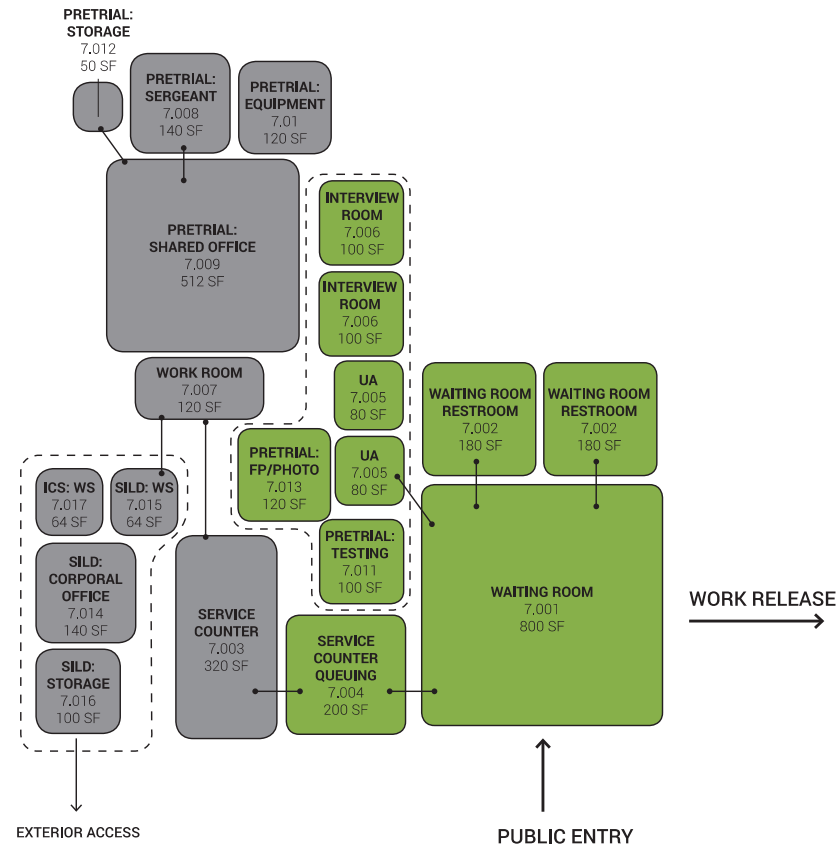
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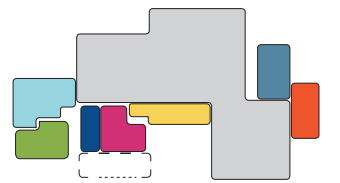
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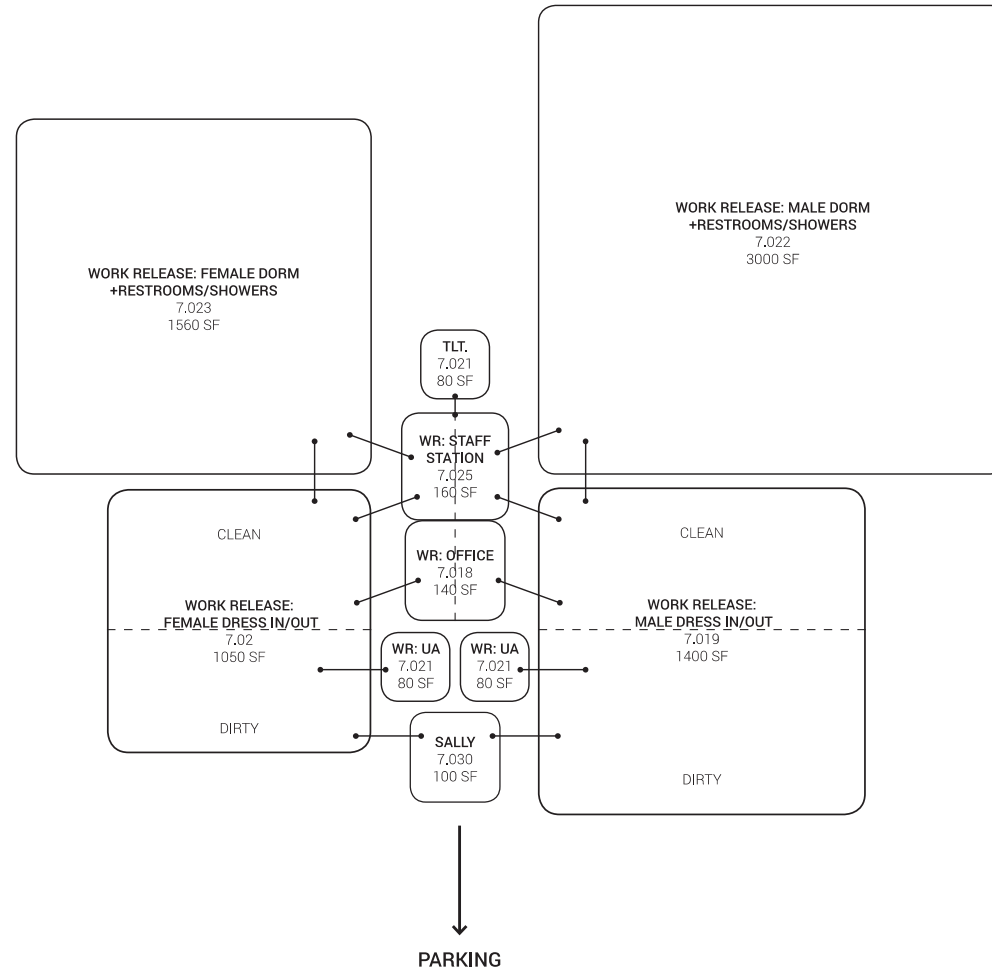
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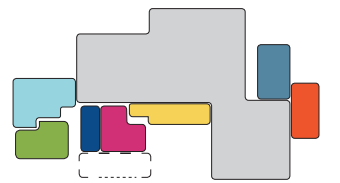
