

COUNTY OF CANYON

REQUEST FOR QUALIFICATIONS (RFQ)

WAREHOUSE & ANIMAL SHELTER PROJECT

Issued By: **BOARD OF COUNTY COMMISSIONERS**

Submit Qualification Statements to: **Board of County Commissioners**

1115 Albany Street Caldwell, Idaho 83605

Telephone: (208) 454-7507 Facsimile: (208) 454-7336 bocc@canyoncounty.id.gov

Qualification Statements must be received by 8:59 a.m. Tuesday, February 14, 2023

Return in a sealed envelope marked: "Request for Qualifications for Warehouse & Shelter Project"

Statement of Qualifications received after said time/date will be returned unopened.

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I. INTRODUCTION

The Canyon County Board of Commissioners ("County") requests submissions of qualifications for construction management or general contractor firms to act as a Construction Manager/General Contractor ("CM/GC") for the site development and installation of a pre-engineered metal building and replacement of kennel fabric covering and support structure at the West Valley Humane Society, both located at or adjacent to **5801 Graye Lane, Caldwell, ID 83607**. The project will be known as the Warehouse & Shelter Project. This Request for Qualifications ("RFQ") serves as a tool to formalize negotiations to enter into a guaranteed maximum price contract with the chosen CM/GC, if any.

This project is being directed by:

Rick Britton Canyon County Facilities Director 1115 Albany Street Caldwell, ID 83605

Email: bocc@canyoncounty.id.gov

Telephone: (208) 454-7507 Facsimile: (208) 454-7336

The CM/GC selection will be based upon the criteria set forth in Idaho Code § 67-2320. Submitted qualifications will be evaluated to determine responsiveness. Canyon County may consider, but is not necessarily limited to, the following factors in evaluating qualifications:

- Responsiveness to the RFQ requirements;
- The ability, capability and skill of the CM/GC to perform the contract to provide the services required;
- References of the CM/GC;
- Options and flexibility;
- The character, integrity, reputation, judgment and efficiency of the CM/GC;
- The quality of performance of previous contracts or services with the County and based on previous customer feedback to County;
- The number and scope of the conditions attached to the qualification statement; and
- Other factors, as deemed important, in the County's sole discretion.

The following information must be submitted as part of your statement of qualifications: Complete and comprehensive responses to each part of Section III. PROJECT CONRACTOR INFORMATION and Section IV. RFQ CHECKLIST of this RFQ. Any statement submitted that does not provide a response to each of the required sections may be rejected as non-responsive.

A. General Project Requirements- Scope of Work

The selected CM/GC will coordinate and manage preconstruction, construction, and related construction management risk services for the Warehouse-Shelter Project on behalf of the County. The CM/GC shall have the goal to provide the highest quality finished product and repairs that

meet the project requirements, within the established timeframe for completion and provided budget established in the CM/GC contract

1. Warehouse

- a. Site development and installation of 10,000 sq.ft. pre-engineered metal building (PEMB) with one office, one restroom, fire riser room, and warehouse area for the storage of county property, with related mechanical, electrical, and fire suppression systems.
- b. Drawings are complete and stamped except for structural/foundation design.
- c. CM/GC will coordinate purchase of the PEMB and obtain manufacturer construction and design drawings along with building reactions. Upon receipt of building reactions, structural design will be completed Canyon County.
- d. Site development includes paved and striped parking, paved storage area, and landscaping 1.6 acre parcel.
- e. CM/GC will be responsible for successful application for all necessary permits and required inspections.
- f. County and County's Architect/Engineer team will provide support as needed.

2. Animal Shelter

- a. Replacement of fabric covering and support structure at 3 kennel 'wings' of the Canyon County Humane Society animal shelter with stick-framed conventional construction and related finishes.
- b. Complete stamped drawings will be provided. Modification of mechanical and electrical systems are included in the scope of work.
- c. Coordinate with County and tenant for construction staging and scheduling if project completed in phases.
- d. Contractor will responsible for successful application for all necessary permits and inspections
- e. County and County's Architect/Engineer team will provide support as needed.

B. Selection

The County will review submitted statement of qualifications to assure selection of a qualified CM/GC. The County will select the CM/GC that the County determines is best qualified to provide the required services based on ranked preference according to the criteria contained in this RFQ.

The County's selection criteria includes the prospective CM/GC's ability to fully respond to each of the provisions of this RFQ and meet the contract requirements as listed in **Section III. GENTERAL TERMS AND CONDITIONS**.

C. Pre-Qualification Conference

The County will hold a pre-qualification conference to discuss this RFQ with all interested CM/GCs. The pre-qualification conference will be held at 11 a.m. Thursday, January 26, 2023 at the West Valley Humane Society Shelter, 5801 Graye Lane, Caldwell, Idaho 83607, which is the Project site. The County will not offer any official responses to any inquiries at the conference.

D. Questions/Clarifications to RFQ

Questions and clarifications regarding the RFQ must be submitted in writing via electronic mail to bocc@canyoncounty.id.gov. The subject line of the email must include "Warehouse & Shelter RFQ Question/Clarification." Questions and clarifications must be received by the Clerk of the Board of Commissioners no later than 5 p.m. Wednesday, February 1, 2023.

All questions and clarifications to the RFQ will be addressed by the County in a written addendum. No verbal answers or clarifications will be binding on the County or the CM/GC. The County will respond to timely submitted questions by issuing an addendum to this RFQ at 10:30 a.m. on Tuesday, February 7, 2023. The addendums and RFQ will be made available in electronic format.

E. Time

All references to the hours of a day shall refer to the time at Caldwell, Idaho.

F. Procedure

Interested parties must submit a sealed application package containing three (3) hard copies and one electronic copy on a portable storage device such as a thumb drive of the statement of qualifications pursuant to this solicitation with the Office of the Board of County Commissioners, Canyon County Courthouse 1115 Albany Street, Caldwell ID, 83605, no later than 8:59 a.m. Tuesday, February 14, 2023. Late and incomplete qualifications will not be accepted, opened or considered.

Each submittal shall include the legal name of the submitting CM/GC and a statement whether the CM/GC is a sole proprietor, a partnership, a corporation or other legal entity, and shall be signed by the person or persons legally authorized to do so.

G. RFQ Preparation Costs

Costs for developing submittals pursuant to this RFQ are entirely the responsibility of the CM/GC and shall not be chargeable to the County. By submitting a statement of qualifications, the CM/GC

agrees that the contents of the submittals, suggested approaches contained therein, and any supporting analysis, will become the property of Canyon County.

H. Delivery to County

Delivery is to be made to the address noted on the RFQ cover page. No facsimile qualifications will be accepted. It is the CM/GC's responsibility to ensure that qualifications are received on time.

II. CALENDAR OF EVENTS

The following is a schedule of events concerning the RFQ process:

1. Distribution of the RFQ	9a.m. Tuesday, January 10, 2023
2. Publication	Tuesday, January 17 and January 24, 2023
3. Pre-Qualifications Conference	
4. Questions/Clarifications to RFQ Due	5 p.m. Wednesday, February 1, 2023
5. Addendum #1	
6. Qualification Statements Due Date	8:59 a.m. Tuesday, February 14, 2023
7. Qualification Statements Opening,	
8. Consider Award Recommendation (Tentative)	
9. Objections to Tentative Award	
10. Contract signing (Tentative)	TBD

A. Acceptance and Rejection

The County reserves the following rights:

- To reject any or all submittals, or any part thereof;
- To waive any minor defects in the submittal if this is to the advantage of the County; and
- To accept the submittal that is in the best interest of the County.

The County's selection decision shall be final. The waiver of a minor defect shall in no way modify the RFQ or excuse the CM/GC from full compliance with its specifications should the CM/GC be awarded the contract. The County reserves the right to enter into separate contracts on any aspect of the work.

Qualifications that contain false or misleading statements or that provide references, which do not support an attribute or condition claimed by the CM/GC, may be rejected. If, in the opinion of the County, such information was intended to mislead the County in its evaluation of the CM/GC, the statement shall be rejected.

B. Disclosure of CM/GC Confidential Information

As provided herein, interviews may be conducted with a responsible CM/GC(s) who submits qualifications determined to be reasonably acceptable of being selected for award. The qualifications, except for financial information deemed confidential by the prospective CM/GC shall be available by request for public inspection after opening by the County. The CM/GC must

separately seal any financial information the CM/GC deems confidential and must agree to indemnify and hold harmless Canyon County for barring this confidential material from public inspection.

C. Signature of CM/GC Agent

Each statement of qualification and any clarification to that statement shall be signed by an officer of the CM/GC or a designated agent empowered to bind the firm in a contract.

III. GENERAL TERMS AND CONDITIONS

A. Introduction

CM/GC's response to each of the requirements in **Section III. PROJECT CONTRACTOR INFORMATION** is mandatory. Failure to respond to a requirement in this section, or non-adherence to a requirement in this section, may cause the statement to be rejected.

B. Type of Contract

The evaluation of qualifications submitted in response to this RFQ may result in the issuance of a contract. General Terms and Conditions in the contract will include, but may not be limited to, **Sections B.** through **E.** of this part. No work is authorized through this RFQ by the County to any CM/GC until a final contract is approved by both the County and the selected CM/GC.

Submission of an RFQ is an acknowledgment by the CM/GC that they will comply with the above referenced sections of this part. CM/GC must complete the appropriate section of the **RFQ CHECKLIST** that acknowledges this requirement.

C. Termination

- 1. Either party may termination the Contract upon giving thirty (30) days written notice to the counterparty for substantial failure to perform its material obligations set forth in the Contract.
- 2. The Contract may be terminated by the County without cause upon seven (7) days written notice to the CM/GC. In the event of such a termination without cause, the County shall pay the CM/GC for all services rendered prior to the termination, plus any expenses incurred and unpaid that would otherwise be payable. In such event, the CM/GC shall promptly submit an invoice for final payment to the County.

D. Governing Laws

Any contract resulting from this RFQ shall be construed in accordance with, and governed by, the laws of the State of Idaho. Any action concerning this contract shall be brought in the Third Judicial District Court, Canyon County, State of Idaho.

E. Insurance

The selected CM/GC shall maintain the following Insurance at all times this Contract is in effect and for the stated periods after final completion of the Project:

- 1. Workers' compensation and employer's liability insurance as required by the state where the work is performed and for at least one (1) year after final completion of the Project. Further, CM/GC shall provide proof of Workers' Compensation Insurance in the form of a Certificate of Insurance to the County.
- 2. Comprehensive automobile and vehicle liability insurance covering claims for injuries to members of the public and damages to property of others arising from use of motor vehicles, including on-site and off-site operations and owned, non-owned, or hired vehicles with \$1,000,000 combined single limits. CM/GC shall maintain this insurance for at least two (2) years after final completion of the Project.
- **3.** Commercial general liability insurance covering claims for injuries to members of the public or damage to property or others arising out of any covered negligent act of omission of CM/GC or of any of its employees, agents, or subcontractors with \$1,000,000 per occurrence and \$3,000,000 in the aggregate. The aggregates shall apply separately on a "per project basis." CM/GC shall maintain this insurance for at least two (2) years after final completion of the Project.
- **4.** Professional liability insurance of \$1,000,000 per occurrence and in the aggregate, naming Canyon County as a certificate holder, during the pendency of the Project and for a period of six (6) years after final completion of the Project. The CM/GC shall purchase and keep in force during the pendency of this Project an Errors and Omissions Policy in the face amount of Two Million Dollars (\$2,000,000) with not more than a Twenty-Five Thousand Dollar (\$25,000) deductible. A certificate of insurance acceptable to the County shall be provided to County prior to commencement of the Work. The insurance policy shall contain a clause that the policy may not be cancelled or allowed to expire until at least thirty (30) days prior written notice has been provided to County.
- **5.** County will be named as an additional insured with respect to CM/GC's liabilities hereunder in insurance coverages identified in items 2 and 3 and CM/GC's insurance company must agree to waive subrogation against County as to said policies.

The coverages provided shall contain a policy clause or an endorsement providing thirty (30) days' notice to the County prior to any cancellation of coverage. Insurance coverage shall be written by an insurer acceptable to the County and shall be in a form acceptable to the County. The County shall be provided a copy of the policies described herein upon written request.

F. Equal Employment Opportunity

The selected CM/GC shall comply with all provisions of federal, state and local regulations to ensure that no employee or applicant for employment is discriminated against because of race, religion, color, sex, marital status, age, disability, or national origin.

G. CM/GC Personnel

The County may request replacement or deny access of any CM/GC or subcontractor personnel believed unable to carry out the responsibilities of the contract, or unsuitable for working within the environment of County-owned property.

H. CM/GC Cooperation

The selected CM/GC shall, at all times, observe and comply with all federal, state, local and municipal laws, ordinances, rules, and regulations in any way affecting the contract, or the work performed under the Contract.

I. Warranty

The services shall conform in all respects with the specifications in this RFQ.

J. Indemnity

The selected CM/GC shall indemnify and hold harmless the County from and against all liability, claims, loss, costs, and expenses arising out of, or resulting from, the services of the CM/GC. In the event the County is alleged to be liable on account of alleged acts or omissions of the CM/GC, the CM/GC shall defend against such allegations. The selected CM/GC shall bear all costs, fees, and expenses of such defense; including, but not limited to, all attorney fees and expenses, court costs, and expert witness fees and expenses.

K. Assignment

No contract resulting from this RFQ shall be transferred or assigned by the CM/GC to any other party.

L. Ownership of Documents

Any work product generated by the selected CM/GC during the course of the Project, whether completed or terminated as contemplated herein, shall belong to the County. In the event that this Project is terminated prior to the selected proposing CM/GC completion of the work product, the County agrees that the work product may not be suitable for use unless completed by the selected proposing contractor for the specific purpose intended, and the County shall assume the liability and risk associated with the use of incomplete work product.

IV. PROJECT CONTRACTOR INFORMATION

The County seeks the CM/GC most qualified to provide the services stated in this RFQ. The various sections of this RFQ are intended to provide each potential CM/GC with the opportunity to demonstrate its qualifications.

Submittals must adhere to the structure outlined in this section of the RFQ. Responses that do not adhere to the structure may be disqualified from review. Prospective CM/GC must respond to each item of this section, complete **RFQ CHECKLIST** (Attachment C), and enclose the checklist in the CM/GC's qualifications.

A. Cover Letter

1. The cover letter should be on the letterhead of the submitting CM/GC, addressed to:

Canyon County Board of Commissioners Canyon County Courthouse 1115 Albany Street Caldwell, Idaho 83605

- 2. Identify the proposing firm by name, main business office, field office conducting work (if applicable), and contact person.
- 3. Identify the proposing firm's parent corporation by name and business location. If the proposing firm has no parent corporation, state that this is the case.
- 4. State that you have read the RFQ and are prepared to comply with contractual requirements.
- 5. Include a brief statement of the proposing firm's understanding of the work to be accomplished.
- 6. Provide any additional explanatory information believed necessary or helpful.
- 7. Signature of Company Principal authorized to sign contracts.

B. Table of Contents

Use tabs between sections and number each page.

C. Overview of Firm

- 1. Provide summary history of proposing firm.
- 2. Describe the management structure of proposing firm, including identification of all members of the board of directors and executive management team.

3. Disclose all claims or unresolved claims currently ongoing or pending, and/or any potential or anticipated litigation.

D. CM/GC Financial Report

All proposing CM/GCs must provide a copy of the CM/GC's most recent corporation annual report. If no annual report is available, the latest audited financial report prepared by a certified public accountant must be provided. In no case shall the selected CM/GC's accounts payable be in arrears greater than thirty (30) days. All information the proposing CM/GC considers considered confidential must be clearly marked and provided to the County in a separate sealed envelope with the RFQ response package. See **Section II. B.** (Disclosure of Professional Confidential Information) of this RFQ.

E. List of Similar Projects/Experience

Describe local, regional or national projects of a similar size and scope in which the proposing CM/GC has been involved.

Describe the expertise your firm has to conduct this type of Project.

Include experience of firm or firms and past performance, name and telephone number of contacts on similar projects, and any written references that are available for those projects. Identify projects completed or ongoing that are similar in scope and size to the project under consideration; adherence to previous project guidelines or requirements; ability to stay within negotiated fees and schedules; quality of service; and personalized attention to the project.

F. Customer Reference List

Provide a list of current and former clients of the proposing CM/GC to contact for references. The County will inquire into multiple areas, which may include ability, capability, and skill of the proposing CM/GC to perform the services required; the character, integrity, reputation, judgment and efficiency of the proposing CM/GC. The majority of the references must respond positively in order for the proposing CM/GC to be successful in this portion of the evaluation.

Please provide references, names, addresses and phone numbers of firms that have dealt with designated team individuals on at least three (3) other similar projects.

G. Proposed CM/GC's Staff

Staff qualifications should be clear and to the point. Emphasis to be on specific qualifications of the specific staff who will actually perform the project and the firm's ability to manage multiple projects simultaneously. All staff with professional licensure requirements must be licensed to practice in the State of Idaho or work under the direct supervision of a professional licensed in the State of Idaho.

Provide resumes of the specific team members expected to accomplish the work described in this RFQ. Delineate respective responsibilities, estimated associated hours, and discuss their qualifications relative to this request. Provide specific examples of team experience relative to a minimum of three (3) similar projects, briefly illustrating the team's ability to complete such projects. Notation of special training or particular experiences in similar operations will be helpful.

H. Proposed Subcontractors

The selected CM/GC will directly contract with all sub-contractors to work under the sole direction of the CM/GC. The CM/GC will be responsible for all actions of such sub-contractors. All sub-contractors shall be licensed to conduct business in the State of Idaho and have a public works license if necessary. CM/GC shall provide to County, and the County approve, all documentation regarding sub-consultants for permits, proof of insurance including both liability and statutory workman compensation coverage, any special licenses required, or any other requirement before subcontractor conducts any work on the project.

The selected CM/GC shall provide a list all projected subcontractors that may be used in this Project and a brief statement describing the role that the sub-contractor will perform in this Project and the credentials to conduct this work. The subcontractor list will include: the name of the firm, name of the principal of the firm, company representative for this project, contact telephone number, facsimile, email, mailing address, and statement that the firm is licensed to conduct business in the State of Idaho and has a public works license.

I. Statement of Approach

The Project will require a Master Schedule to address the major components of the project. In responding to this RFQ, the proposal shall contain a statement of approach to the generation of a Master Schedule that identifies and addresses potential phases of the Project. Consideration of a winter work contingency for the Project should be made.

After the selected CM/GC executes a contract with the County, it will provide probable costs including subcontractor costs for each task as defined by the Master Schedule. Each Master Schedule task shall be defined in sufficient detail to be used by the County to authorize the investigation to proceed. Authorization of each task will be provided by the County before any work is conducted on such task. Master Schedule tasks will generally be authorized by the County sequentially. The Master Schedule and individual task descriptions may be modified at any time during the conduct of the investigation to provide continuity with the objectives of the Project and to facilitate the completion of the Project.

V. RFQ CHECKLIST & REVIEW CRITERIA

The sections of the RFQ that require a response are listed below. Each section must be initialed by the authorized signatory for the proposing CM/GC to indicate that the required information is provided or a condition is satisfied. Failure to acknowledge or respond to any of the sections listed below may result in rejection of the qualifications from further consideration.

The RFQs will be ranked based on the points awarded on the discretion of review committee. The range of available points is noted in parentheses assigned to each listed item. If "does not meet this requirement" is acknowledged, the proposing CM/GC may provide an explanation as to why such requirement in not applicable. Inclusion of an explanation does not obligate the County to credit CM/GC for responding to the item.