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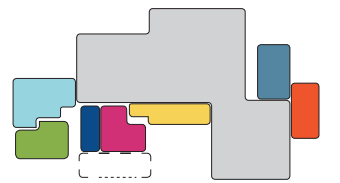
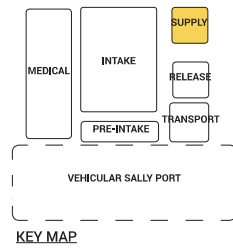
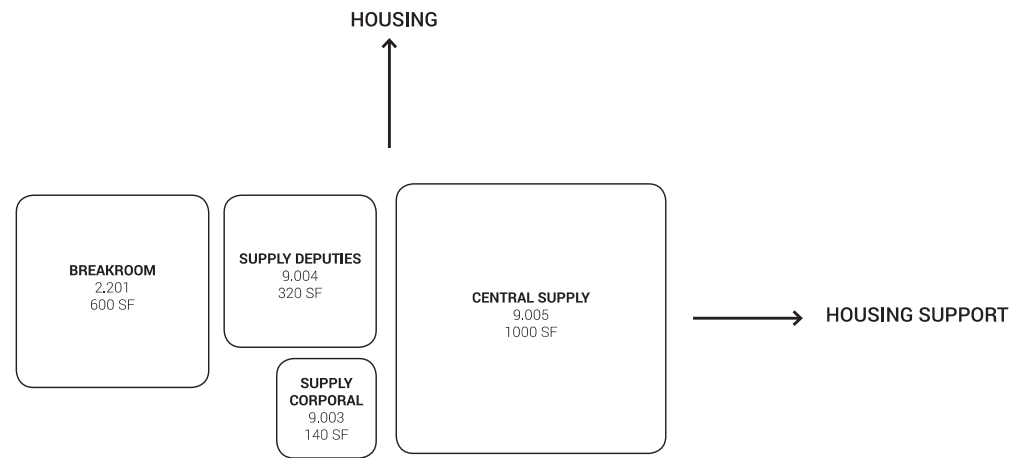
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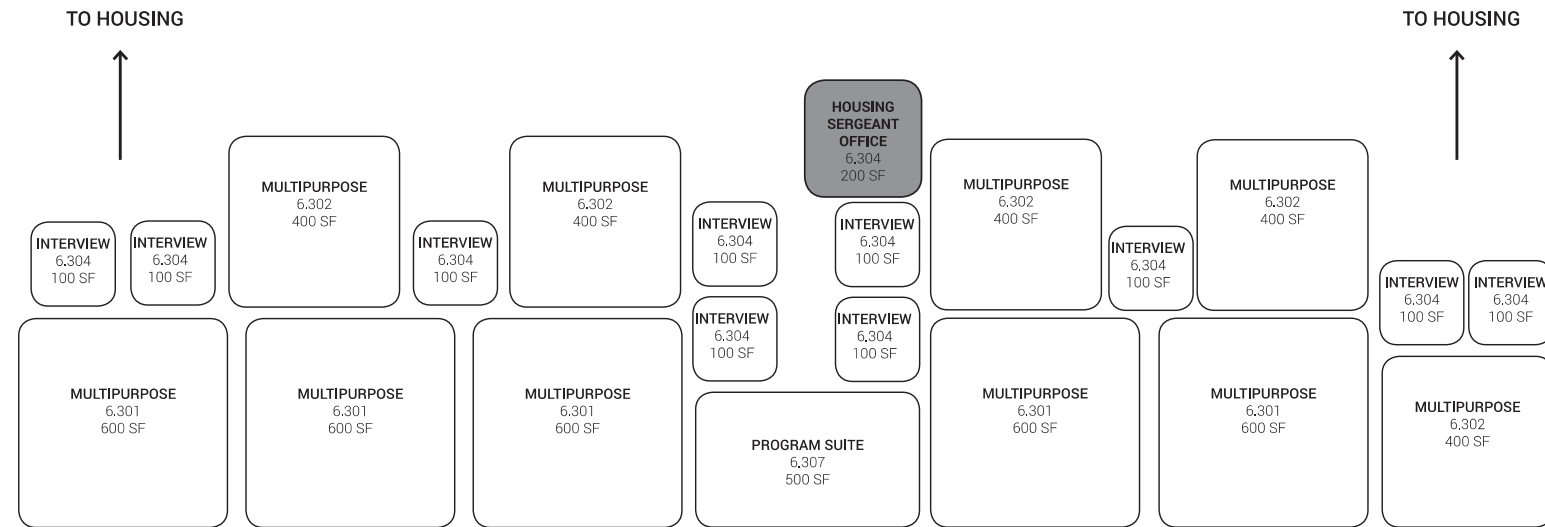
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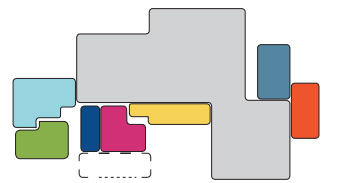
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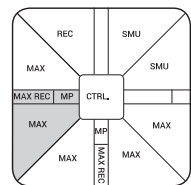
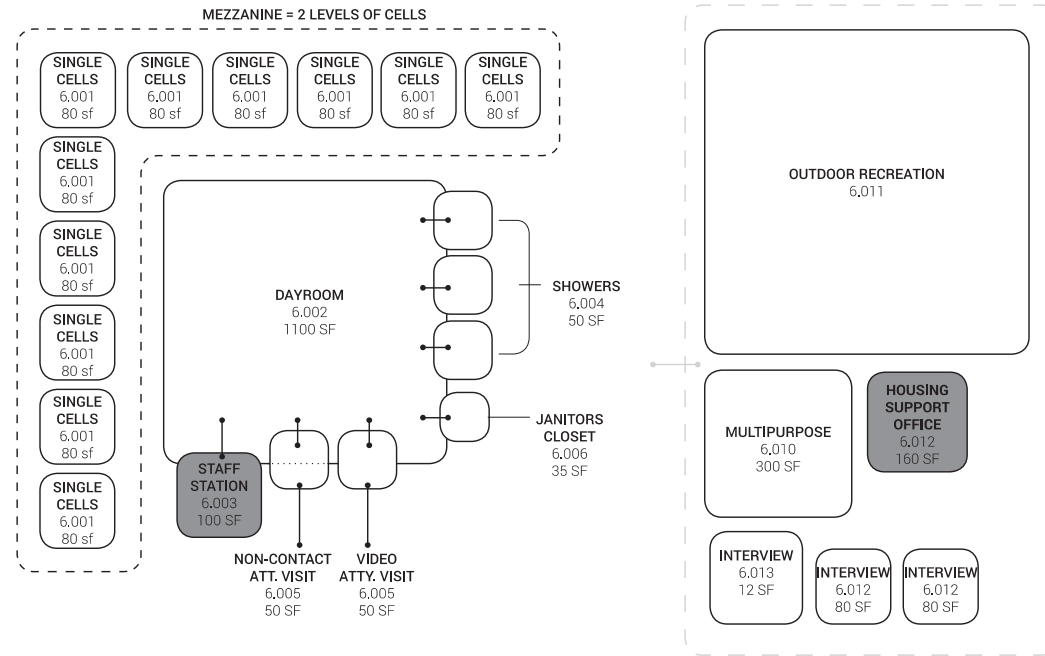
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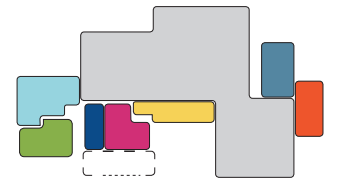
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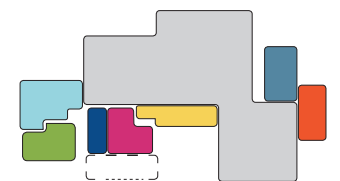
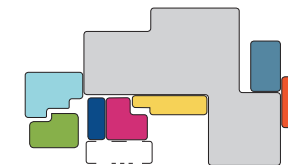
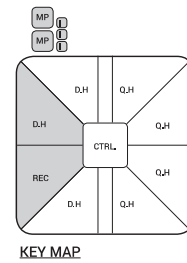