Points will be awarded in whole number increments as follows:

- For categories with two options for points (i.e. 0/1): a point will be awarded for technical compliance, i.e. for a response that contains complete information.
- For categories with three options for points (i.e.1/2/3, 5/10/15):
 - The low point total will be awarded to a response which has technical compliance only. Zero points will be awarded for responses failing to provide technical compliance unless the grader determines the explanation merits an award of points.
 - The midpoint mark will be will be awarded to responses that exceed more than technical compliance and the County determines the respondent's competence and qualifications are capable of meeting the County's needs in a satisfactory manner.
 - The high point total will be awarded to responses that exceed more than technical compliance and the County determines the respondent's competence and qualifications are capable of meeting the County's needs in a superior manner. Scores deemed superior will require brief written explanation from the grader as to justification.

RFQ sections requiring a response:

1.	Cover Letter complies with Section IV. A. (0/1 pt)
	Yes:
	No:, explanation provided? Y / N
2.	Table of Contents complies with Section IV. B. (0/1 pt)
	Yes:
	No:, explanation provided? Y / N
3.	Overview of Firm complies with Section IV. C. (0/1 pt)
	Yes:
	No:, explanation provided? Y / N
4.	Financial Report complies with Section IV. D. (1/2/3 pts)
	Yes:

		No:	, explanation provided? Y / N
	5.	List of Simi	ar Projects complies with Section IV E. (1/2/3pts)
		Yes: No:	, explanation provided? Y / N
	6.	Customer I	eference List complies with Section IV. F. (1/2/3 pts)
		Yes: No:	, explanation provided? Y / N
	6.	Proposed C	M/GC's Staff complies with Section IV. G. (1/2/3 pts)
		Yes: No:	, explanation provided? Y / N
	7.	Proposed S	ab-Consultants complies Section IV. H. (1/2/3 pts)
		Yes: No:	, explanation provided? Y / N
	8.	Statement of	f Approach complies with Section IV. I. (5/10/15 pts)
		Yes: No:	, explanation provided? Y / N
	9.	_	CM/GC acknowledges it is prepared to comply with the contractual is detailed in Section III and Section IV. (5/10/15 pts)
		Yes: No:	, explanation provided? Y / N
			VI. ATTACHMENT LIST
A.	Wa	rehouse Build	ing Project Design/Plans;
B.	We	st Valley Hu	nane Society Project Plans;
C.	RFO	Q Checklist	

APPROVED this day of January, 2023.

BOARD OF COUNTY COMMISSIONERS CANYON COUNTY, IDAHO

ARC	Tes 140	Did Not Vote
Commissioner Leslie Van Beek		
Brad Holton		_
Commissioner Brad Holton		
Commissioner Zach Brooks		

ATTEST: CHRIS YAMAMOTO, CLERK

By: Deputy Clerk

CANYON COUNTY

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ABBREVIATIONS

	and the second second		, - '		
				PLYWD.	PLYWOOD
@	AT	F.E.C.	FIRE EXTINGUISHER	PLYWD.	TEI WOOD
Œ	CENTERLINE		CABINET FIRE HOSE CABINET	R.	RADIUS
Ø	DIAMETER OR ROUND	F.H.C.		RE:	REFERENCE
		FIN.	FINISH	REQ.	REQUIRED .
A.B.	ANCHOR BOLT	FL.	FLOOR	RM.	ROOM
A/C	AIR CONDITIONING	FLSHG.	FLASHING	R.O.	ROUGH OPENING
ACOUS.	ACOUSTICAL	F.O.C.	FACE OF CONCRETE	R.O.	1000110121111
AL.	ALUMINUM	F.O.F.	FACE OF FINISH	SAN, SEW.	SANITARY SEWER
ALT.	ALTERNATE	F.O.M.	FACE OF MASONRY	S.C.	SOLID CORE
APPROX.	APPROXIMATE	F.O.S.	FACE OF STUD FOOT OR FEET	SCHED.	SCHEDULE
ARCH.	ARCHITECTURAL	FT.	FOOTING	S.D.	SOAP DISPENSER
AUTO.	AUTOMATIC	FTG.	FURRING	SEAL.	SEALANT
AVE.	AVENUE	FURR.	DIMANT	SECT.	SECTION
		C)	GAUGE	SHR.	SHOWER
BD.	BOARD	GA.	GALVANIZED	SHT.	SHEET
BLDG.	BUILDING	GALV.	GRAB BOARD	SIM.	SIMILAR
BLK.	BLOCK	G.B.	GALVANIZED IRON	SQ.	SQUARE
BLKG.	BLOCKING	C.I.	GYPSUM	bQ.	
BLVD.	BOULEVARD	GYP.	GIFSOM	S.S.	STAINLESS STEEL
BM.	BEAM	H.B.	HOSE BIBB	ST.	STREET
B.O.C.	BASE OF CURB	H.M.	HOLLOW METAL	STD.	STANDARD
BOT.	BOTTOM	HORIZ.	HORIZONTAL	STL.	STEEL
B.U.	BUILT-UP	H.P.	HIGH POINT		STORM SEWER
CID	CADDATET	HR.	HOUR	STRUC.	STRUCTURAL
CAB.	CABINET	HT.	HEIGHT	SUSP.	SUSPENDED
C.B.	CATCH BASIN CEMENT			SYM.	SYMMETRICAL
CEM.	CONTROL JOINT	I.D.	INSIDE DIAMETER		
C.J.		INSUL.	INSULATION	Τ.	TREAD
CLG.	CEILING	INT.	INTERIOR	T.B.	TOWEL BAR
CLR.	CLEAR	11,11.		TEL.	TELEPHONE
CMU	CONCRETE MASONRY	JAN.	JANITOR	THK.	THICKNESS
00	UNIT CLEAN OUT	JT.	JOINT	THRESH.	THRESHOLD
C.O. COL.	COLUMN			T.O.C.	TOP OF CURB
COL.	CONCRETE	KIT.	KITCHEN	T.O.P.	TOP OF PAVEMENT
CONT.	CONTINUOUS	K.O.	KNOCKOUT	T.O.S.	TOP OF SLAB
CORR.	CORRIDOR			T.O.W.	TOP OF WALL
C.T.	CERAMIC TILE	LAM.	LAMINATE	T.P.D.	TOILET PAPER
C.1.	Olivino Tibb	LAV.	LAVATORY		DISPENSER
DBL.	DOUBLE	L.P.	LOW POINT	TYP.	TYPICAL
DET.	DETAIL				
D.F.	DRINKING FOUNTAIN	MAX.	MAXIMUM	VENT.	VENTILATION
DIM.	DIMENSION	M.B.	MACHINE BOLT	VERT.	VERTICAL
DN.	DOWN	MECH.	MECHANICAL	VEST.	VESTIBULE
DWG.	DRAWING	MET.	METAL	V.I.F.	VERIFY IN FIELD
2,7,0,	,	MFR.	MANUFACTURER	V.W.C.	VINYL WALL
(E)	EXISTING	M.H.	MANHOLE		COVERING
EA.	EACH	MIN.	MINIMUM		
E.B.	EXPANSION BOLT	MISC.	MISCELLANEOUS	W/	WITH
E.J.	EXPANSION JOINT	M.O.	MASONRY OPENING	WD.	WOOD
EL.	ELEVATION			W.GL.	WIRE GLASS
ELEC.	ELECTRIC	N.	NORTH	W/O	WITHOUT
ELEV.	ELEVATOR	(N)	NEW	W.P.	WORK POINT
E.P.	ELECTRICAL	N.I.C.	NOT IN CONTRACT	W.W.F.	WELDED WIRE FABRIC
	PANELBOARD	NO.	NUMBER		
EQ.	EQUAL	NOM.	NOMINAL NOT TO SCALE		
EXH.	EXHAUST	N.T.S.	NOT TO SCALE		
EXP.	EXPANSION	0.5	OM OTHER PROPERTY.		· · ·)
EXT.	EXTERIOR	O.C.	ON CENTER		
		O.D.	OUTSIDE DIAMETER		
F.A.	FIRE ALARM	OPP.	OPPOSITE		
F.D.	FLOOR DRAIN	D/T	PROPERTY LINE		
FDN.	FOUNDATION	P/L P. LAM.	PROPERTY LINE PLASTIC LAMINATE		
F.E.	FIRE EXTINGUISHER	PLUMB.	PLUMBING		

CODE INFORMATION

LODE: 2018 IBC, IECG, IFC, IMC, IFAC; WIT NEC, ISPC

construction type: YB

MICHARIE / ACTUAL STORIES: 2/2 ALLOWARDE / METUAL HEIGHT: 60 /21

ALTUAL AREA: 40,000 \$\frac{1}{41, BASIC}

FIRE SPEINKLERS: AUTOMATIC FER

FIRE ALARM: MONITORING (FLOW FER TEC + NFFA.

BATED ASSEMBLIES: HOHE BEOLD.

SYMBOLS

4 .s.	WORK CONTROL, OR DATUM POINT
X NEW	GRADES
\Diamond	BUILDING SECTION
\Diamond	WALL SECTION
$\cdot \ominus$	DETAIL
\bigoplus	MILLWORK

(100)

DOOR NUMBER WINDOW LETTER ROOM NUMBER KEYNOTE

WIIIIIIII STEEL CONTINUOUS MEMBER BLOCKING

PLYWOOD

GYPSUM BOARD

SUSPENDED TILE

WWW.WWW BATT INSULATION

RIGID INSULATION

DRAINAGE/ SLOPE LINE GLAZING EXPANSION JOINT MASONRY WOOD FRAME

GRAVEL HARDWOOD TRIM CENTER LINE * X DIMENSION LINE

---- FENCE

PROPERTY LINE

GENERAL NOTES

I ALL WORK to COMPLY W/ 2018 IBC FANY APPLICABLE STATE, COUNTY, + LOCAL COMES & PERCULATIONS, COMPLY W/ PERUPEMENTS & GUIDELINES OF THE AMERICANS WITH PISCELLITES KET (ADA) & ICC/ANSI FOR MOESSIBILITY & MCCOMODATION.

I VERFY ALL DIMENSIONS + catations paper to stretula THE WORK. NOTIFY MEATHTEST OF HAY DECREPALLIES OR UNUSUAL CONDITIONS PLICOUNTERED.



COM*check* Software Version 4.1.5.3 **Envelope Compliance Certificate**

New Construction

Construction Site:

2018 IECC Canyon County Warehouse Project Title: Caldwell, Idaho

Climate Zone: Project Type: Vertical Glazing / Wall Area:

Designer/Contractor:

Additional Efficiency Package(s)

Credits: 1.0 Required 1.0 Proposed Reduced Lighting Power, 1.0 credit

Floor Area 10000 1-Warehouse: Nonresidential

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor _(a)
Roof 1: Other Metal Building Roof, [Bldg. Use 1 - Warehouse] (b)	10000			0.033	0.035
Floor 1: Slab-On-Grade:Unheated, Vertical 2 ft., [Bldg. Use 1 - Warehouse] (d)	400		10.0	0.540	0.540
NORTH Exterior Wall 4: Other Metal Building Wall, [Bldg. Use 1 - Warehouse] (b)	1600			0.053	0.052
<u>EAST</u> Exterior Wall 2: Other Metal Building Wall, [Bldg. Use 1 - Warehouse] (b)	1705			0.053	0.052
Door 3: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse]	196	~~~		0.125	0.179
Door 4: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	21		-~-	0.250	0.370
SOUTH					
Exterior Wall 3: Other Metal Building Wall, [Bldg. Use 1 - Warehouse] (b)	1600			0.053	0.052
Door 5: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	21			0.250	0.370
<u>NEST</u> Exterior Wall 1: Other Metal Building Wall, [Bldg. Use 1 - Warehouse] (b)	1705			0.053	0.052
Window 1: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID n/a, SHGC 0.33, [Bldg. Use 1 - Warehouse] (c)	63			0.330	0.380
Door 1: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID n/a, SHGC 0.33, [Bldg. Use 1 - Warehouse] (c)	21		***	0.330	0.770
Door 2: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse]	196			0.125	0.179

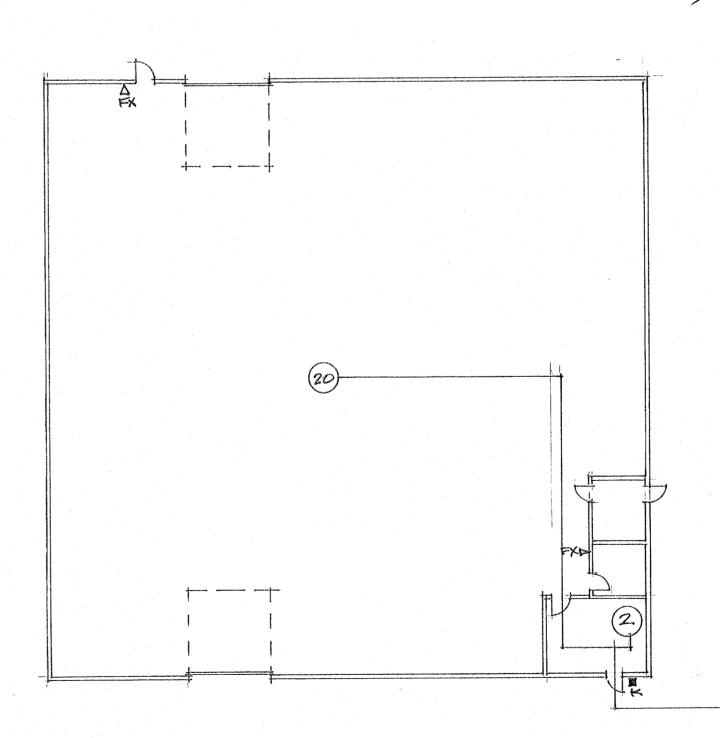
(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

(b) 'Other' components require supporting documentation for proposed U-factors. (c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

(d) Slab-On-Grade proposed and budget U-factors shown in table are F-factors

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.3 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

THAN TOTAL



22 × 0.15 = 3.3 REO'D 36" PRAIDED.

2A: LOBC FIRE EXTINGUISHER - MOUNT 42" HIGH TO TOP OF EXTINGUISHER.

OR HOX BOX (OR APPROVED FOUNT) - MOUNT & LOCATE PER FIRE DEPT.

- PRAIDE & INSTALL 12 TALL APPRESS HUMBERS (CONTRASTILLS TO BACKGROUND), LOCATE PER FIRE DEPT

LIFE SAFETY / EXITING PLAN



1/16 = 1-0

THESE DOCUMENTS HAVE BEEN PRODUCED AS AN INSTRUMENT OF SERVICE AND ARE INTENDED SOLELY FOR THE PURPOSE OF CONSTRUCTING, USING AND MAINTAINING THE PROJECT. RBA ARCHITECTS, LLC. AS THE ARCHITECT OF RECORD FOR THE PROJECT RETAINS OWNERSHIP OF THESE