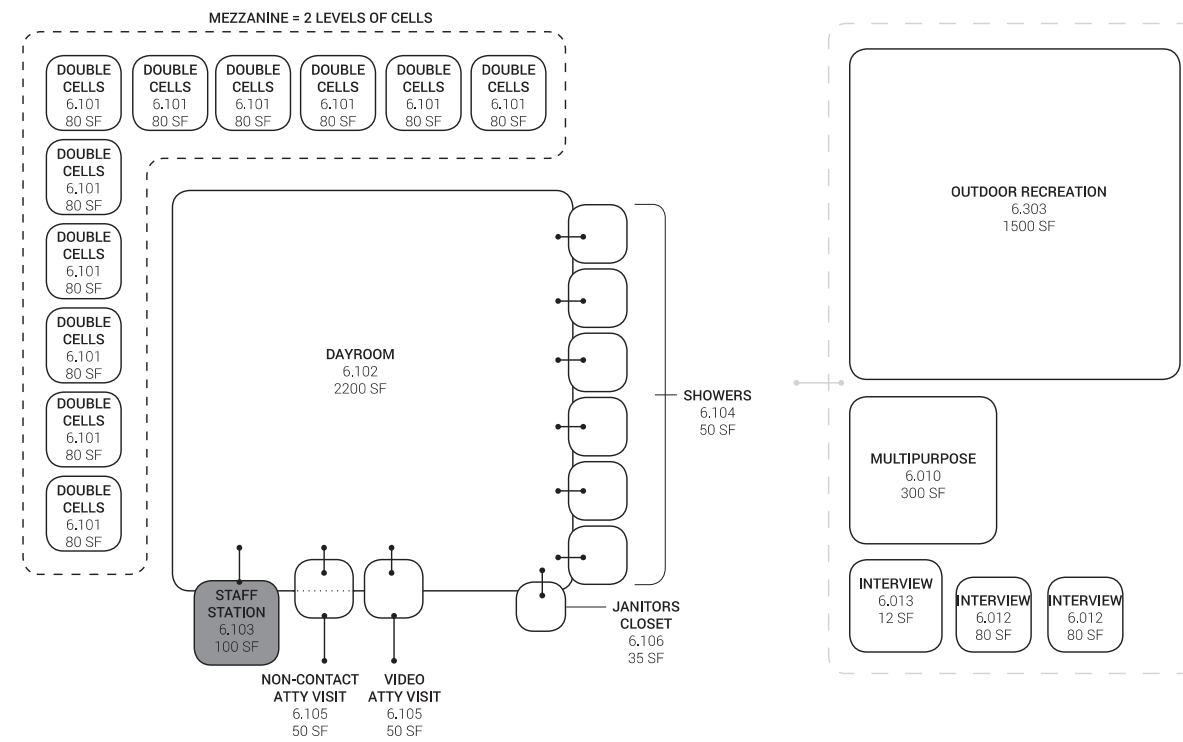
Max Housing Pod :



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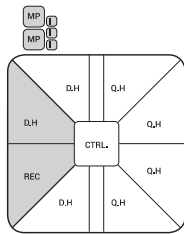
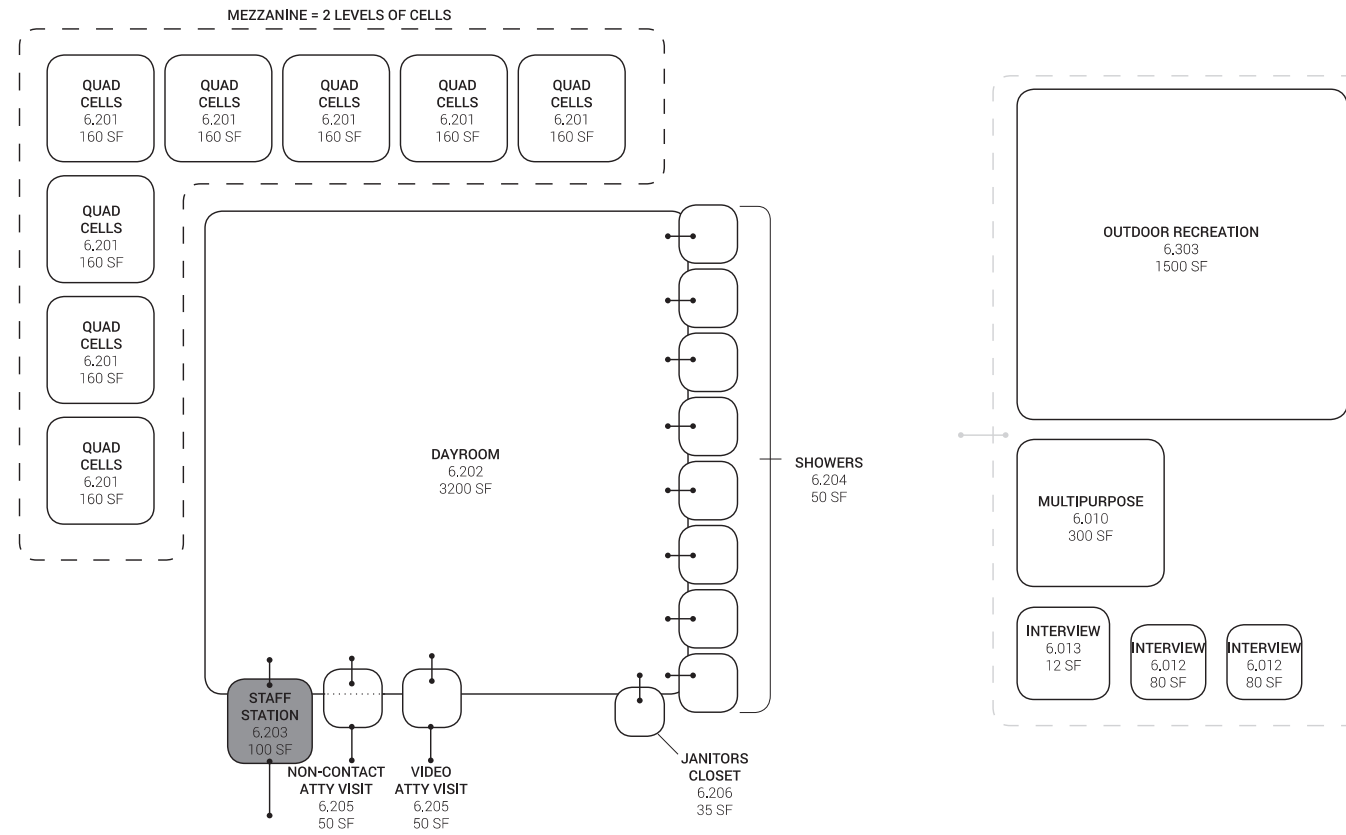
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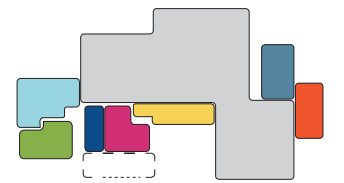
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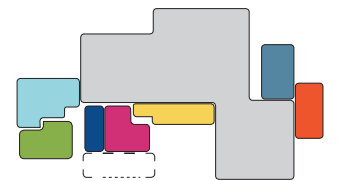
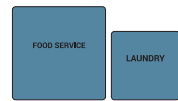
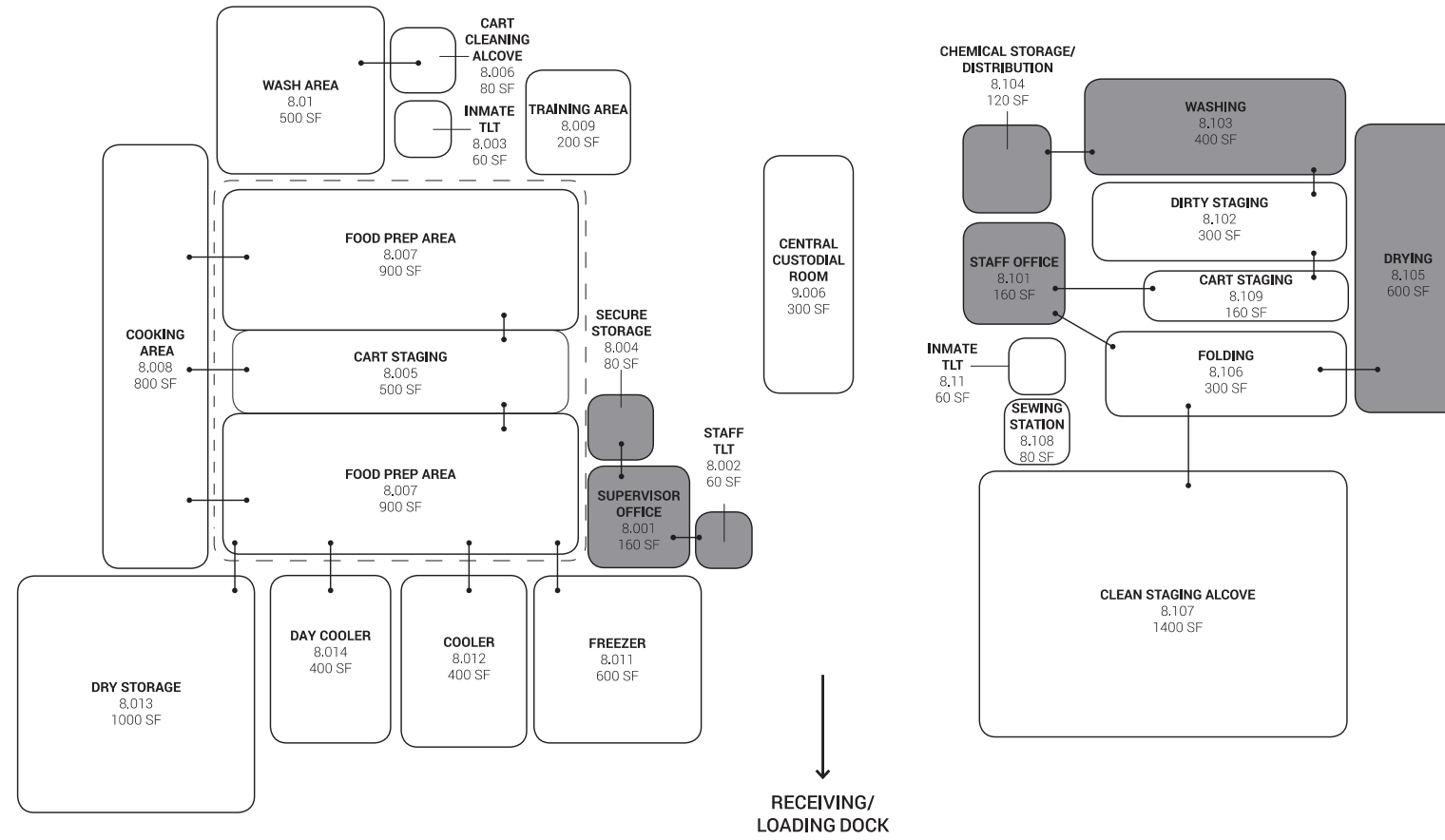
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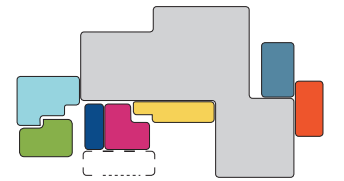
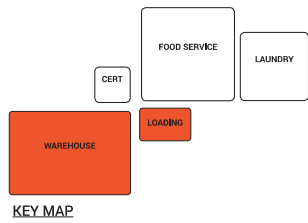
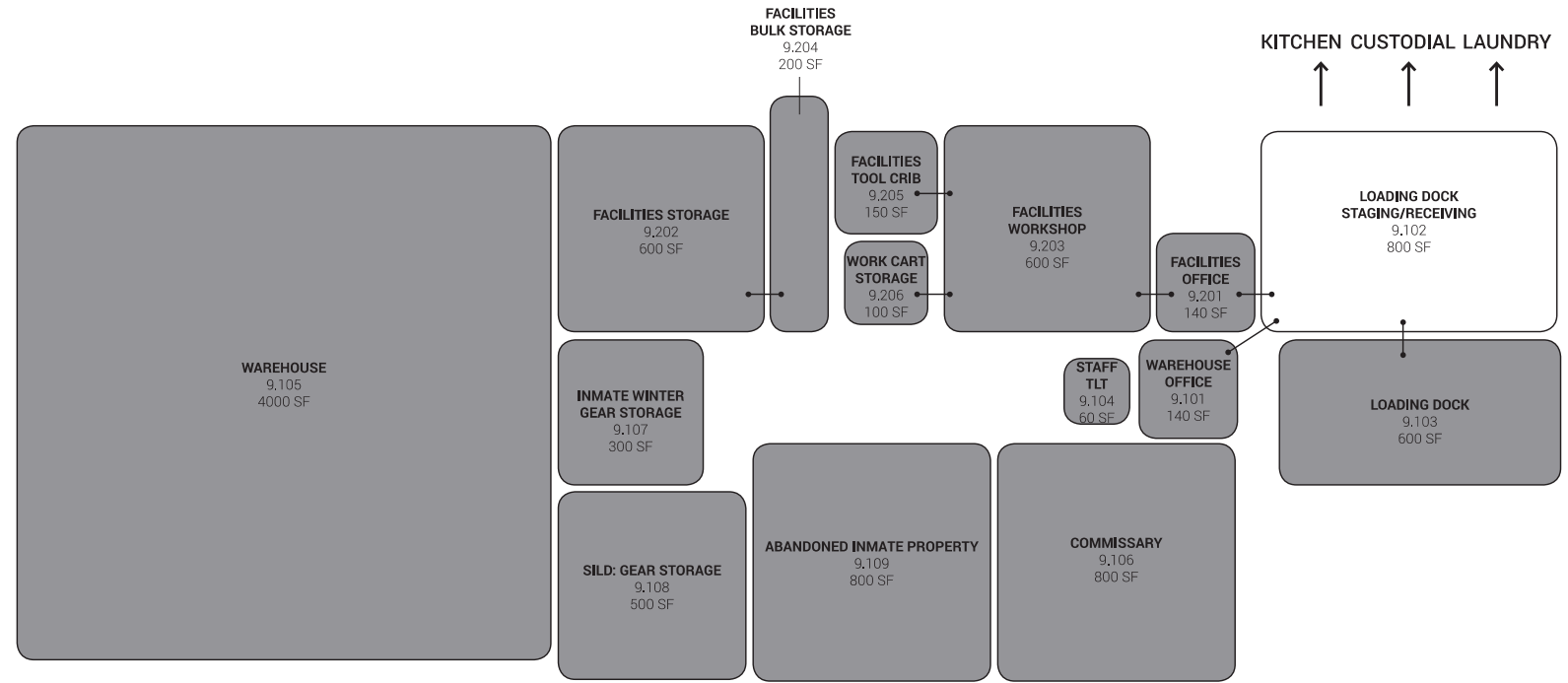
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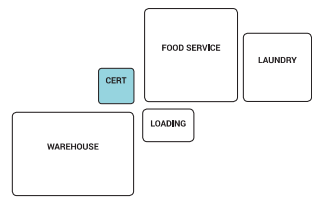