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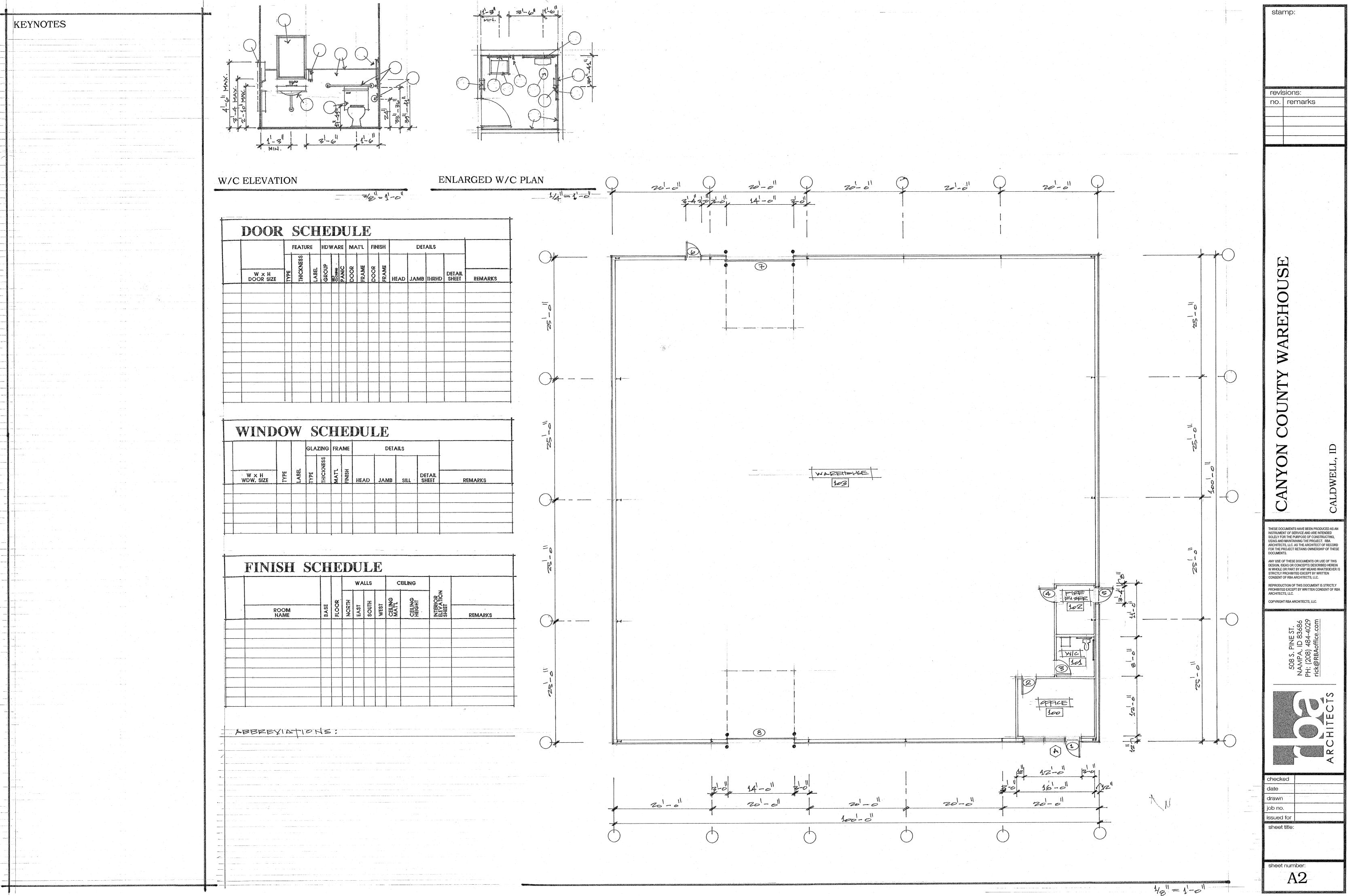
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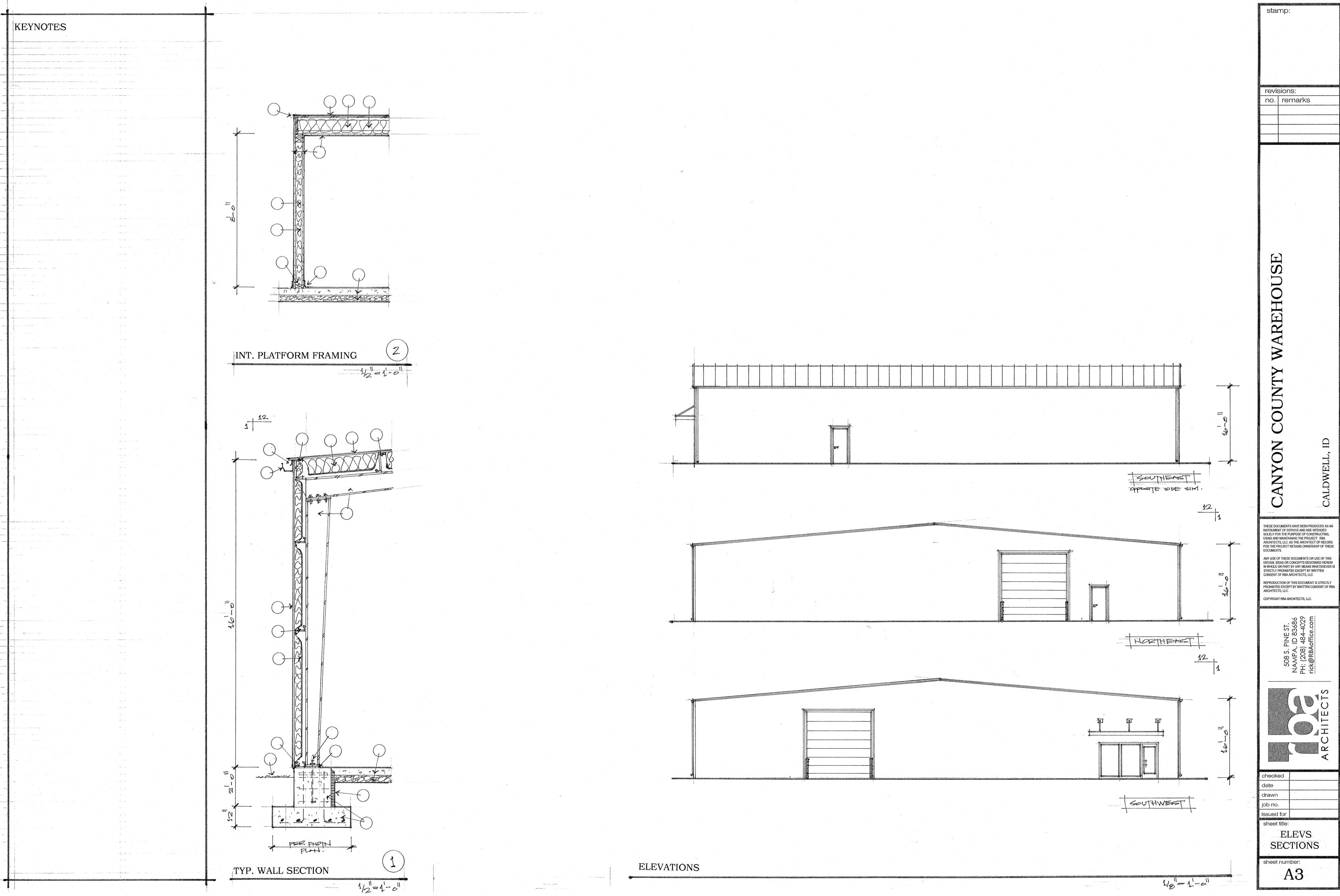
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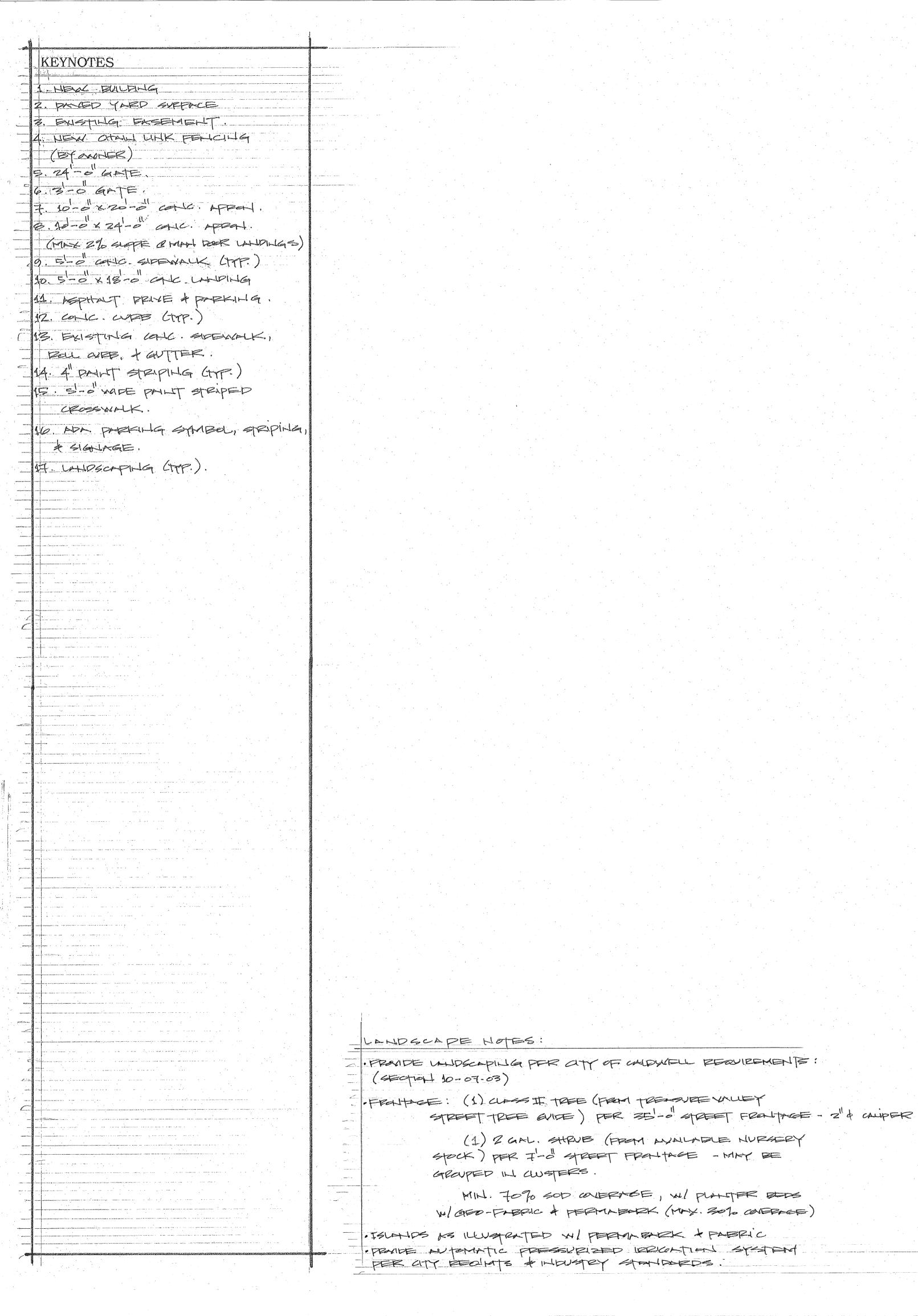
COVER

CODE

Al







(SECTION 10-07-03)

GROUPED ILL CWSTERS.

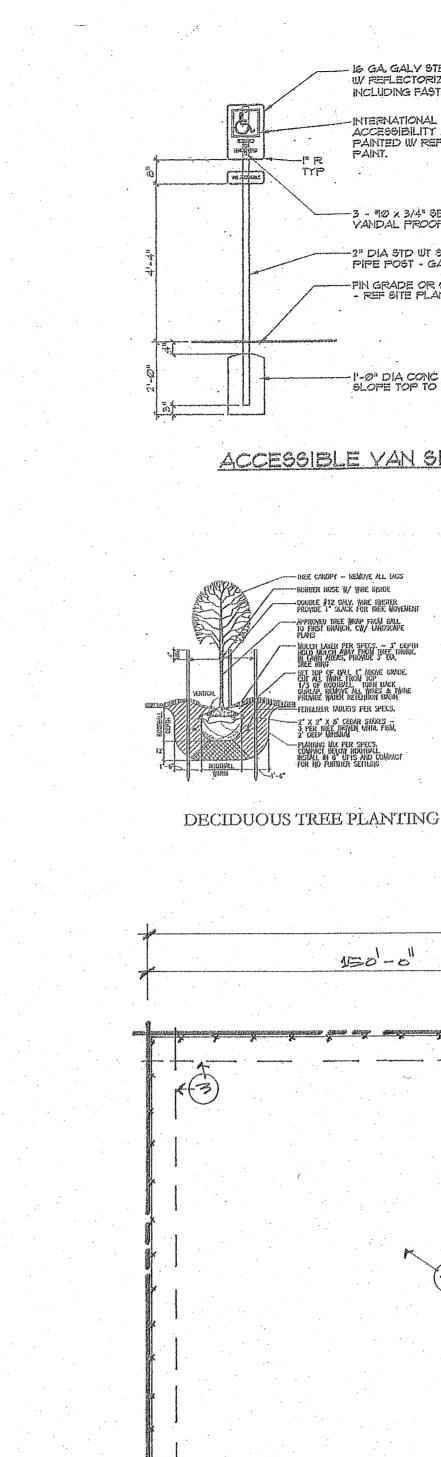
PER CITY EED HIS & INDUSTRY STANDORDS.

(1) ZGAL, SHRUB (FROM MYALLABLE NURSERY

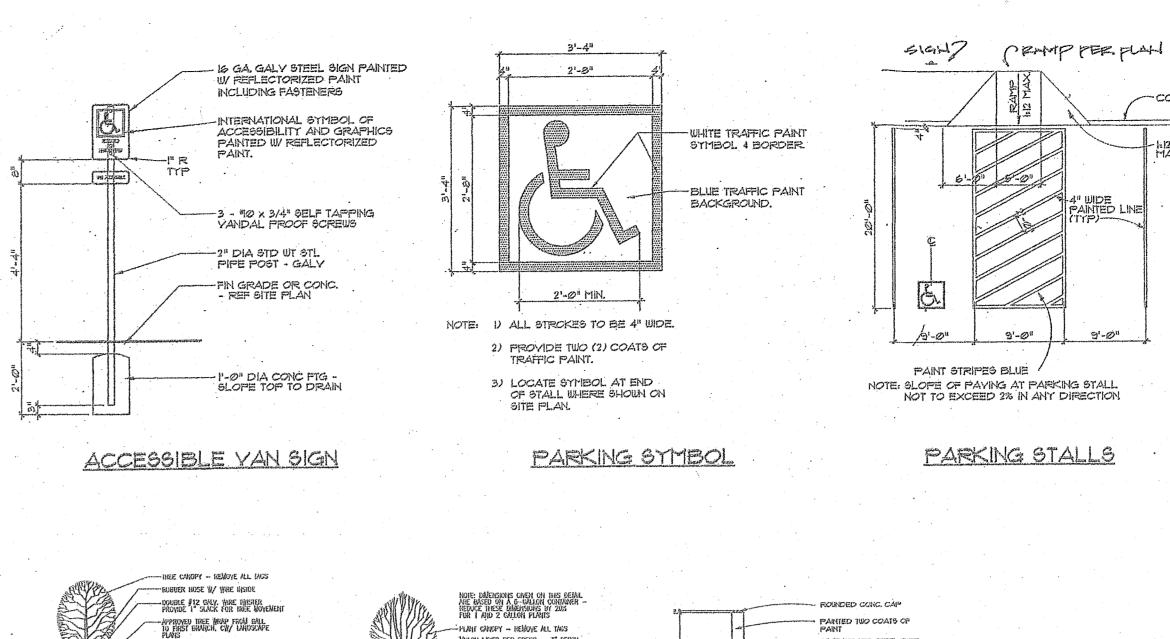
MIN. 70% SOD WERKEE, WI PLANTER BEDS

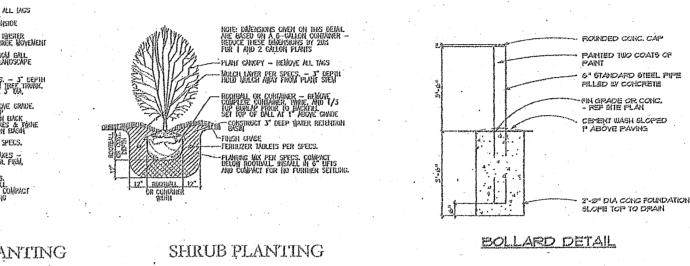
W/GEO-FABRIC & FERMABORK (Mrx. 20% CONERAGE)

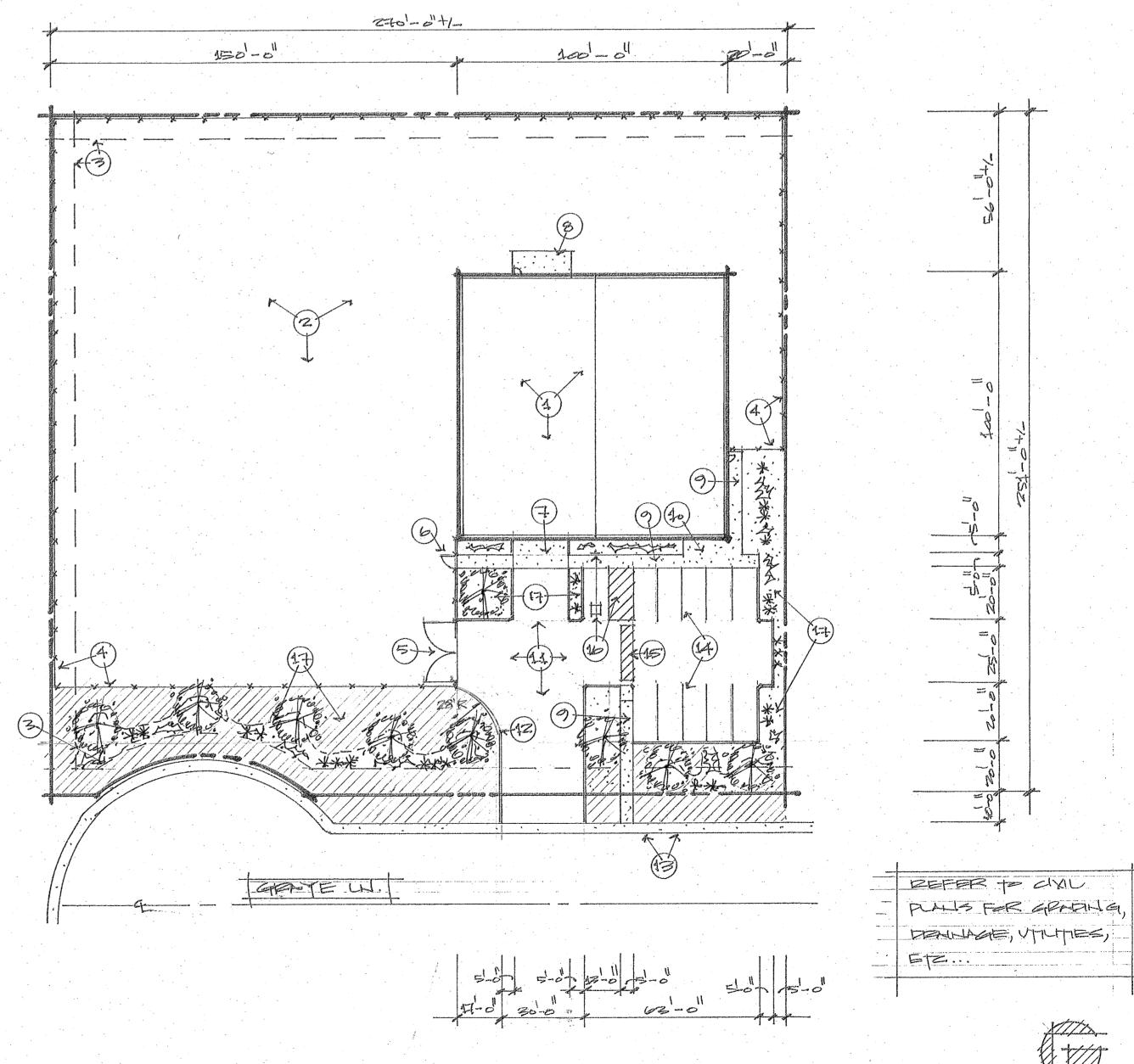
STOCK) PER I'- O STREET FRANTAGE - MAY BE

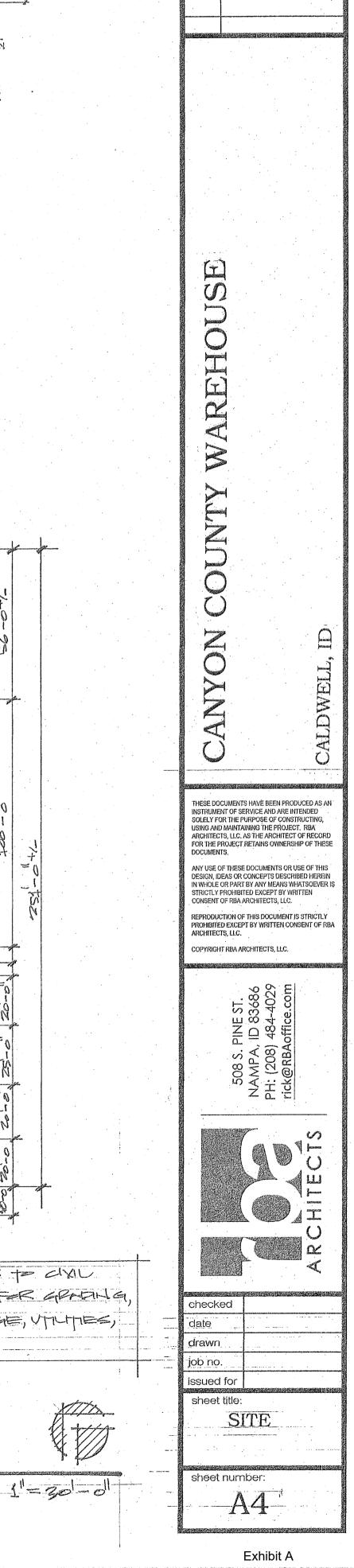


SITE PLAN









- CONC. CURB.