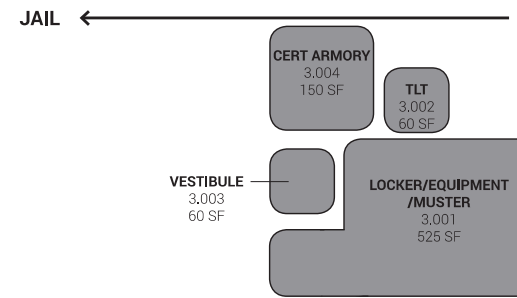
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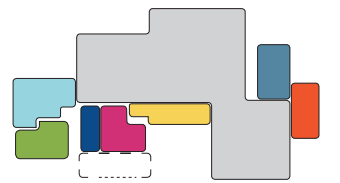
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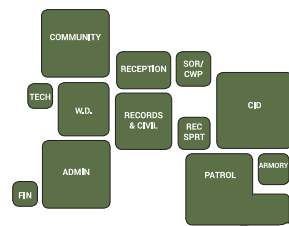
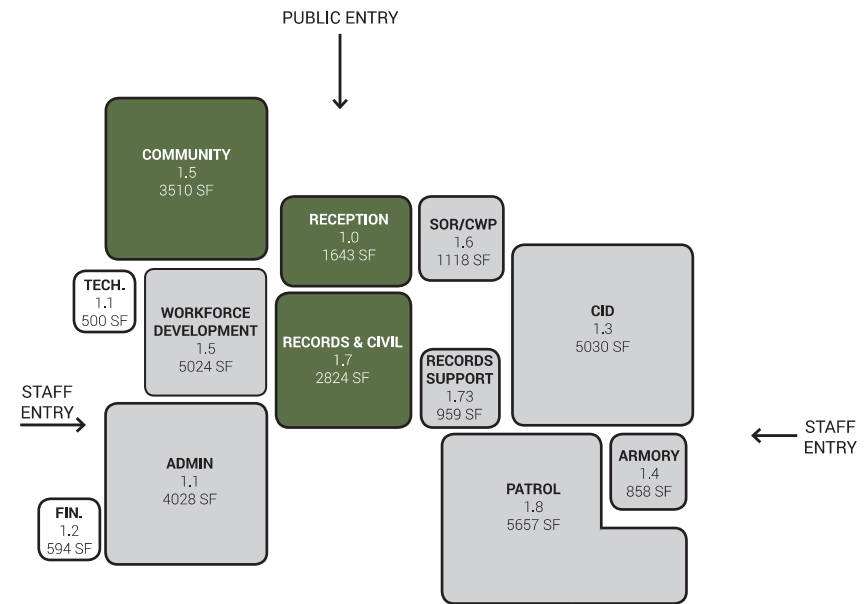


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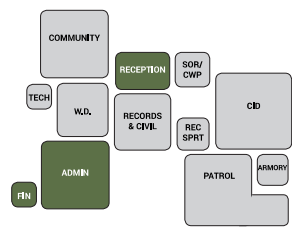