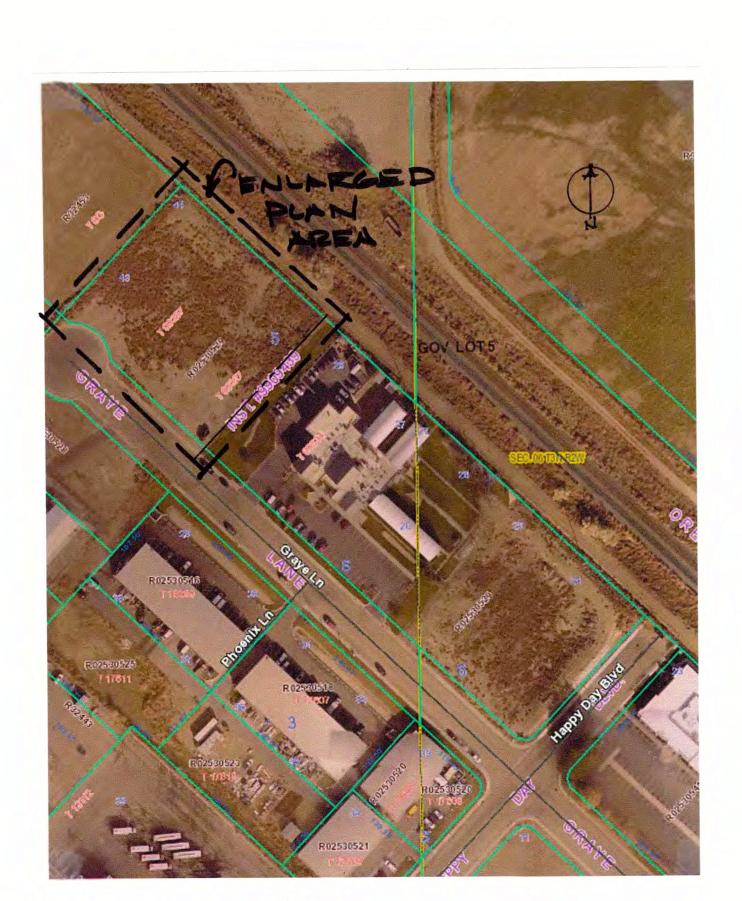
- 1-12 SLOPE MAX- CURB

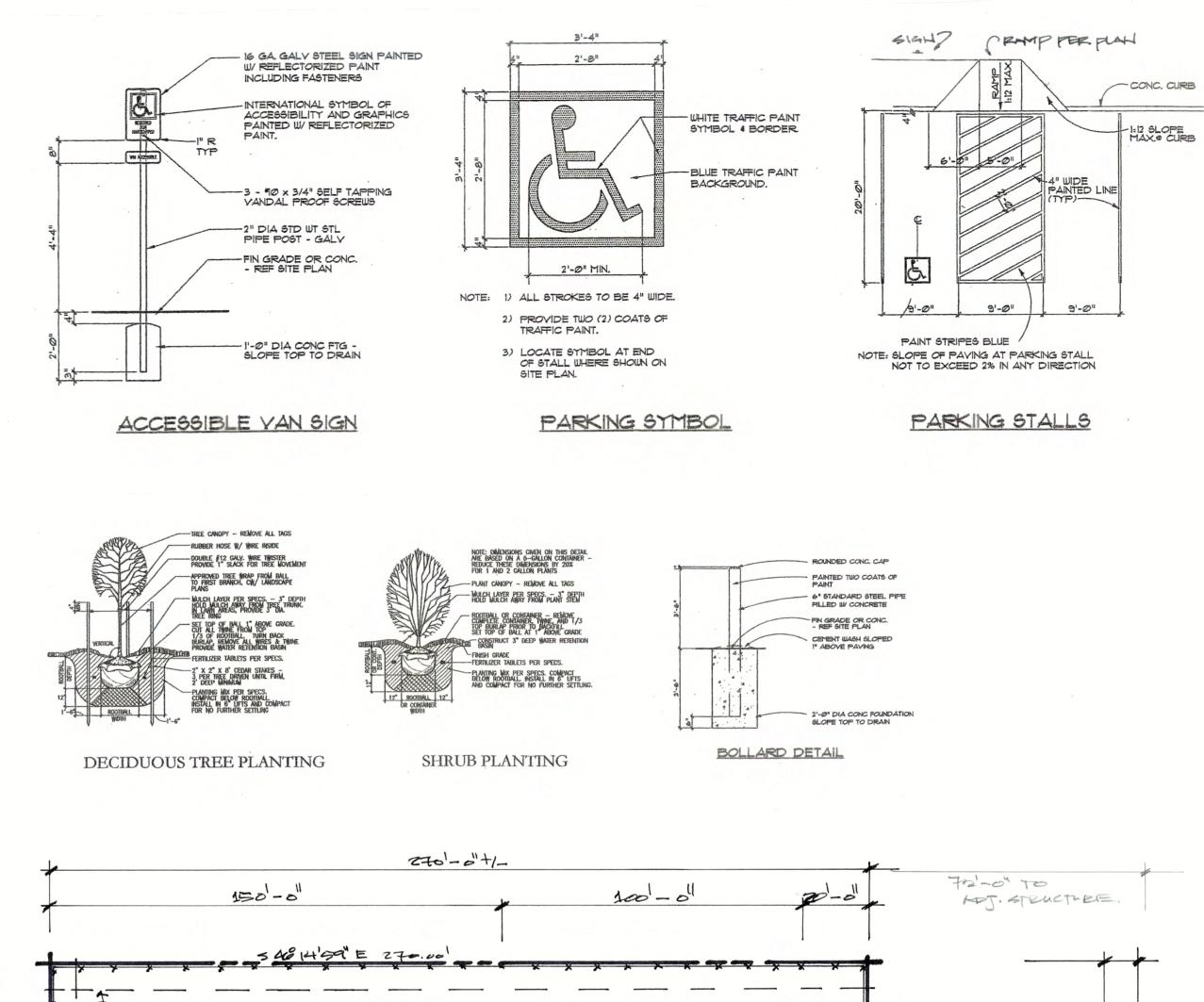
revisions:

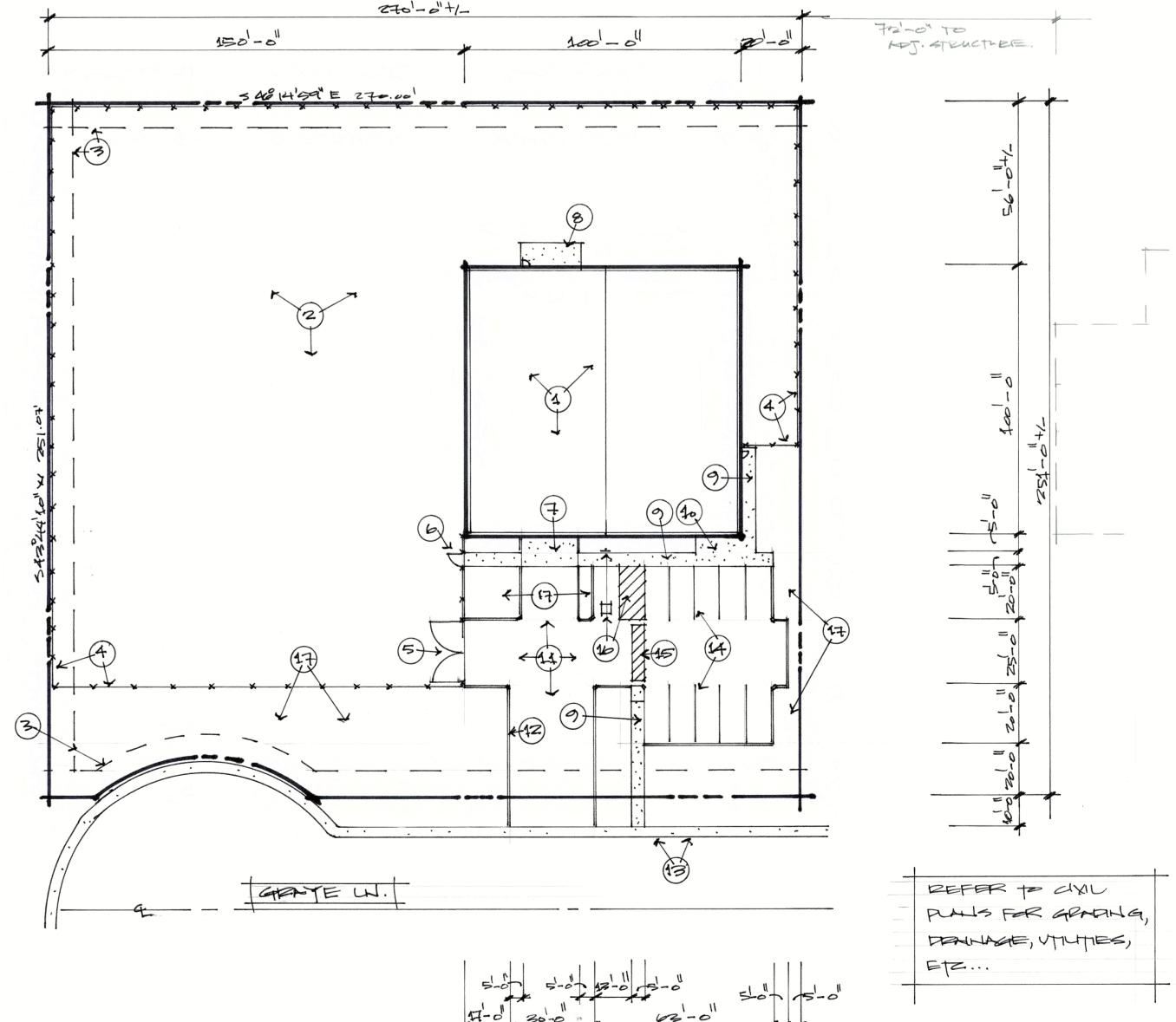
no. remarks

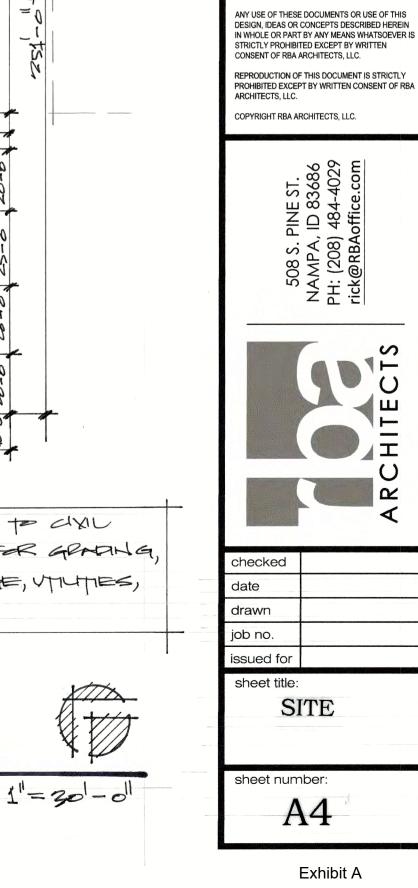
KEYNOTES

- 1. HERE BUILDING
- 2. PRIED YARD SUFFACE
- 3. EXISTING EXSEMENT.
- 4. NEW CHAIN UNK FENCING
- (BY ONER)
- 6.3-0 GATE
- 7. 10-0 x 20-0 catic. APRON.
- 8.40-0 × 24-0" CALC. APPONT.
- (MAX 2% SIPERALK (TYP.)
- 10. 5'-0" × 18-0" CAL LANDING
- 11. ASPHALT PRIVE & PARKING.
- 12. CONC. WAS CTOP.)
- 13. Existing COLC. SIDEWALK,
- 14. 4" PAINT STRIPING (TYP.)
- 15. 5-0" WADE PAINT STEAPED
- 46. NON PREKING SYMBOL, SPEIPING,
- 17. LANDSCAPING (TTP.).









revisions:

WAREHOU

THESE DOCUMENTS HAVE BEEN PRODUCED AS AN INSTRUMENT OF SERVICE AND ARE INTENDED SOLELY FOR THE PURPOSE OF CONSTRUCTING, USING AND MAINTAINING THE PROJECT. RBA ARCHITECTS, LC. AS THE ARCHITECT OF RECORD FOR THE PROJECT RETAINS OWNERSHIP OF THESE DOCUMENTS.

no. remarks

WEST VALLEY HUMANE SOCIETY

RENOVATION

CALDWELL, IDAHO 83607 5801 GRAYE LN.

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE
- ALL WORK TO CONFORM WITH 2015 IBC AND ANY APPLICABLE STATE, COUNTY, OR LOCAL CODES & REGULATIONS. COMPLY WITH REQUIREMENTS & GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT & ICC/ANSI FOR ACCESSIBILITY & ACCOMMODATION.
- UNLESS OTHERWISE INDICATED ON DRAWINGS, NOTES WHICH DO NOT READ "N.I.C.", "EXISTING". "EXISTING TO REMAIN", OR"BY OTHERS" SHALL INDICATE NEW WORK TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES NECESSARY TO EXECUTE THE INTENT OF THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL KEEP ALL AREAS OF CONSTRUCTION CLEAN AND FREE OF DEBRIS. AFTER CONSTRUCTION IS COMPLETE, THE GENERAL CONTRACTOR SHALL PROVIDE FINAL
- CONTRACTOR RESPONSIBLE FOR LOCATION AND CONNECTION OF TEMPORARY UTILITY
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SUCH AS SANITARY SEWER, STORM SEWER, WATER, NATURAL GAS, AND ELECTRICAL LINES. ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS
- PATCHING, REPAIRING AND REPLACING OF SURFACE MATERIALS CUT OR DAMAGED IN THE EXECUTION OR WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON SUBSTANTIAL COMPLETION, MATCH THE ADJACENT SURFACES, TEXTURE
- COORDINATE ALL DRAWINGS WITH PROJECT MANUAL AS PROVIDED FOR ADDITIONAL PROJECT INFORMATION AND PRODUCT REQUIREMENTS.

DOWN

DRAWING

DOWNSPOUT

EXPANSION BOLT

FINISH SYSTEM

ELECTRICAL

ELEVATION

FQUAL

EXHAUST

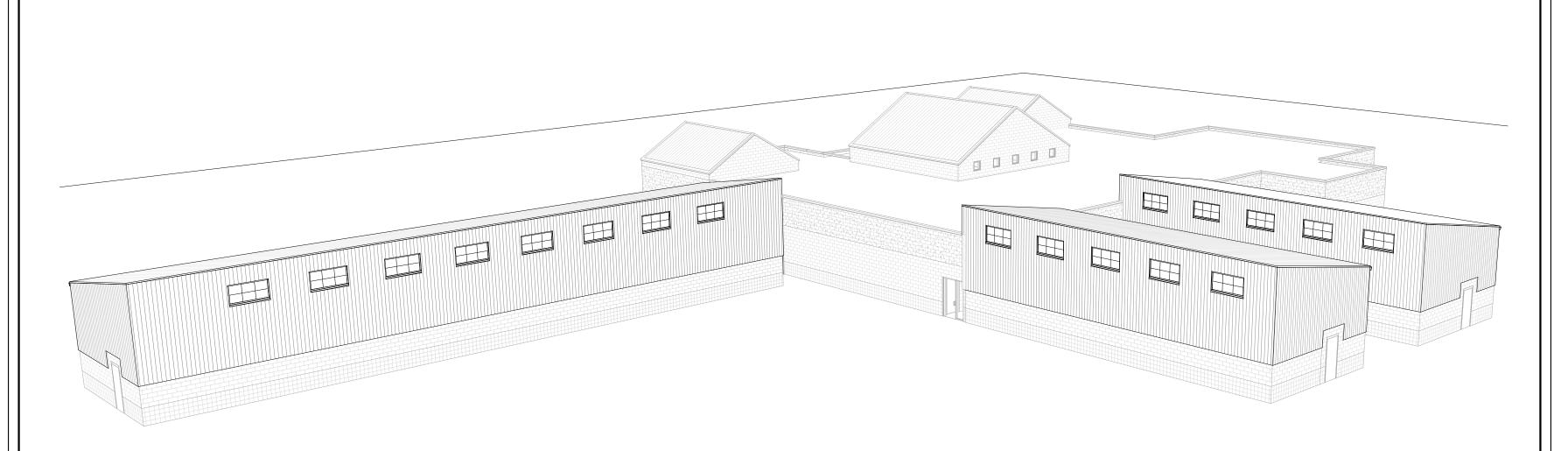
EXPANSION JOINT

EXTERIOR INSULATION

ELECTRICAL PANEL BOARD

DRWG

E.P.B.



ABBREVIATIONS EXIST **EXISTING** NORTH THICKNESS **ANGLE EXPANSION** NOT IN CONTRACT **THRESHOLD** N.I.C. T.O.B. EXTERIOR NUMBER TOP OF BEAM CENTERLINE T.O.C. NOM. NOMINAL TOP OF CURB T.O.P. **TOP PAVEMENT** DIAMETER FIRE ALARM N.T.S. NOT TO SCALE FLOOR DRAIN T.O.S. TOP OF STEEL POUND OR NUMBER ON CENTER T.O.W. FOUNDATION TOP OF WALL F.E. O.D. T.P.D. ANCHOR BOLT FIRE EXTINGUISHER OUTSIDE DIAMETER TOILET PAPER DISPENSER ACOUSTICAL F.E.C. FIRE EXTINGUISHER OFF. OFFICE TELEVISION O.H. OPPOSITE HAND AIR CONDITIONING CABINET TYPICAL AREA DRAIN F.H.C. FIRE HOSE CABINET (MIRRORED ELEVATION) ADJUSTABLE FINISHED U.N.O. UNLESS OTHERWISE NOTED OPPOSITE FLR. FLOOR ALTERNATE ORIENTED STRAND BOARD FLSHG. O.T.S. ALUM. ALUMINUM FLASHING OPEN TO STRUCTURE V.B. VIEW BOX ANOD. ANODIZED F.O. FINISHED OPENING VCT VINYL COMPOSITION TILE PUBLIC ADDRESS VENT. APPROX. APPROXIMATE FACE OF CONCRETE P.A. VENTILATION ARCH. **ARCHITECTURAL** F.O.F. FACE OF FINISH VERT. PI ATF VERTICAL ASPHALT F.O.M. FACE OF MASONRY PLASTIC VESTIBULE F.O.S. V.I.F. AUTOMATIC FACE OF STUD PROPERTY LINE **VERIFY IN FIELD** FOUND. P.LAM. AVE. **AVENUE** FOUNDATION PLASTIC LAMINATE VIN. VINYL FOOT OR FEET PUMB. PLUMBING V.W.C. VINYL WALL COVERING PLYWD. PLYWOOD BRICK LEDGER ANGLE **FOOTING** WATER CLOSET BLDG. BUILDING FURR. **FURRING** BLOCK W.GL. **GAUGE** BLKG. BLOCKING ROOF DRAIN WIRE GLASS BLVD. BOULEVARD GALV. GALVANIZED RDL RAIN DRAIN LEADER W/O WITH OUT G.B. GRAB BAR REFERENCE WATERPROOF B.O.C. BACK OF CURB GALVANIZED IRON WATER RESISTANT RECESSED BOTT. BOTTOM **GRACE STRUCTURAL FIBERS** REFRIG. REFRIGERATOR WFIGHT BUILT-UP REINFORCING WELDED WIRE FABRIC REQUIRED CABINET H.B. HOSE BIBB ROOM R.O. CATCH BASIN **HOLLOW CORE** ROUGH OPENING CEMENT HARDWOOD SAN.SEW SANITARY SEWER CONTROL JOINT HARDWARE CELING HOLLOW METAL SOLID CORE HORIZ. CLEAR HORIZONTAL SCHEDULE HIGH POINT CONCRETE MASONRY UNITS S.D. SOAP DISPENSER SEAL. CLEAN OUT H.R. HOUR SEALANT SECT. COLUMN HEIGHT SECTION CONC. CONCRETE SQUARE FEET CORR. CORRIDOR I.D. INSIDE DIAMTER SAFETY GLASS COUNTERSUNK INSULATION SHEATHING CERAMIC TILE INTERIOR SHOWER **DOUBLE JANITOR** SIMILAR S.M. SHEET METAL DEPT. DEPARTMENT JOINT S.M.S. SHEET METAL SCREWS DRINKING FOUNTAIN KITCHEN SPECS **SPECIFICATIONS** DIAMETER KNOCK OUT STAINLESS STEEL DIM. DIMENSION STRFFT

STD.

STM.SEW.

STRUCT.

SYM.

TEMP.

STANDARD

STORAGE

STORM SEWER

STRUCTURAL

SUSPENDED

TOWEL BAR

TELEPHONE

TEMPORARY

TO BOTTOM OF DECK

TONGUE AND GROOVE

TREAD

SYMMETRICAL

STEEL

LAMINATE

LAVATORY

LOW POINT

MATERIAL

MAXIMUM

MACHINE BOLT

MANUFACTURER

MISCELLANEOUS

MECHANICAL

MANHOLE

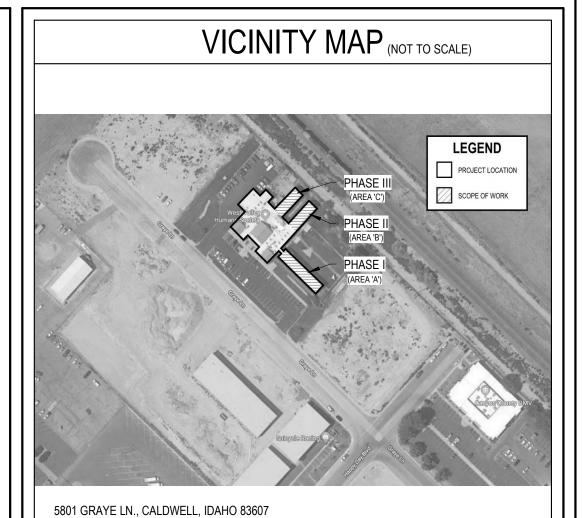
MINIMUM

METAL

M.B.

MISC.

CODE ANALYSIS 2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL EXISTING BUILDING CODE 2015 INTERNATIONAL FIRE CODE 2017 NATIONAL ELECTRICAL CODE 2012 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FUEL GAS CODE 2017 IDAHO STATE PLUMBING CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE ICC/ANSI-A117.1, 2009 EDITION 1. OCCUPANCY CLASSIFICATION: B / S-1 (EXISTING) 2. CONSTRUCTION CLASSIFICATION: TYPE V-B (EXISTING) 3. ALLOWABLE TOTAL BUILDING AREA (EXISTING): SPRINKLERED: 4. TOTAL EXISTING BUILDING AREA: 17,644 SF 5. BUILDING AREA WITHIN SCOPE OF WORK: 6,448 SF 327 OCCUPANTS 6. TOTAL EXISTING OCCUPANT LOAD: 7. OCCUPANT LOAD WITHIN SCOPE OF WORK: 67 OCCUPANTS 8. ALLOWABLE BUILDING HEIGHT 9. ACTUAL BUILDING HEIGHT WITHIN SCOPE: +/- 22'-0" AUTOMATIC PER NFPA (EXISTING) 10. FIRE SUPPRESSION SYSTEM: 11. AREA SEPARATIONS:



SYMBOLS WORK, CONTROL FULL HEIGHT STUD WALL DRAINAGE / SLOPE LINE OR DATUM POINT GLAZING CONCRETE EXPANSION JOINT MASONRY DIMENSIONS WOOD FRAME GRAVEL PLYWOOD HARDWWOD TRIM — – — CENTER LINE GYPSUM BOARD — – CENTER LINE SUSPENDED TILE XX.X NEW GRADE BATT INSULATION RIGID INSULATION → FENCE STEEL PROPERTY LINE $\setminus xx.x$ EARTH CONTINUOUS MEMBER (XXX)DOOR NUMBER BLOCKING WINDOW LETTER

SHEET INDEX

GENERAL

- G2.01 COMCHECK PHASE 1 G2.02 COMCHECK - PHASE 2
- G2.03 COMCHECK PHASE 3 G3.00 ASSEMBLY TYPES & LIFE SAFETY PLAN

ARCHITECTURAL - PHASE

- A0.01 OVERALL SITE PLAN
- A1.00 EXISTING OVERALL FLOOR PLAN PHASING
- A1.10 DEMOLITION PLAN AREA 'A' A2.10 FLOOR PLAN - AREA 'A'
- A3.10 EXTERIOR ELEVATIONS AREA 'A' A4.10 ROOF PLAN - AREA 'A'
- A5.10 REFLECTED CEILING PLAN AREA 'A'
- A6.10 BUILDING SECTIONS AREA 'A'
- A6.15 WALL SECTIONS
- A8.10 FINISH FLOOR PLAN & SCHEDULES A9.10 INTERIOR ELEVATIONS - AREA 'A'
- A10.10 DETAILS

ARCHITECTURAL - PHASE II

- A1.20 DEMOLITION PLAN AREA 'B'
- A2.20 FLOOR PLAN AREA 'B'
- A3.20 EXTERIOR ELEVATIONS AREA 'B' A4.20 ROOF PLAN - AREA 'B'
- A5.20 REFLECTED CEILING PLAN AREA 'B'
- A6.20 BUILDING SECTIONS AREA 'B' A9.20 INTERIOR ELEVATIONS - AREAS 'B' & 'C'

ARCHITECTURAL - PHASE II

- A1.30 DEMOLITION PLAN AREA 'C'
- A2.30 FLOOR PLAN AREA 'C'
- A3.30 EXTERIOR ELEVATIONS AREA 'C'
- A4.30 ROOF PLAN AREA 'C' A5.30 REFLECTED CEILING PLAN - AREA 'C'
- A6.30 BUILDING SECTIONS AREA 'C'

STRUCTURAL

- S0.0 COVERSHEET & STRUCTURAL NOTES
- S1.0 FOUNDATION PLAN PHASE 1
 - FOUNDATION PLAN PHASE 2
- S1.2 FOUNDATION PLAN PHASE 3
- S2.2 MAIN SHEAR WALL PLAN PHASE 3
- S3.0 ROOF FRAMING PLAN PHASE 1
- ROOF FRAMING PLAN PHASE 2
- S3.2 ROOF FRAMING PLAN PHASE 3

MECHANICAL

M1.00 MECHANICAL COVER SHEET

SD1.0 DETAILS

- M1.10 MECHANICAL DETAILS
- M2.00 DEMOLITION PLAN AREA A M2.10 DEMOLITION PLAN - AREAS B & C
- M3.00 HVAC PLAN OVERALL M3.10 HVAC PLAN - AREA A
- M3.20 HVAC PLAN AREAS B & C
- M4.00 PLUMBING PLAN

ELECTRICAL

- E0.0 ELECTRICAL SYMBOLS & SHEET INDEX
- E1.0 OVERALL EXISTING ELECTRICAL PLAN E2.0D ELECTRICAL DEMOLITION PLAN - AREA 'A'
- E2.0L LIGHTING PLAN AREA 'A'
- E2.0MP MECHANICAL POWER PLAN AREA 'A'
- E2.0P POWER PLAN AREA 'A' E2.0S SPECIAL SYSTEMS PLAN - AREA 'A'
- E2.1D ELECTRICAL DEMOLITION PLAN AREA 'B'
- F.2.1L LIGHTING PLAN AREA 'B'
- E2.1MP MECHANICAL POWER PLAN AREA 'B'
- E2.1P POWER PLAN AREA 'B' E2.1S SPECIAL SYSTEMS PLAN - AREA 'B'
- E2.2D ELECTRICAL DEMOLITION PLAN AREA 'C'
- E2.2L LIGHTING PLAN AREA 'C'
- E2.2MP MECHANICAL POWER PLAN AREA 'C'
- E2.2P POWER PLAN AREA 'C' E2.2S SPECIAL SYSTEMS PLAN - AREA 'C'
- E3.0 ONE LINE DIAGRAM AND ELECTRICAL DETAILS

PROJECT DIRECTORY

OWNER

CANYON COUNTY 1115 ALBANY STREET CALDWELL, IDAHO 83605 T: (208) 454-7300

CONTACT: PAUL NAVARRO

1102 N. FRANKLIN BLVD.

NAMPA, ID 83687

T: (208) 475-0022

ARCHITECTURAL

HOUSTON-BUGATSCH ARCHITECTS, CHTD. 1307 N. 39TH ST., SUITE 103

NAMPA, IDAHO 83687 T: (208) 465-3419

CONTACT: RICK BUGATSCH / SKIP YOUNG

STRUCTURAL PERFORMANCE ENGINEERS

CONTACT: SHAWN REEDER / SPENCER BRADSHAW

ELECTRICAL

800 S. INDUSTRY WAY, SUITE 350 MERIDIAN, IDAHO 83642 T: (208) 378-4450 CONTACT: JON VAN STONE

MECHANICAL

9050 W. OVERLAND RD., SUITE 170

CONTACT: BOB TIKKER / IAN SVINTH

TIKKER ENGINEERING, INC.

BOISE, IDAHO 83709

T: (208) 658-0218

DESCRIPTION

SOCIETY

SOLELY FOR THE PURPOSE OF CONSTRUCTING - BUGATSCH ARCHITECTS CHTD AS THE RETAINS OWNERSHIP OF THESE DOCUMENTS

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ssued for OWNER

COVER SHEET

eet number

Project Information

Energy Code: 2015 IECC Project Title: West Valley Humane Society Renovation - Phase 1 Location: Caldwell, Idaho

Climate Zone: Project Type: Addition 4%

Vertical Glazing / Wall Area:

Construction Site: Designer/Contractor: Owner/Agent: Rick Bugatsch 5018 Graye Lane Canyon County 1115 Albany St Caldwell, ID 83605 Houston-Bugetsch Architects, Chtd. 1307 N. 39th Street Caldwell, ID 83607

(208) 454-7300 Suite 103 Nampa, ID 83687 208-465-3419 pnavarro@canyonco.org rbugatsch@hbarchitecture.com

Building Area Floor Area 1-Warehouse : Nonresidential 3050

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget l Factor
Roof 1: Attic Roof with Wood Joists, [Bidg. Use 1 - Warehouse]	3083	30.0	0.0	0.034	0.027
NORTH Exterior Wall 1: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse] Window 1: Other Window:Fixed, Perf. Specs.: Product ID NA, SHGC 0.06, PF 0.02, [Bidg. Use 1 - Warehouse] (c)	1624 116	19.0	0.0	0.067 0.080	0.064 0.380
EAST Exterior Wall 3: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse]	293	19.0	0.0	0.067	0.064
SOUTH Exterior Wall 2: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse]	1126	19.0	0.0	0.067	0.064
<u>NEST</u> Exterior Wall 4: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse]	196	19.0	0.0	0.067	0.064

PDF\19057_West Valley Humane Society Phase 1_1-28-2020.cck

Complies?

∐Complies:

Does Not ■Not Observable □Not Applicable

☐Not Observable □Not Applicable

□Not Applicable

☐Not Observable ☐Not Applicable

☐Not Observable

□Not Applicable

□Complies □

Li Does Not

□Complies □

□Does Not

☐Complies

Project Title: West Valley Humane Society Renovation - Phase 1

Framing / Rough-In Inspection

C303.1.3 Fenestration products are certified as Complies to performance labels or certificates Does Not

[FR16]¹ continuous air barrier that is sealed in ☐Does Not

C402.5.2, Factory-built fenestration and doors Complies
C402.5.4 are labeled as meeting air leakage Does Not

an approved manner and either constructed or tested in an approved

manner. Air barrier penetrations are

C303.1.3 Fenestration products rated in [FR12]² accordance with NFRC.

C402.4.3 Vertical fenestration SHGC value.

C402.4.3, Vertical fenestration U-Factor.

C402.5.1 The building envelope contains a

Additional Comments/Assumptions:

[FR18]³ requirements.

sealed in an approved manner.

(b) 'Other' components require supporting documentation for proposed U-factors. (c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

Report date: 03/09/20 Project Title: West Valley Humane Society Renovation - Phase 1 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 1 PDF\19057_West Valley Humane Society Phase 1_1-28-2020.cck Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 1 Page 1 of 9

invelope PASSES: Design 2% better than code

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been

designed to meet the 2015 IECC requirements in COMcheck Version 4.1.2.0 and to comply with any applicable mandatory

02-14-2020

Report date: 03/09/20

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Report date: 03/09/20

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Envelope Compliance Statement

Name - Title

requirements listed in the Inspection Checklist.

Skip Young - Project Manager

Section # & Req.ID	Mechanical Rough-In Inspection	Complies?	Comments/Assumptions
C403.2.4.	Stair and elevator shaft vents have motorized dampers that automatically close.	□Complies □Does Not □Not Observable □Not Applicable	
	Outdoor air and exhaust systems have motorized dampers that automatically shut when not in use and meet maximum leakage rates. Check gravity dampers where allowed.		

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 1 PDF\19057_West Valley Humane Society Phase 1_1-28-2020.cck

Project Title: West Valley Humane Society Renovation - Phase 1

Insulation Inspection Roof insulation installed per manufacturer's instructions. Blown or poured loose-fill insulation is installed only where the roof slope is <=3 in 12. C303.1 Building envelope insulation is labeled Complies [IN10]² with R-value or insulation certificate with R-value or insulation certificate Does Not providing R-value and other relevant Not Observable Above-grade wall insulation installed Complies C303.2.1 Exterior insulation is protected from damage with a protective material. damage with a protective material. Verification for exposed foundation Verification for exposed foundation insulation may need to occur during Not Observable Not Applicable Foundation Inspection. C402.2.1 Insulation intended to meet the roof [IN17]³ insulation requirements cannot be installed on top of a suspended ceiling. Mark this requirement compliant if insulation is installed

Project Title: West Valley Humane Society Renovation - Phase 1

Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 1 PDF\19057_West Valley Humane Society Phase 1_1-28-2020.cck

caulked, gasketed, weather stripped Not Observable or wrapped with moisture vaporpermeable wrapping material to minimize air leakage.

C402.5.1. All sources of air leakage in the

accordingly.

Installed above-grade wall insulation type and R-value consistent with Does Not

transfer from the panel surfaces to the Not Observable

specifications reported in plans and
COMcheck reports. For some ceiling
systems, verification may need to
Not Applicable

building thermal envelope are sealed, Does Not

insulation specifications reported in

plans and COMcheck reports.

components, designed for heat

occupants or indoor space are insulated with a minimum of R-3.5.

value consistent with insulation specifications reported in plans and

systems, verification may need to occur during Framing Inspection.

Installed roof insulation type and R-

C402.2.6 Radiant panels and associated

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: West Valley Humane Society Renovation - Phase 1 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 1 PDF\19057_West Valley Humane Society Phase 1_1-28-2020.cck Page 7 of 9

Report date: 03/09/20

Comments/Assumptions

See the Envelope Assemblies table for values.

See the Envelope Assemblies table for values.

Page 3 of 9

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: West Valley Humane Society Renovation - Phase 1 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 1 PDF\19057_West Valley Humane Society Phase 1_1-28-2020.cck Page 8 of 9

▲ COMcheck Software Version 4.1.2.0 **Inspection Checklist** Energy Code: 2015 IECC

Requirements: 0.0% were addressed directly in the COMcheck software Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exceptian is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
C103.2 [PR1] ¹	Plans and/or specifications provide all information with which compliance can be determined for the building envelope and document where exceptions to the standard are claimed.	□Complies □Does Not □Not Observable □Not Applicable	
C402.4.1 [PR10] ¹	The vertical fenestration area <= 30 percent of the gross above-grade wall area.	□Complies □Does Not □Not Observable □Not Applicable	
C402.4.1 [PR11] ¹	The skylight area <= 3 percent of the gross roof area.	□Complies □Does Not □Not Observable □Not Applicable	
C402.4.2 [PR14] ¹	In enclosed spaces > 2,500 ft2 directly under a roof with ceiling heights > 15 ft. and used as an office, lobby, atrium, concourse, corridor, storage, gymnasium/exercise center, convention center, automotive service, manufacturing, non-refrigerated warehouse, retail store, distribution/sorting area, transportation, or workshop, the following requirements apply: (a) the daylight zone under skylights is >= half the floor area; (b) the skylight area to daylight zone is >= 3 percent with a skylight VT >= 0.40; or a minimum skylight effective aperture >= 1 percent.	□Complies □Does Not □Not Observable □Not Applicable	
C406 [PR9] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	□Complies □Does Not □Not Observable □Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Complies?

□Not Applicable

□Not Observable

□Not Applicable

□ Complies

∐Does Not

□Does Not

☐Not Observable

☐Not Applicable

☐Not Observable

□Not Applicable

☐Not Applicable

□Not Applicable

☐Complies

□Complies □

Does Not

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Report date: 03/09/20 Project Title: West Valley Humane Society Renovation - Phase 1 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 1 PDF\19057_West Valley Humane Society Phase 1_1-28-2020.cck

Footing / Foundation Inspection | Complies?

□Does Not

☐Not Observable

□Not Applicable

C303.2.1 Exterior insulation protected against

landscaping and equipment

maintenance activities.

Additional Comments/Assumptions:

damage, sunlight, moisture, wind,

Comments/Assumptions

Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C402.5.3 [FI51] ⁹	Where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air opening are located outside the building thermal envelope or enclosed in a room, isolated from inside the thermal envelope. Such rooms are sealed and insulated.	Complies Does Not Not Observable Not Applicable	
C402.5.8 [FI26] ³	Recessed luminaires in thermal envelope to limit infiltration and be IC rated and labeled. Seal between interior finish and luminaire housing.	□Complies □Does Not □Not Observable □Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: West Valley Humane Society Renovation - Phase 1 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 1 Page 5 of 9

Comments/Assumptions

See the Envelope Assemblies table for values.

See the Envelope Assemblies table for values.

Project Title: West Valley Humane Society Renovation - Phase 1 Report date: 03/09/20 Data filename: H:\2019_Projects\\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 1 PDF\19057_West Valley Humane Society Phase 1_1-28-2020.cck

1 COMCHECK PHASE 1

PDF\19057_West Valley Humane Society Phase 1_1-28-2020.cck

Exhibit R

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DESCRIPTION

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hecked RBB 02/14/2020 Irawn ob no. 19057 ssued for OWNER

COMCHECK PHASE 1

Project Information

Energy Code:

West Valley Humane Society Renovation - Phase 2 Project Title: Location: Caldwell, Idaho

Climate Zone: Project Type: Addition 4%

Vertical Glazing / Wall Area:

Construction Site: 5018 Graye Lane Caldwell, ID 83607 Owner/Agent: 1115 Albany St Caldwell, ID 83605 (208) 454-7300 pnavarro@canyonco.org

Designer/Contractor: Rick Bugatsch Houston-Bugatsch Architects, Chtd. 1307 N. 39th Street Suite 103 Nampa, ID 83687 208-465-3419

rbugatsch@hbarchitecture.com

Report date: 03/09/20

Page 1 of 9

Building Area Floor Area 1-Warehouse : Nonresidential

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget Factor
Roof 1: Attic Roof with Wood Joists, [Bidg. Use 1 - Warehouse]	1723	30.0	0.0	0.034	0.027
NORTH Exterior Wall 3: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse] EAST	293	19.0	0.0	0.067	0.064
Exterior Wall 1: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse]	905	19.0	0.0	0.067	0.064
Window 1: Other Window:Fixed, Perf. Specs.: Product ID NA, SHGC 0.06, PF 0.02, [Bidg. Use 1 - Warehouse] (c)	90			0.080	0.380
SOUTH Exterior Wall 2: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse]	41	19.0	0.0	0.067	0.064
<u>NEST</u> Exterior Wall 4: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse]	905	19.0	0.0	0.067	0.064

(b) 'Other' components require supporting documentation for proposed U-factors. (c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 2 PDF\19057_West Valley Humane Society Phase 2_1-28-2020.cck

Project Title: West Valley Humane Society Renovation - Phase 2

Additional Comments/Assumptions:

Envelope PASSES: Design 4% better than code

Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.2.0 and to comply with any applicable mandatory

Skip Young - Project Manager 02-14-2020

COMcheck Software Version 4.1.2.0 Inspection Checklist

Energy Code: 2015 IECC

Requirements: 0.0% were addressed directly in the COMcheck software

Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exceptium is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
[PR1] ¹	Plans and/or specifications provide all information with which compliance can be determined for the building envelope and document where exceptions to the standard are claimed.	□Complies □Does Not □Not Observable □Not Applicable	
C402.4.1 [PR10] ¹	The vertical fenestration area <= 30 percent of the gross above-grade wall area.	□Complies □Does Not □Not Observable □Not Applicable	
C402.4.1 [PR11] ¹	The skylight area <= 3 percent of the gross roof area.	□Complies □Does Not □Not Observable □Not Applicable	
[PR14] ¹	In enclosed spaces > 2,500 ft2 directly under a roof with ceiling heights > 15 ft. and used as an office, lobby, atrium, concourse, corridor, storage, gymnasium/exercise center, convention center, automotive service, manufacturing, non-refrigerated warehouse, retail store, distribution/sorting area, transportation, or workshop, the following requirements apply: (a) the daylight zone under skylights is >= half the floor area; (b) the skylight area to daylight zone is >= 3 percent with a skylight VT >= 0.40; or a minimum skylight effective aperture >= 1 percent.	□Complies □Does Not □Not Observable □Not Applicable	
C406 [PR9] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	□Complies □Does Not □Not Observable □Not Applicable	

Additional Comments/Assumptions:

Report date: 03/09/20

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: West Valley Humane Society Renovation - Phase 2 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 2 PDF\19057_West Valley Humane Society Phase 2_1-28-2020.cck Page 3 of 9

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: West Valley Humane Society Renovation - Phase 2 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 2 PDF\19057_West Valley Humane Society Phase 2_1-28-2020.cck

Footing / Foundation Inspection | Complies?