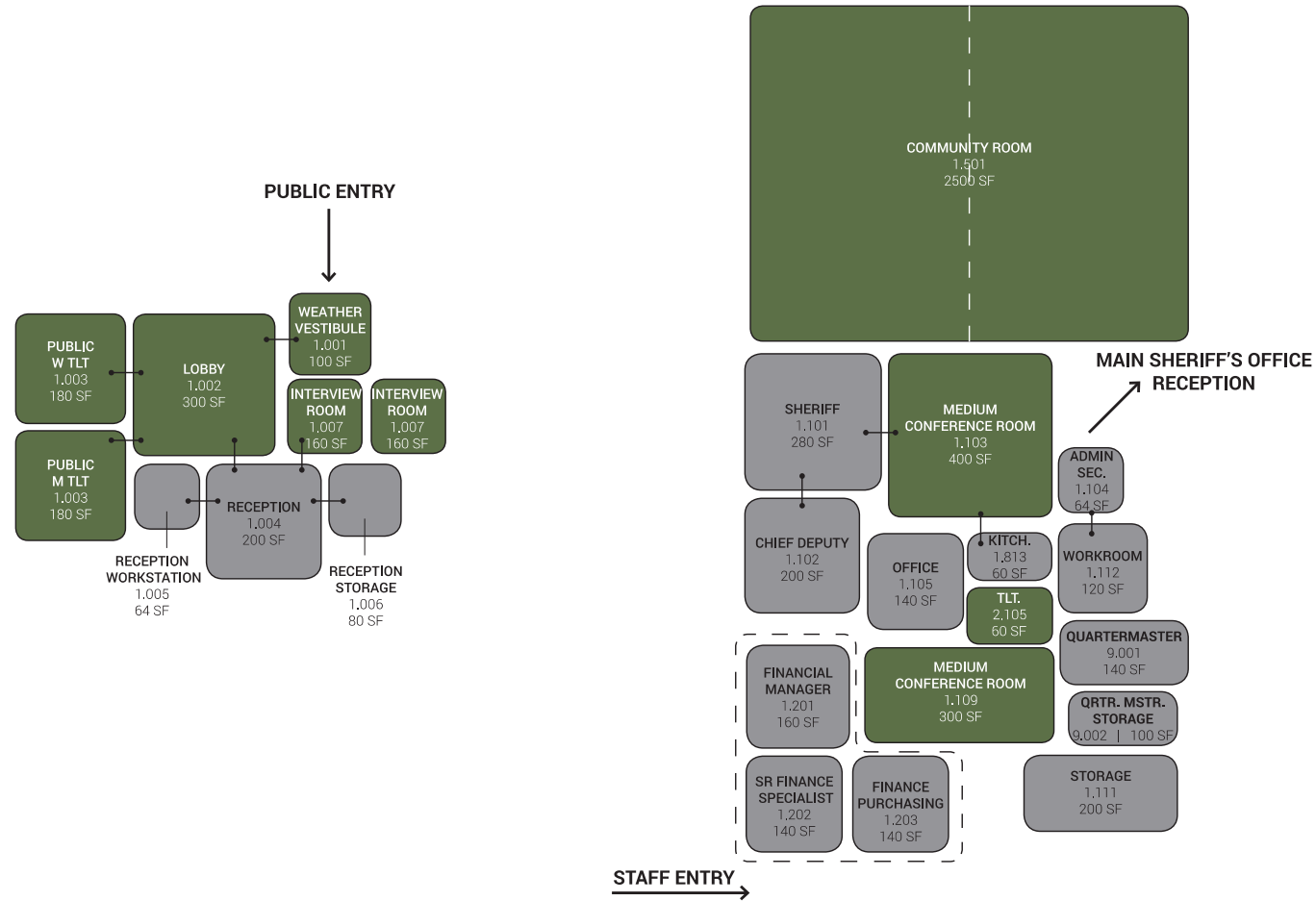
SHERIFF'S OFFICE ADJACENCIES

Sheriff's Office Administration, Records, and Patrol :



KEY MAP

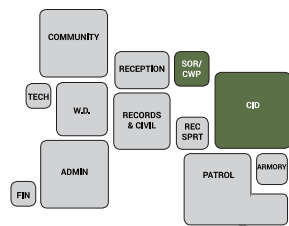
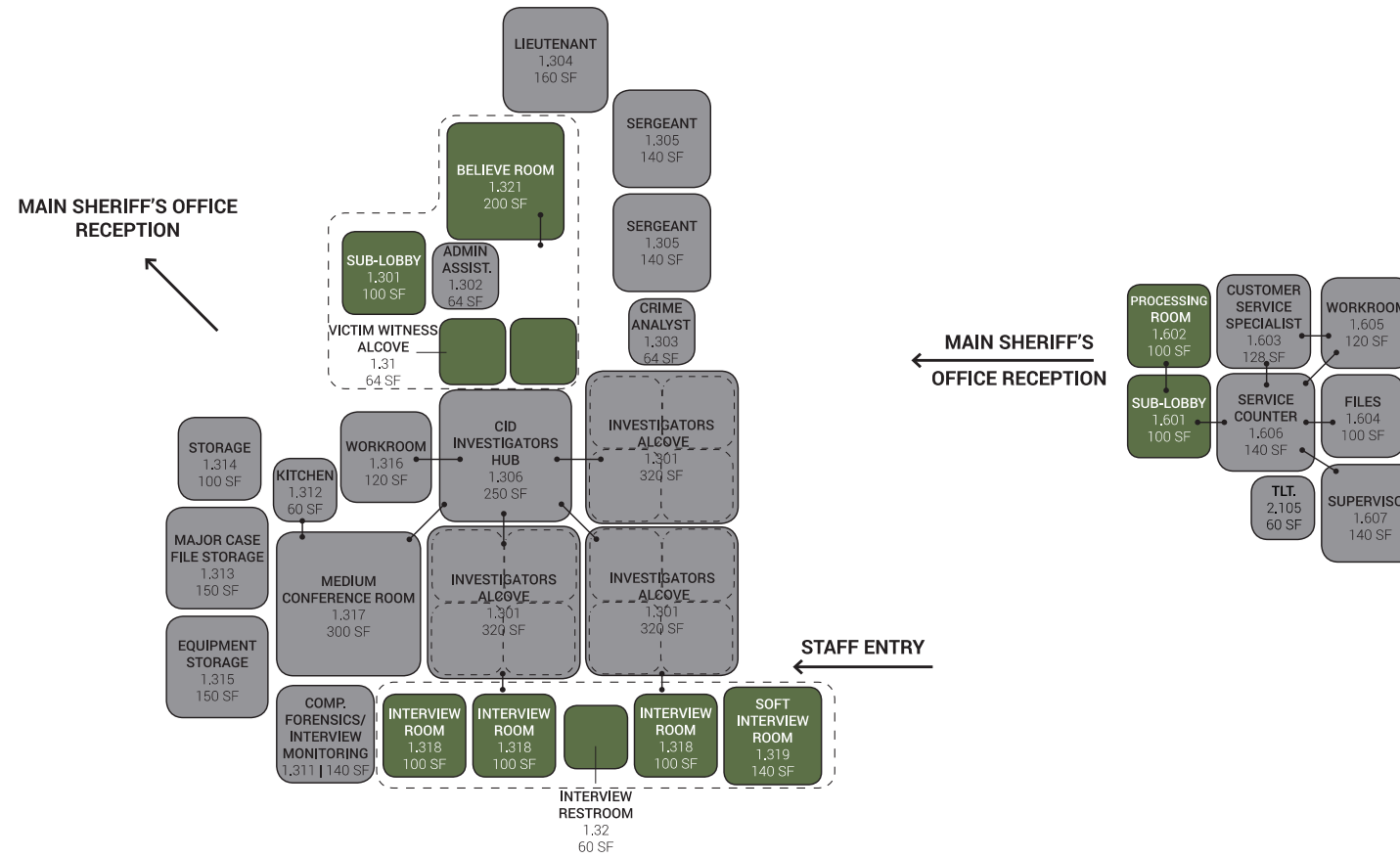
Reception: Sheriff / Sheriff's Administration :



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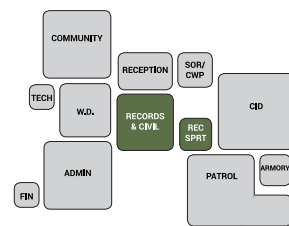