☐Not Observable

□Not Applicable

C303.2.1 Exterior insulation protected against

Additional Comments/Assumptions:

landscaping and equipment

damage, sunlight, moisture, wind,

& Req.ID

Comments/Assumptions

Framing / Rough-In Inspection Complies? Comments/Assumptions C303.1.3 Fenestration products rated in [FR12]² accordance with NFRC. Does Not ☐Not Observable □Not Applicable C303.1.3 Fenestration products are certified as Complies to performance labels or certificates Does Not ☐Not Observable □Not Applicable C402.4.3 Vertical fenestration SHGC value. ☐Complies Does Not □Not Observable □Not Applicable C402.4.3, Vertical fenestration U-Factor. □Complies □Does Not See the Envelope Assemblies table for values. □Not Observable ☐Not Applicable C402.5.1 The building envelope contains a [FR16]¹ continuous air barrier that is sealed in ☐Does Not an approved manner and either constructed or tested in an approved manner. Air barrier penetrations are sealed in an approved manner. C402.5.2, Factory-built fenestration and doors C402.5.4 are labeled as meeting air leakage □Does Not [FR18]³ requirements. ☐Not Observable □Not Applicable

Mechanical Rough-In Inspection Complies? Comments/Assumptions C402.5.5, Stair and elevator shaft vents have Complies C403.2.4. motorized dampers that automatically ☐Not Observable □Not Applicable C402.5.5, Outdoor air and exhaust systems have Complies C403.2.4. motorized dampers that automatically Does Not shut when not in use and meet ☐Not Observable [ME58]³ maximum leakage rates. Check ☐Not Applicable gravity dampers where allowed.

Additional Comments/Assumptions:

Project Title: West Valley Humane Society Renovation - Phase 2

Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 2 PDF\19057_West Valley Humane Society Phase 2_1-28-2020.cck

Complies? & Req.ID Roof insulation installed per manufacturer's instructions. Blown or Does Not poured loose-fill insulation is installed only where the roof slope is <=3 in Building envelope insulation is labeled Complies with R-value or insulation certificate Does Not providing R-value and other relevant Not Observable ☐Not Applicable Above-grade wall insulation installed Complies per manufacturer's instructions. □Does Not □Not Observable ☐Not Applicable C303.2.1 Exterior insulation is protected from ☐Complies damage with a protective material. Verification for exposed foundation □Not Observable □Not Applicable insulation may need to occur during Foundation Inspection. C402.2.1 Insulation intended to meet the roof insulation requirements cannot be installed on top of a suspended □Does Not ☐Not Observable ceiling. Mark this requirement ☐Not Applicable compliant if insulation is installed accordingly. Installed above-grade wall insulation Complies See the Envelope Assemblies table for values. type and R-value consistent with Does Not insulation specifications reported in ☐Not Observable plans and COMcheck reports. ☐Not Applicable C402.2.6 Radiant panels and associated components, designed for heat □ Complies □Does Not transfer from the panel surfaces to the occupants or indoor space are insulated with a minimum of R-3.5. Installed roof insulation type and R- Complies value consistent with insulation Does Not See the Envelope Assemblies table for values. specifications reported in plans and □Not Observable COMcheck reports. For some ceiling ☐Not Applicable systems, verification may need to occur during Framing Inspection. C402.5.1. All sources of air leakage in the building thermal envelope are sealed, Does Not caulked, gasketed, weather stripped or wrapped with moisture vapor ☐Not Applicable permeable wrapping material to

minimize air leakage. Additional Comments/Assumptions:

# & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C402.5.3 [FI51] ³	Where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air opening are located outside the building thermal envelope or enclosed in a room, isolated from inside the thermal envelope. Such rooms are sealed and insulated.	□Complies □Does Not □Not Observable □Not Applicable	
C402.5.8 [FI26] ³	Recessed luminaires in thermal envelope to limit infiltration and be IC rated and labeled. Seal between interior finish and luminaire housing.	□Complies □Does Not □Not Observable □Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: West Valley Humane Society Renovation - Phase 2 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 2 Page 5 of 9 PDF\19057_West Valley Humane Society Phase 2_1-28-2020.cck

Report date: 03/09/20 Project Title: West Valley Humane Society Renovation - Phase 2 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 2 PDF\19057_West Valley Humane Society Phase 2_1-28-2020.cck Page 9 of 9

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: West Valley Humane Society Renovation - Phase 2

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Report date: 03/09/20 Page 6 of 9 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: West Valley Humane Society Renovation - Phase 2 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 2 Page 7 of 9 PDF\19057_West Valley Humane Society Phase 2_1-28-2020.cck

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: West Valley Humane Society Renovation - Phase 2 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 2 PDF\19057_West Valley Humane Society Phase 2_1-28-2020.cck

COMCHECK - PHASE 2

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NO. DESCRIPTION

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hecked Checker 02/14/2020 Author Irawn ob no. | 19057 ssued for OWNER

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COMCHECK PHASE 2

Project Information

Energy Code:

West Valley Humane Society Renovation - Phase 3 Project Title: Location: Caldwell, Idaho

Climate Zone: Project Type: Addition Vertical Glazing / Wall Area: 4%

Construction Site:

5018 Graye Lane Caldwell, ID 83607

Owner/Agent: Canyon County 1115 Albany St Caldwell, ID 83605 (208) 454-7300 pnavarro@canyonco.org Designer/Contractor: Rick Bugatsch Houston-Bugatsch Architects, Chtd. 1307 N. 39th Street Suite 103 Nampa, ID 83687 208-465-3419 rbugatsch@hbarchitecture.com

Building Area Floor Area 1-Warehouse : Nonresidential 1699

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U Factor
Roof 1: Attic Roof with Wood Joists, [Bidg. Use 1 - Warehouse]	1723	30.0	0.0	0.034	0.027
NORTH Exterior Wall 3: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse]	293	19.0	0.0	0.067	0.064
EAST Exterior Wall 1: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse]	905	19.0	0.0	0.067	0.064
Window 1: Other Window:Fixed, Perf. Specs.: Product ID NA, SHGC 0.06, PF 0.02, [Bidg. Use 1 - Warehouse] (c)	90			0.080	0.380
SOUTH Exterior Wall 2: Wood-Framed, 16" o.c., [Bidg. Use 1 - Warehouse]	41	19.0	0.0	0.067	0.064
WEST. Exterior Wall 4: Wood-Framed, 16° o.c., [Bidg. Use 1 - Warehouse]	905	19.0	0.0	0.067	0.064

Project Title: West Valley Humane Society Renovation - Phase 3 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 3 PDF\19057_West Valley Humane Society Phase 3_1-28-2020.cck Page 1 of 9

(c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

Envelope PASSES: Design 4% better than code Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.2.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist. 02-14-2020 Skip Young - Project Manager

▲ COMcheck Software Version 4.1.2.0 **Inspection Checklist** Energy Code: 2015 IECC

Requirements: 0.0% were addressed directly in the COMcheck software Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exceptian is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
C103.2 [PR1] ²	Plans and/or specifications provide all information with which compliance can be determined for the building envelope and document where exceptions to the standard are claimed.	Complies Does Not Not Observable Not Applicable	
C402.4.1 [PR10] ¹	The vertical fenestration area <= 30 percent of the gross above-grade wall area.	□Complies □Does Not □Not Observable □Not Applicable	
C402.4.1 [PR11] ¹	The skylight area <= 3 percent of the gross roof area.	□Complies □Does Not □Not Observable □Not Applicable	
C402.4.2 [PR14] ¹	In enclosed spaces > 2,500 ft2 directly under a roof with ceiling heights > 15 ft. and used as an office, lobby, atrium, concourse, corridor, storage, gymnasium/exercise center, convention center, automotive service, manufacturing, non-refrigerated warehouse, retail store, distribution/sorting area, transportation, or workshop, the following requirements apply: (a) the daylight zone under skylights is >= half the floor area; (b) the skylight area to daylight zone is >= 3 percent with a skylight VT >= 0.40; or a minimum skylight effective aperture >= 1 percent.	□Complies □Does Not □Not Observable □Not Applicable	
C406 [PR9] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	□Complies □Does Not □Not Observable □Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: West Valley Humane Society Renovation - Phase 3 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 3 PDF\19057_West Valley Humane Society Phase 3_1-28-2020.cck Page 3 of 9

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: West Valley Humane Society Renovation - Phase 3 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 3
PDF\19057_West Valley Humane Society Phase 3_1-28-2020.cck Page 4 of 9

Complies?

□Not Observable

□Not Applicable

□Does Not

Comments/Assumptions

Final Inspection

combustion fuel burning appliances,

the appliances and combustion air opening are located outside the building thermal envelope or enclosed

[FI26]³ envelope to limit infiltration and be IC Does Not

rated and labeled. Seal between interior finish and luminaire housing.

thermal envelope. Such rooms are:

C402.5.3 Where open combustion air ducts provide combustion air to open

sealed and insulated. C402.5.8 Recessed luminaires in thermal

Additional Comments/Assumptions:

Footing / Foundation Inspection Complies?

□Does Not

☐Not Observable

□Not Applicable

C303.2.1 Exterior insulation protected against damage, sunlight, moisture, wind,

maintenance activities.

Additional Comments/Assumptions:

landscaping and equipment

Comments/Assumptions

Section # & Req.ID	Framing / Rough-In Inspection	Complies?	Comments/Assumptions
C303.1.3 [FR12] ²	Fenestration products rated in accordance with NFRC.	□Complies □Does Not □Not Observable □Not Applicable	
C303.1.3 [FR13] ¹	Fenestration products are certified as to performance labels or certificates provided.	□Complies □Does Not □Not Observable □Not Applicable	
C402.4.3 [FR10] ¹	Vertical fenestration SHGC value.	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
C402.4.3, C402.4.3. 4 [FR8] ¹	Vertical fenestration U-Factor.	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
C402.5.1 [FR16] ¹	The building envelope contains a continuous air barrier that is sealed in an approved manner and either constructed or tested in an approved manner. Air barrier penetrations are sealed in an approved manner.	□Complies □Does Not □Not Observable □Not Applicable	
C402.5.2, C402.5.4 [FR18] ³	Factory-built fenestration and doors are labeled as meeting air leakage requirements.	□Complies □Does Not □Not Observable □Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Mechanical Rough-In Inspection	Complies?	Comments/Assumptions
C402.5.5, C403.2.4. 3 [ME3] ³	Stair and elevator shaft vents have motorized dampers that automatically close.	□Complies □Does Not □Not Observable □Not Applicable	
C402.5.5, C403.2.4. 3 [ME58] ³	Outdoor air and exhaust systems have motorized dampers that automatically shut when not in use and meet maximum leakage rates. Check gravity dampers where allowed.		

Additional Comments/Assumptions:

Project Title: West Valley Humane Society Renovation - Phase 3

Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 3 PDF\19057_West Valley Humane Society Phase 3_1-28-2020.cck

Section # & Req.ID	Insulation Inspection	Complies?	Comments/Assumptions
C303.1 [IN3] ¹	Roof insulation installed per manufacturer's instructions. Blown or poured loose-fill insulation is installed only where the roof slope is <=3 in 12.	□Complies □Does Not □Not Observable □Not Applicable	
C303.1 [IN10] ²	Building envelope insulation is labeled with R-value or insulation certificate providing R-value and other relevant data.	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
C303.2 [IN7] ¹	Above-grade wall insulation installed per manufacturer's instructions.	□Complies □Does Not □Not Observable □Not Applicable	
C303.2.1 [IN14] ²	Exterior insulation is protected from damage with a protective material. Verification for exposed foundation insulation may need to occur during Foundation Inspection.	□Complies □Does Not □Not Observable □Not Applicable	
C402.2.1 [IN17] ³	Insulation intended to meet the roof insulation requirements cannot be installed on top of a suspended ceiling. Mark this requirement compliant if insulation is installed accordingly.	□Complies □Does Not □Not Observable □Not Applicable	
C104 [IN6] ¹	Installed above-grade wall insulation type and R-value consistent with insulation specifications reported in plans and COMcheck reports.	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
C402.2.6 [IN18] ³	Radiant panels and associated components, designed for heat transfer from the panel surfaces to the occupants or indoor space are insulated with a minimum of R-3.5.	□Complies □Does Not □Not Observable □Not Applicable	
C104 [IN2] ¹	Installed roof insulation type and R- value consistent with insulation specifications reported in plans and COMcheck reports. For some ceiling systems, verification may need to occur during Framing Inspection.	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
C402.5.1. 1 [IN1] ¹	All sources of air leakage in the building thermal envelope are sealed, caulked, gasketed, weather stripped or wrapped with moisture vaporpermeable wrapping material to minimize air leakage.	□Complies □Does Not □Not Observable □Not Applicable	

Additional Comments/Assumptions:

	data.	□Not Observable □Not Applicable	
C303.2 [IN7] ²	Above-grade wall insulation installed per manufacturer's instructions.	□Complies □Does Not □Not Observable □Not Applicable	
C303.2.1 [IN14] ²	Exterior insulation is protected from damage with a protective material. Verification for exposed foundation insulation may need to occur during Foundation Inspection.	□Complies □Does Not □Not Observable □Not Applicable	
C402.2.1 [IN17] ³	Insulation intended to meet the roof insulation requirements cannot be installed on top of a suspended ceiling. Mark this requirement compliant if insulation is installed accordingly.	□Complies □Does Not □Not Observable □Not Applicable	
C104 [IN6] ¹	Installed above-grade wall insulation type and R-value consistent with insulation specifications reported in plans and COMcheck reports.	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	See the Envelope Assemblies table for values.
C402.2.6 [IN18] ³	Radiant panels and associated components, designed for heat transfer from the panel surfaces to the occupants or indoor space are insulated with a minimum of R-3.5.	□Complies □Does Not □Not Observable □Not Applicable	
C104 [IN2] ¹	Installed roof insulation type and R- value consistent with insulation specifications reported in plans and COMcheck reports. For some ceiling systems, verification may need to occur during Framing Inspection.	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
C402.5.1. 1 [IN1] ¹	All sources of air leakage in the building thermal envelope are sealed, caulked, gasketed, weather stripped or wrapped with moisture vaporpermeable wrapping material to minimize air leakage.	□Complies □Does Not □Not Observable □Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: West Valley Humane Society Renovation - Phase 3 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 3 Page 7 of 9 PDF\19057_West Valley Humane Society Phase 3_1-28-2020.cck

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: West Valley Humane Society Renovation - Phase 3 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 3
PDF\19057_West Valley Humane Society Phase 3_1-28-2020.cck Page 8 of 9

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: West Valley Humane Society Renovation - Phase 3 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 3 Page 5 of 9 PDF\19057_West Valley Humane Society Phase 3_1-28-2020.cck

Project Title: West Valley Humane Society Renovation - Phase 3 Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 3 PDF\19057_West Valley Humane Society Phase 3_1-28-2020.cck Page 9 of 9 PDF\19057_West Valley Humane Society Phase 3_1-28-2020.cck

Project Title: West Valley Humane Society Renovation - Phase 3

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Report date: 03/09/20 Data filename: H:\2019_Projects\19057_Canyon County Animal Shelter Renovation\Comcheck\Phase 3 Page 6 of 9

Report date: 03/09/20

Page 2 of 9

1 COMCHECK - PHASE 3

Exhibit R

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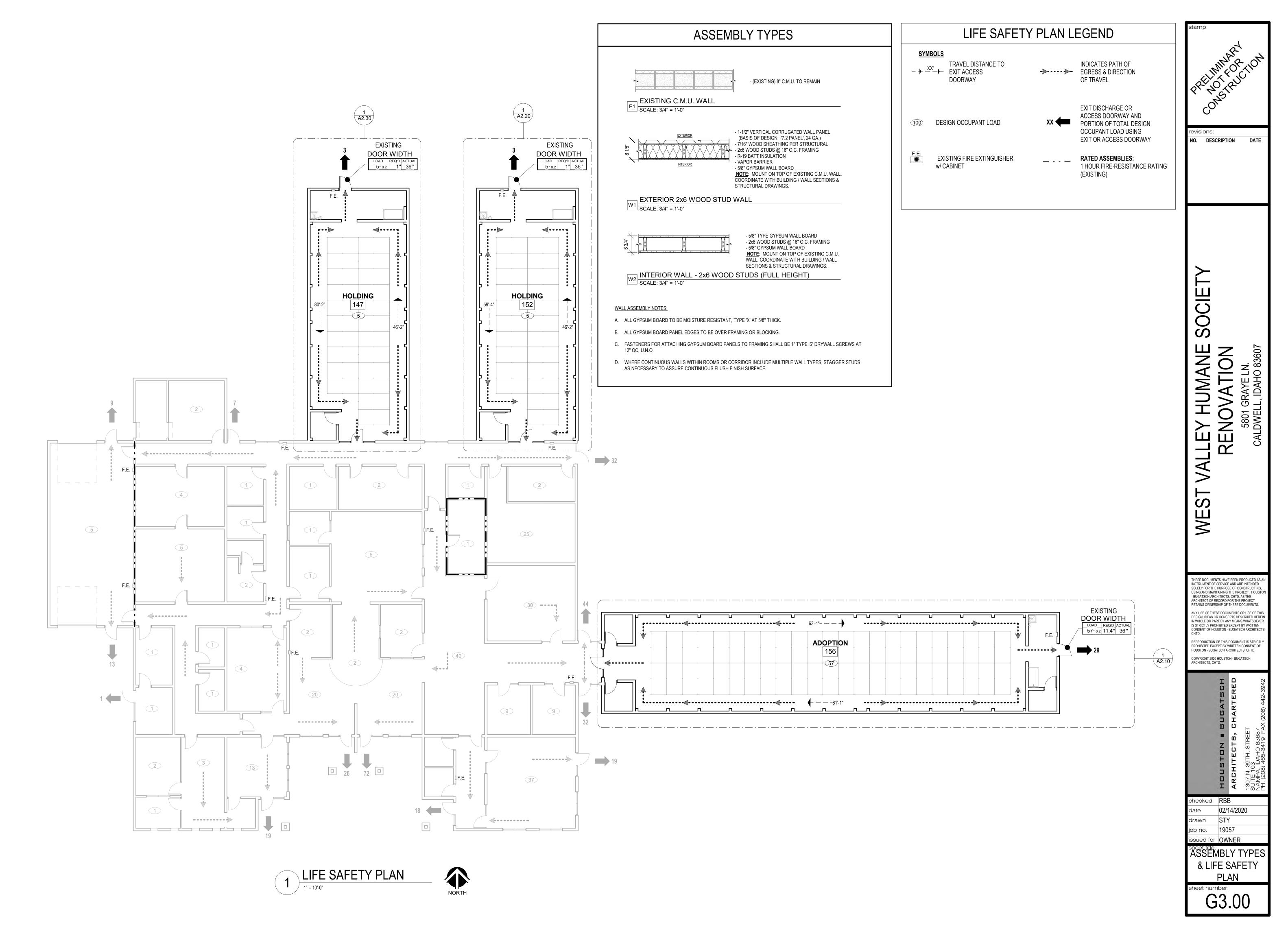
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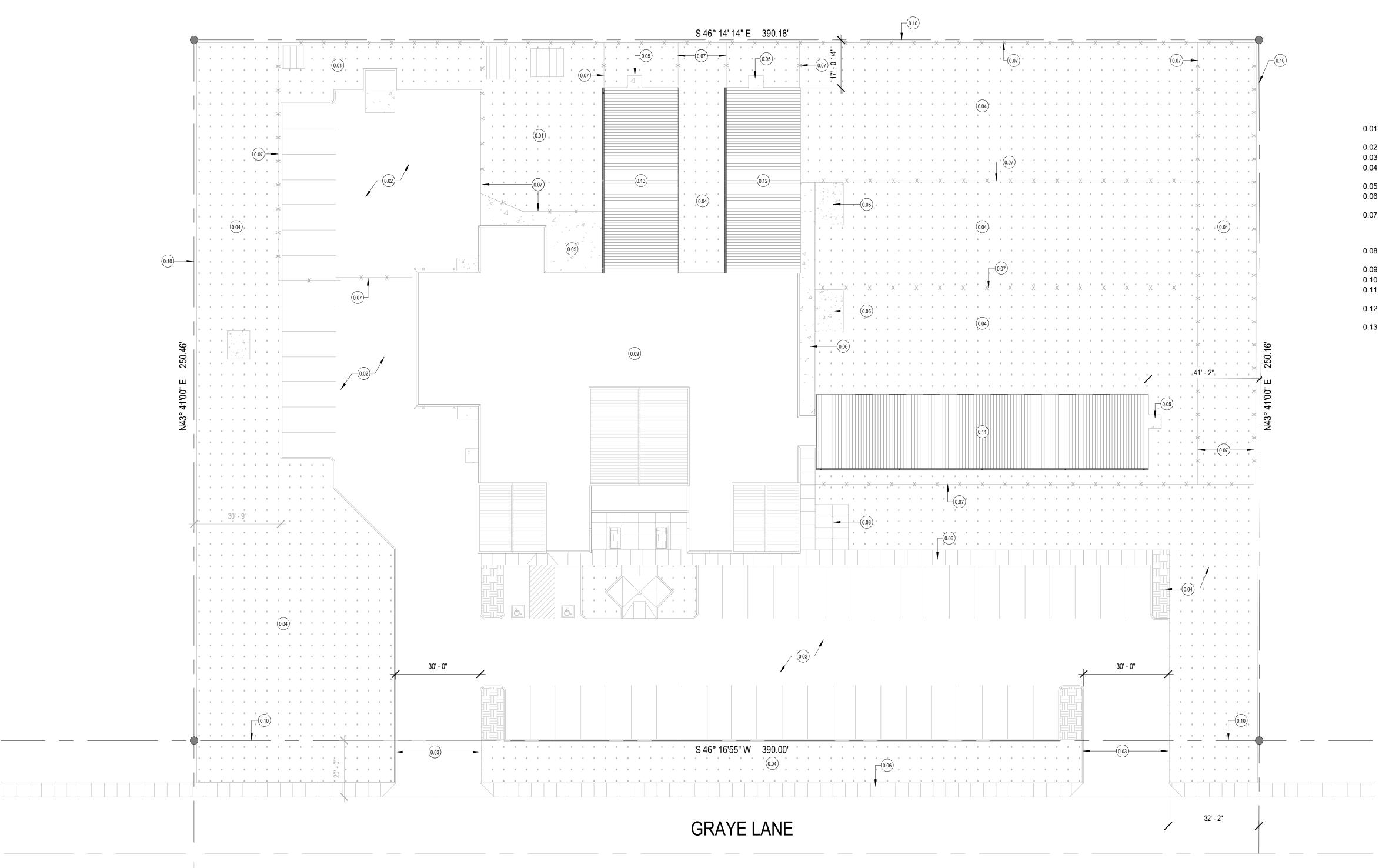
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COMCHECK PHASE 3





1 OVERALL SITE PLAN

1" = 20'-0"

GENERAL NOTES - SITE PLAN

COORDINATE WITH EXISTING CIVIL DRAWINGS TO LOCATE EXISTING SERVICES FOR NEW RENOVATION

BEFORE CONSTRUCTION STARTS.

- COORDINATE WITH ALL OTHER ASSOCIATED TRADES AND NOTIFY OWNER'S REPRESENATIVE FOR ANY CONFLICTS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF FOUNDATION OR EDGE OF WALLS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES AND GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER/ ARCHITECT FOR A DECISION PRIOR TO COMMENCING WITH THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR REPLACING DAMAGED MATERIALS AND SYSTEMS NOT INDICATED TO BE DEMOLISHED. PROTECT MATERIALS AND SYSTEMS ADJACENT TO THE WORK LIMITS AND THE MATERIALS AND SYSTEMS WITHIN THE WORK LIMITS NOT INDICATED FOR DEMOLITION.

PLEASE SEE EXISTING CIVIL DRAWINGS FOR ALL INFORMATION PERTAINING TO CONSTRUCTION OF THE SITE. INFORMATION SHOWN HERE IS FOR REFERENCE ONLY.

KEYNOTES - SITE PLAN

EXISTING AREA TO REMAIN UNDISTURBED AND BE

- PROTECTED. EXISTING PARKING TO REMAIN.
- EXISTING DRIVE TO REMAIN AND BE PROTECTED.
- EXISTING LANDSCAPING (GRASS & TREES) TO REMAIN AND BE PROTECTED.
- EXISTING CONCRETE PADS TO REMAIN AND BE PROTECTED. EXISTING SIDEWALKS / CURBING TO REMAIN AND BE
- PROTECTED. EXISTING CHAIN LINK FENCE / GATES TO REMAIN AND BE
- PROTECTED. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR ACCESS TO WORK LIMIT AREAS FOR ALL THREE PHASES OF PROJECT.
- EXISTING BIKE RACK AND ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED.
- EXISTING MAIN BUILDING.
- EXISTING PROPERTY LINE.
- AREA 'A' (PHASE 1) OF THE PROJECT. COORDINATE WITH ASSOCIATED DESIGN DOCUMENTS.
- AREA 'B' (PHASE 2) OF THE PROJECT. COORDINATE WITH ASSOCIATED DESIGN DOCUMENTS.
- AREA 'C' (PHASE 3) OF THE PROJECT. COORDINATE WITH ASSOCIATED DESÍGN DOCUMENTS.

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> **OVERALL SITE** PLAN

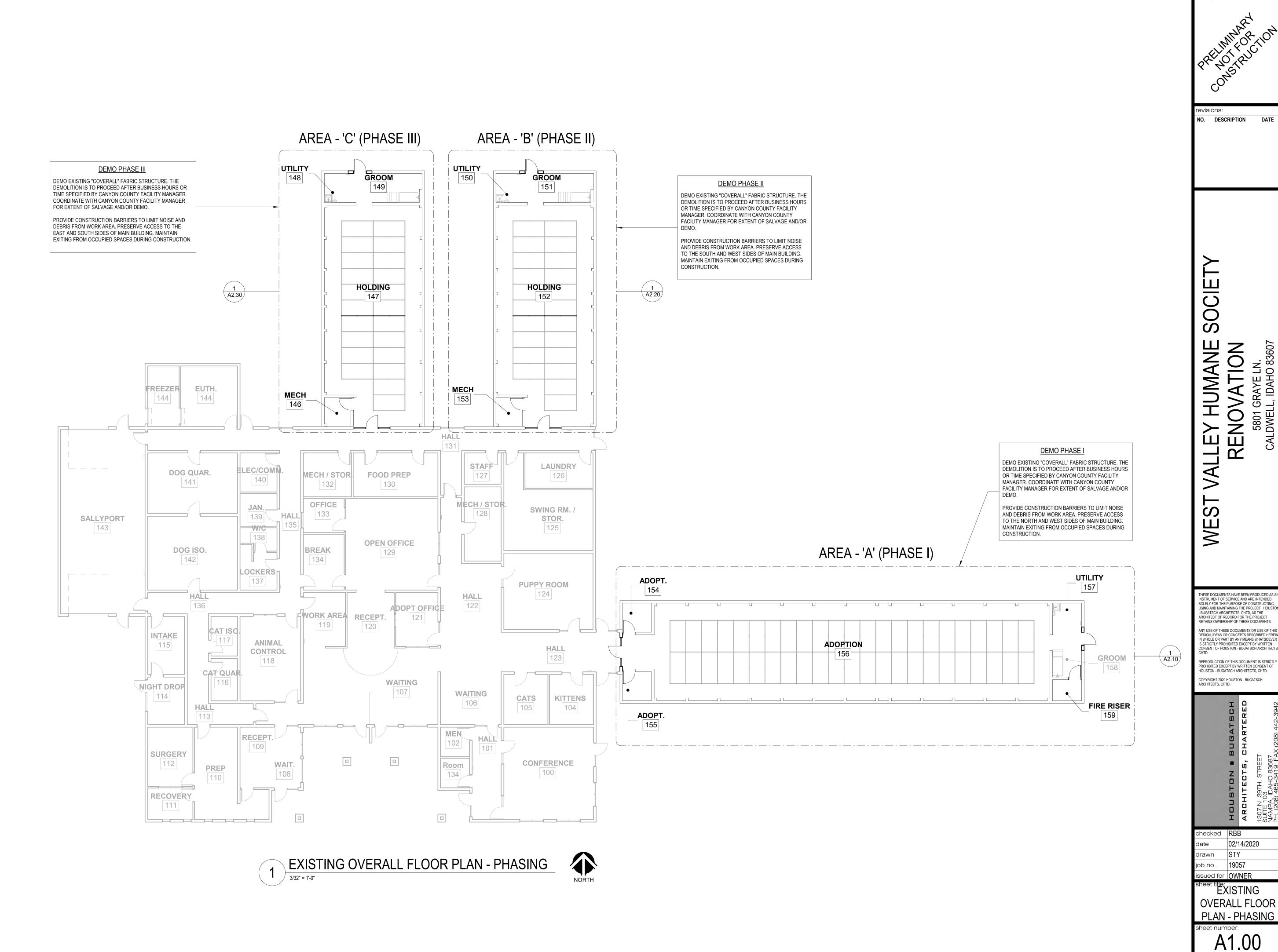
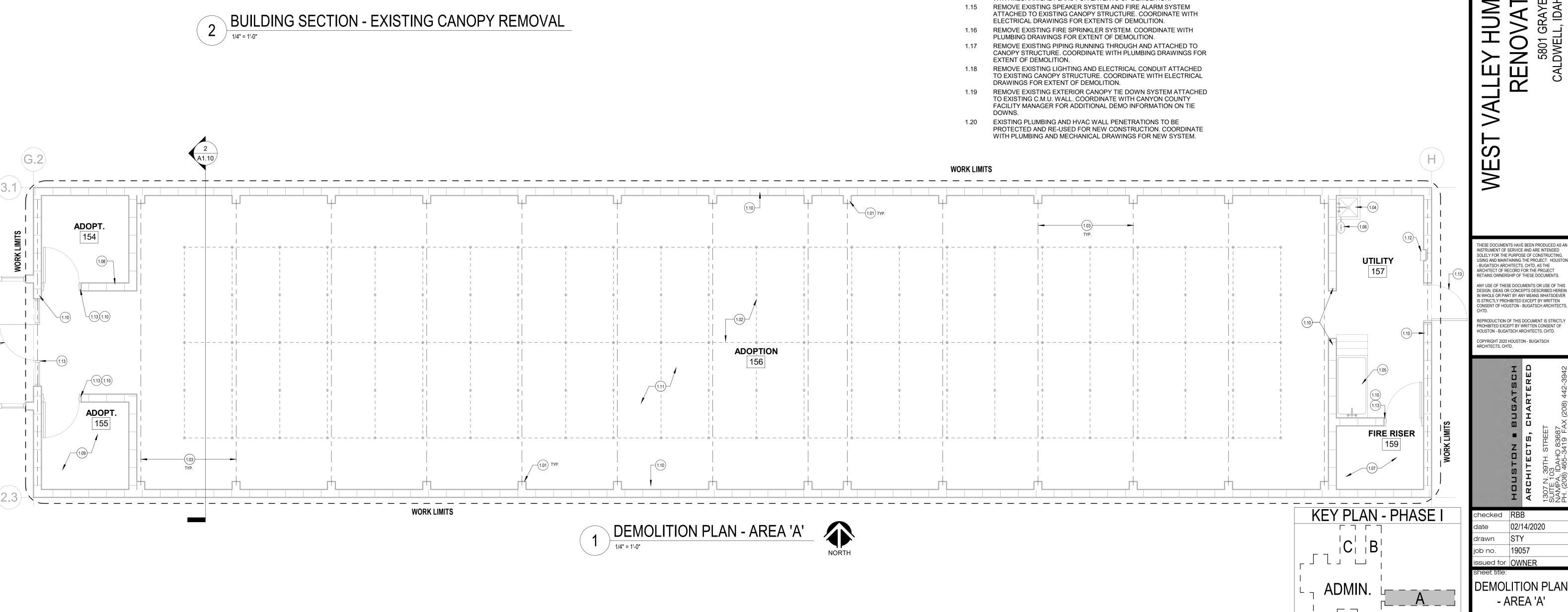


Exhibit R

T.O. EXIST. CMU EXISTING C.M.U. TO REMAIN T.O. EXIST. FINISH FLOOR



KEYNOTES - DEMOLITION

- EXISTING COLUMNS TO REMAIN AND BE PROTECTED. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SCOPE OF DEMOLITION IF DEVICES OR EQUIPMENT IS TO BE REMOVED. EXISTING EMBEDDED BOLTS TO REMAIN IF BEING USED FOR NEW PIPING SUPPORT. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR ADDITIONAL INFORMATION.
- EXISTING KENNELS. DISASSEMBLE KENNELS AND TAG EACH PIECE FOR RE-ASSEMBLY AFTER CONSTRUCTION IS FINAL. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR KENNEL STORAGE
- DASHED LINE INDICATES CANVAS ROOF STRUCTURE TO BE REMOVED AND PREP EXISTING COLUMNS FOR NEW CONSTRUCTION. REMOVE ALL ELECTRICAL. PLUMBING, AND FIRE SPRINKLER SYSTEMS BEFORE ROOF REMOVAL. COORDINATE WITH MECHANICAL AND ELECTRICAL DESIGN DOCUMENTS FOR EXTENT OF DEMOLITION. COORDINATE WITH NEW FLOOR PLANS AND CONSULTANT DRAWINGS FOR NEW AND/OR EXISTING EQUIPMENT TO BE RE-USED AND/OR PARTIALLY DEMO'D. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR DEMOLITION SCHEDULE BEFORE START OF PROJECT.
- EXISTING FLOOR SINK AND ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED. COORDINATE WITH PLUMBING DRAWINGS.
- EXISTING ELEVATED BATHTUB AND ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED. COORDINATE WITH PLUMBING DRAWINGS.
- EXISTING EYE WASH STATION AND ASSOCIATED TO REMAIN AND BE PROTECTED. COORDINATE WITH PLUMBING DRAWINGS.
- FIRE RISER EQUIPMENT AND ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED. COORDINATE WITH PLUMBING AND ELECTRICAL DRAWINGS FOR EXTENTS OF ELECTRICAL AND PIPING FOR SCOPE OF DEMOLITION AND ANY ASSOCIATED ITEMS THAT MAY BE NEED BE RELOCATED AND/OR PARTIALLY DEMO'D. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR SCOPE OF DEMOLITION BEFORE START OF PROJECT.
- EXISTING RADIANT FLOOR SYSTEM TO REMAIN. PROTECT ALL VALVES AND MANIFOLDS DURING DEMOLITION. COORDINATE WITH PLUMBING DRAWINGS FOR SCOPE OF DEMOLITION OF ANY ASSOCIATED PIPING THAT MAY NEED TO BE RELOCATED AND/OR PARTIALLY DEMO'D.
- PLUMBING AND ELECTRICAL ITEMS NEED TO BE PARTIALLY DEMO'D OR RELOCATED. COORDINATE WITH PLUMBING AND ELECTRICAL FOR SCOPE OF DEMO. EXISTING C.M.U. WALLS TO REMAIN AND BE PROTECTED.

EXISTING ITEMS IN THIS SPACE TO REMAIN. FIELD VERIFY IF ANY

COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL FOR SCOPE OF ANY ITEMS INCORPORATED ON EXISTING WALLS TO BE REMOVED, RELOCATED OR PARTICALLY DEMO'D.

EXISTING FLOOR, DRAINS, CLEANOUTS TO REMAIN AND BE

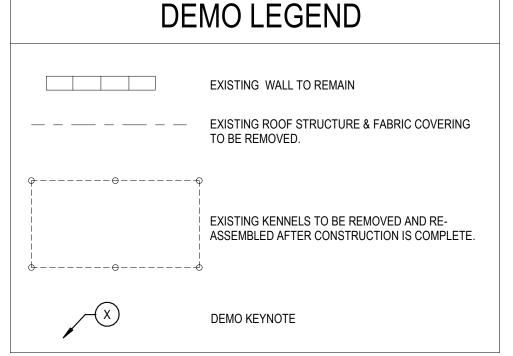
- PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION. EXISTING FIRE EXTINGUISHER CABINET TO REMAIN AND BE
- EXISTING DOOR SYSTEM TO REMAIN AND BE PROTECTED. COORDINATE WITH FLOORPLANS, SECTIONS, AND ELEVATIONS.
- REMOVE EXISTING DUCTING AND ASSOCIATED ITEMS. COORDINATE
- WITH MECHANICAL PLANS FOR EXTENTS OF DEMOLITION.

GENERAL NOTES - DEMOLITION

- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF
- CONSTRUCTION. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO
- CONTRACTOR IS RESPONSIBLE FOR REPLACING DAMAGED MATERIALS AND SYSTEMS NOT INDICATED TO BE DEMOLISHED. PROTECT MATERIALS AND SYSTEMS ADJACENT TO THE WORK LIMITS AND MATERIALS AND SYSTEMS WITHIN THE WORK LIMITS NOT INDICATED FOR DEMOLITION.

THE COMMENCEMENT OF WORK.

REFER TO MECHANICAL AND ELECTRICAL PLANS FOR FURTHER DEMOLITION NOT SHOWN ON THIS SHEET.