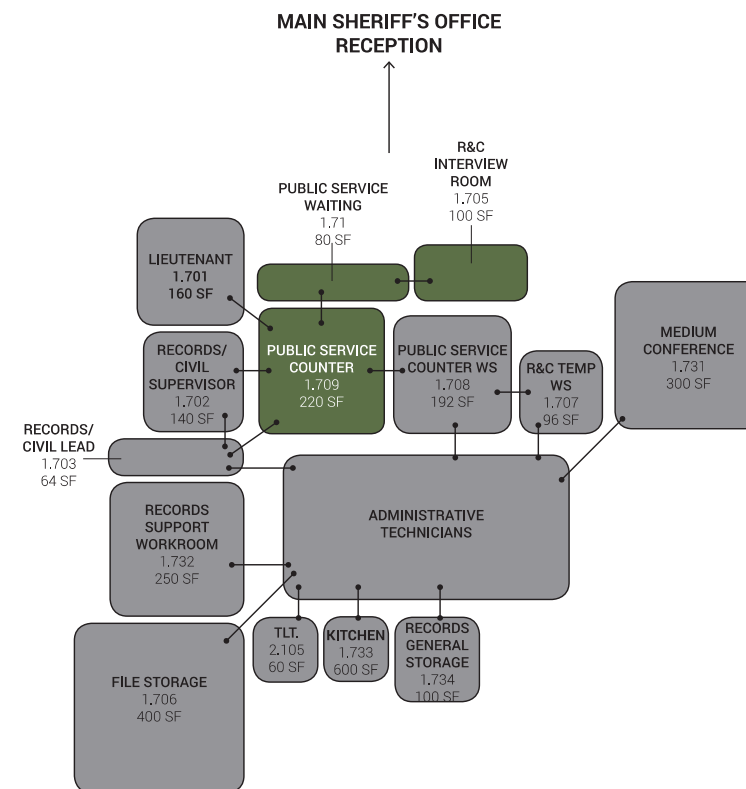


Criminal Investigation Division / SOR and CWP :



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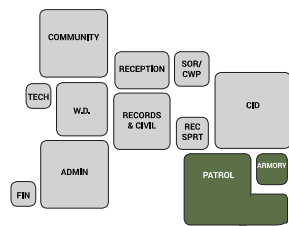
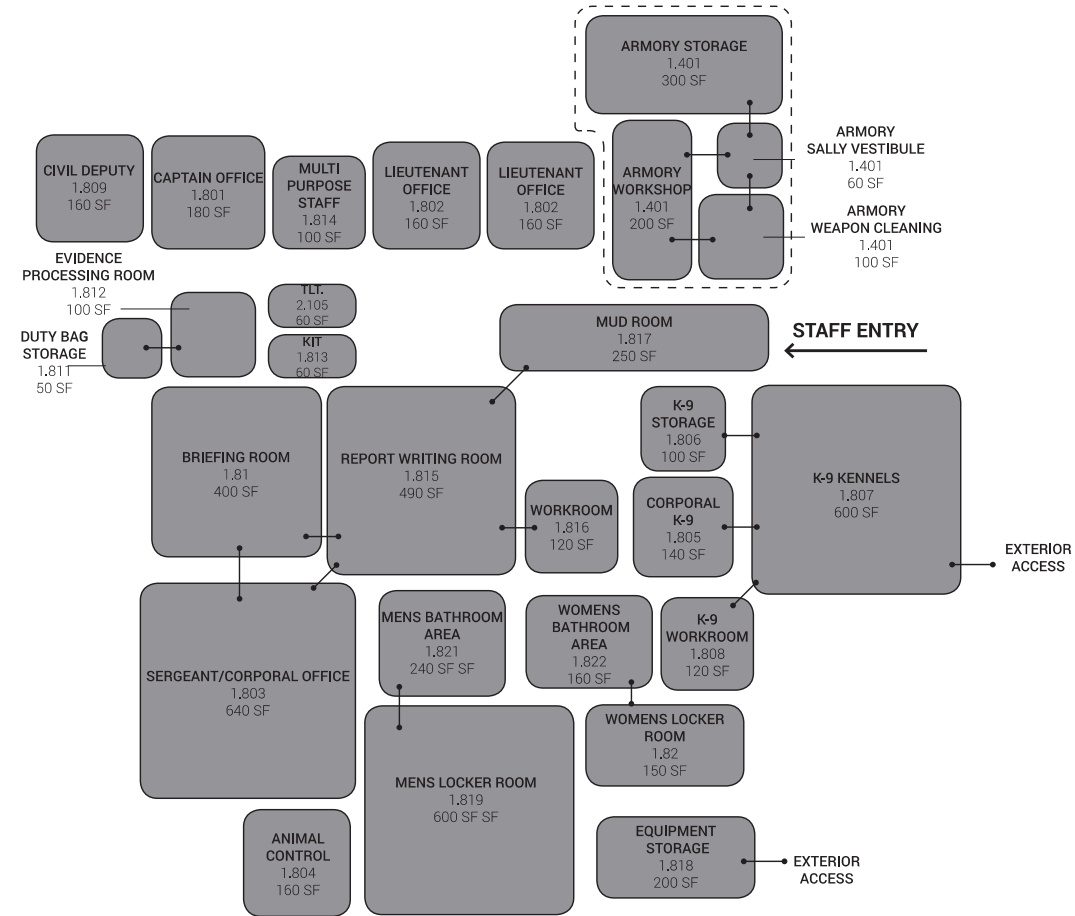
Records and Civil, Records Support and Warrants :



KEY MAP



Patrol and Armory :



Tech and Workforce Development :