ADMIN. - EXISTING MAIN SPACE A - EXISTING ADOPTION KENNEL (PHASE I)

B - EXISTING HOLDING KENNEL (PHASE II) C - EXISTING HOLDING KENNEL (PHASE III)

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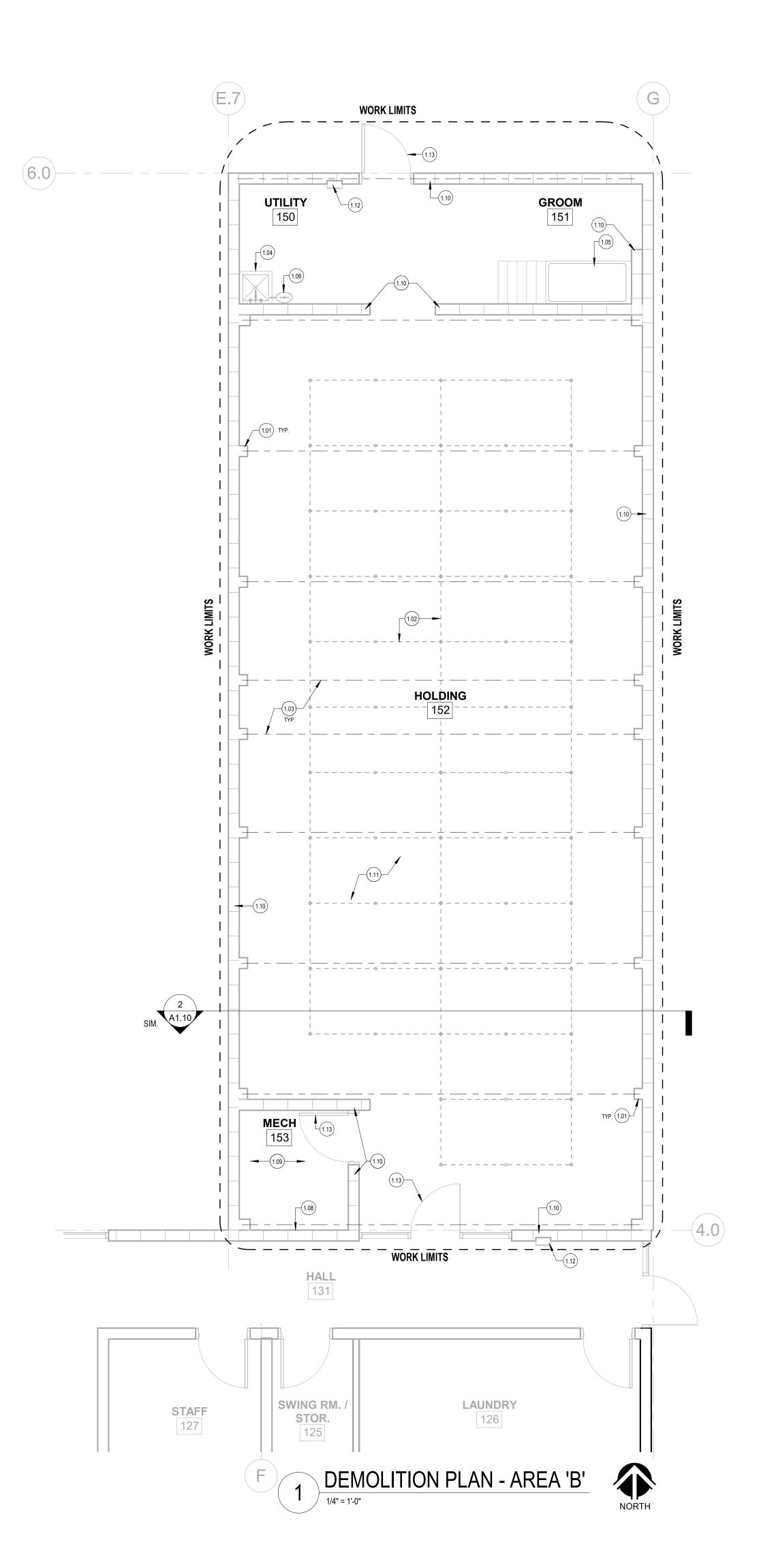
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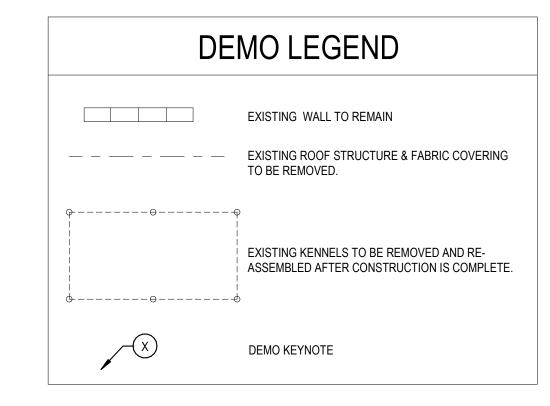
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GENERAL NOTES - DEMOLITION

- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR REPLACING DAMAGED MATERIALS AND SYSTEMS NOT INDICATED TO BE DEMOLISHED. PROTECT MATERIALS AND SYSTEMS ADJACENT TO THE WORK LIMITS AND MATERIALS AND SYSTEMS WITHIN THE WORK LIMITS NOT INDICATED FOR DEMOLITION.
- REFER TO MECHANICAL AND ELECTRICAL PLANS FOR FURTHER DEMOLITION NOT SHOWN ON THIS SHEET.

- MECHANICAL AND ELECTRICAL PLANS FOR SCOPE OF DEMOLITION IF DEVICES OR EQUIPMENT IS TO BE REMOVED. EXISTING EMBEDDED BOLTS TO REMAIN IF BEING USED FOR NEW PIPING SUPPORT. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR ADDITIONAL INFORMATION.
- 1.02 EXISTING KENNELS. DISASSEMBLE KENNELS AND TAG EACH PIECE FOR RE-ASSEMBLY AFTER CONSTRUCTION IS FINAL. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR KENNEL STORAGE
- 1.03 DASHED LINE INDICATES CANVAS ROOF STRUCTURE TO BE REMOVED AND PREP EXISTING COLUMNS FOR NEW CONSTRUCTION. REMOVE ALL ELECTRICAL, PLUMBING, AND FIRE SPRINKLER SYSTEMS BEFORE ROOF REMOVAL. COORDINATE WITH MECHANICAL AND ELECTRICAL DESIGN DOCUMENTS FOR EXTENT OF DEMOLITION. COORDINATE WITH NEW FLOOR PLANS AND CONSULTANT DRAWINGS FOR NEW AND/OR EXISTING EQUIPMENT TO BE RE-USED AND/OR PARTIALLY DEMO'D. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR DEMOLITION SCHEDULE BEFORE START OF PROJECT.
- 1.05 EXISTING ELEVATED BATHTUB AND ASSOCIATED ITEMS TO REMAIN AND
- BE PROTECTED. COORDINATE WITH PLUMBING DRAWINGS. 1.06 EXISTING EYE WASH STATION AND ASSOCIATED TO REMAIN AND BE
- 1.08 EXISTING RADIANT FLOOR SYSTEM TO REMAIN. PROTECT ALL VALVES AND MANIFOLDS DURING DEMOLITION. COORDINATE WITH PLUMBING DRAWINGS FOR SCOPE OF DEMOLITION OF ANY ASSOCIATED PIPING
- 1.09 EXISTING ITEMS IN THIS SPACE TO REMAIN. FIELD VERIFY IF ANY PLUMBING AND ELECTRICAL ITEMS NEED TO BE PARTIALLY DEMO'D OR RELOCATED. COORDINATE WITH PLUMBING AND ELECTRICAL FOR
- 1.10 EXISTING C.M.U. WALLS TO REMAIN AND BE PROTECTED. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL FOR SCOPE OF ANY ITEMS INCORPORATED ON EXISTING WALLS TO BE REMOVED,
- 1.11 EXISTING FLOOR, DRAINS, CLEANOUTS TO REMAIN AND BE PROTECTED
- 1.12 EXISTING FIRE EXTINGUISHER CABINET TO REMAIN AND BE

DESCRIPTION DATE

KEYNOTES - DEMOLITION

- 1.01 EXISTING COLUMNS TO REMAIN AND BE PROTECTED. REFER TO
- 1.04 EXISTING FLOOR SINK AND ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED. COORDINATE WITH PLUMBING DRAWINGS.
- PROTECTED. COORDINATE WITH PLUMBING DRAWINGS.
- THAT MAY NEED TO BE RELOCATED AND/OR PARTIALLY DEMO'D.
- SCOPE OF DEMO.
- RELOCATED OR PARTICALLY DEMO'D. DURING DEMOLITION AND NEW CONSTRUCTION.
- PROTECTED.
- 1.13 EXISTING DOOR SYSTEM TO REMAIN AND BE PROTECTED. COORDINATE WITH FLOORPLANS, SECTIONS, AND ELEVATIONS.

KEY PLAN - PHASE II

ADMIN. - EXISTING MAIN SPACE

A - EXISTING ADOPTION KENNEL (PHASE I) B - EXISTING HOLDING KENNEL (PHASE II)

C - EXISTING HOLDING KENNEL (PHASE III)

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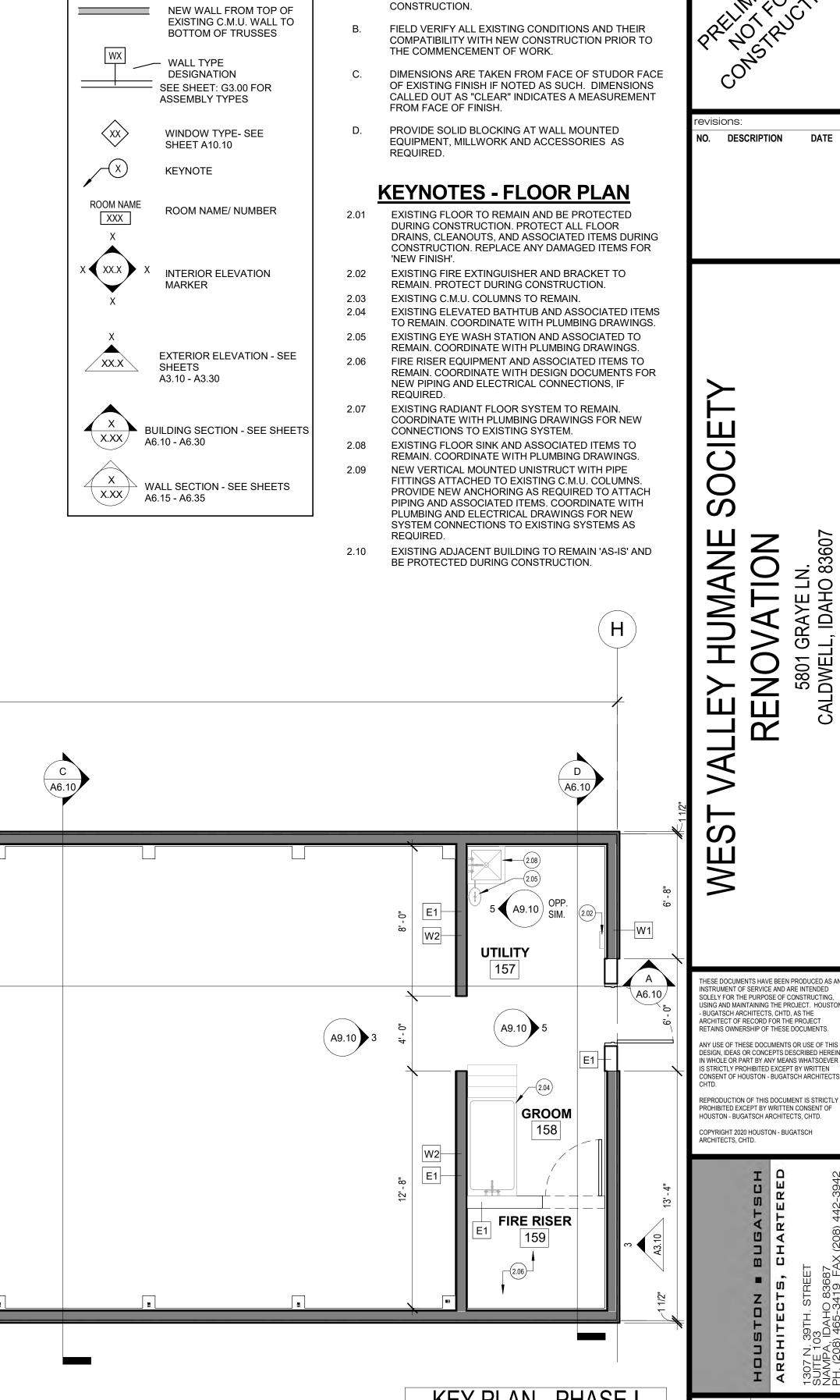
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DEMOLITION PLAN - AREA 'B'

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ADMIN. - EXISTING MAIN SPACE A - EXISTING ADOPTION KENNEL (PHASE I) B - EXISTING HOLDING KENNEL (PHASE II) C - EXISTING HOLDING KENNEL (PHASE III)

GENERAL NOTES - FLOOR PLANS

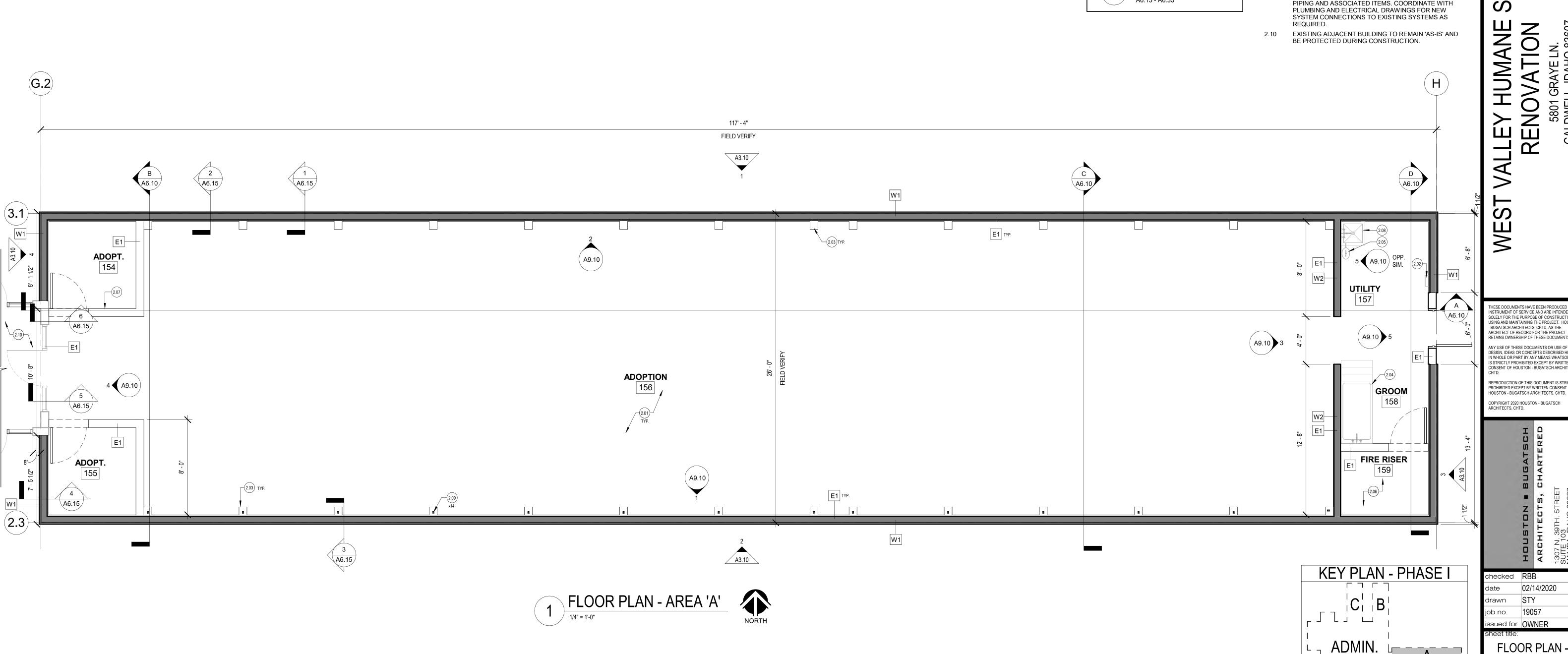
OR OMISSIONS PRIOR TO THE START OF

THE CONTRACTOR IS RESPONSIBLE TO CHECK THE

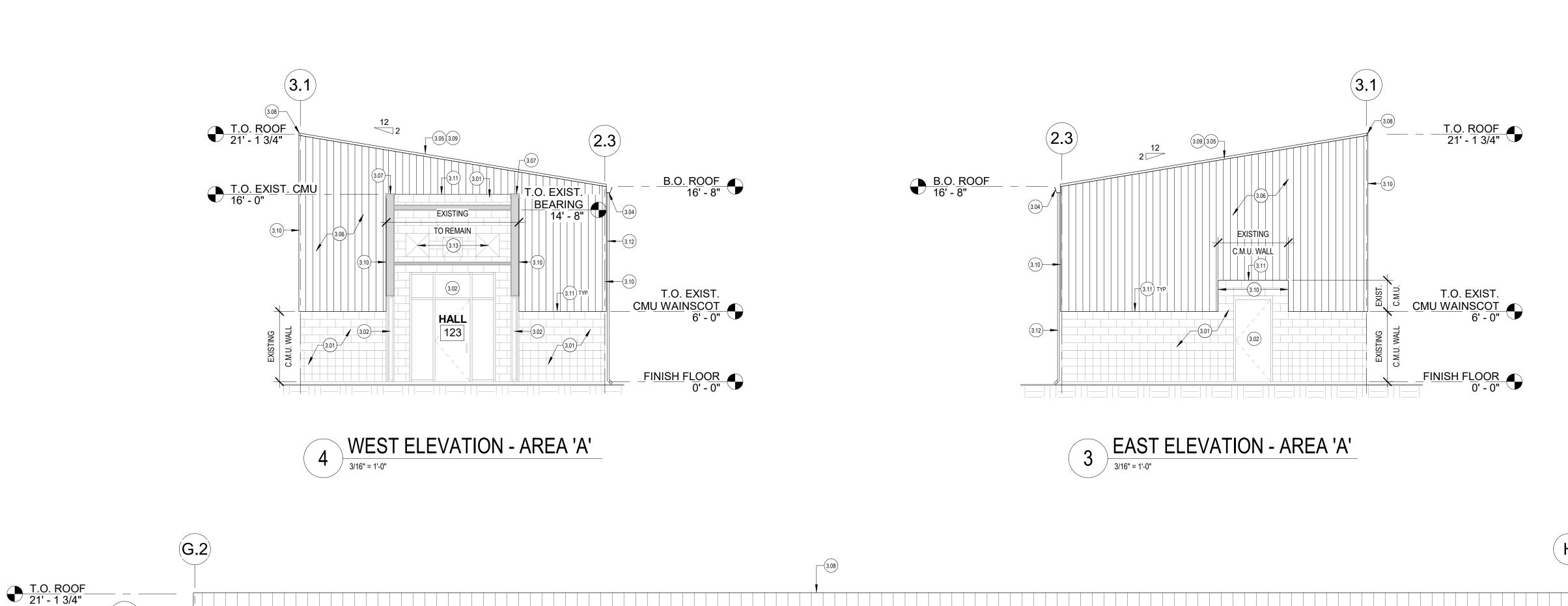
PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS

LEGEND

EXISTING WALL TO REMAIN



AREA 'A'





- A. REFER TO CEILING PLANS FOR WINDOW TYPES.
- B. REFER TO ELECTRICAL DRAWINGS FOR ROUGH-IN BACKBOX LOCATIONS AND HEIGHTS AT EXTERIOR LUMINARE LOCATIONS AND SIGNAGE.
- C. CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN <u>ALL</u> DISSIMILAR MATERIALS, TYP. TO BE FILLED WITH BACKER ROD AND CAULKING, COLOR TO BE
- D. COORDINATE WITH OWNER REPRESENTATIVE FOR STRUCTURAL, MECHANICAL, AND ELECTRICAL PRIOR TO START OF CONSTRUCTION.
- FINISH FLOOR ELEVATION = 0'-0" IS THE REFERENCE DATUM FOR THESE ARCHITECTURAL DRAWINGS. SEE EXISTING CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATIONS. FIELD VERIFY FINISH FLOOR ELEVATION.
- F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW OTHER DRAWINGS FOR PENETRATIONS NOT SHOWN.
- ALL FLASHING, TRIM, AND ASSOCIATED BUILDING CONNECTIONS TO BE SHEET METAL AND PROVIDED BY CONTRACTOR.
- H. CONTRACTOR IS RESPONSIBLE FOR PROTECTING MATERIALS AND SYSTEMS ADJACENT TO THE WORK LIMITS AND MATERIALS AND SYSTEMS LOCATED WITHIN THE WORK LIMITS.
- I. CONTRACTOR TO COORDINATE WITH FIRE MARSHAL FOR LOCATION OF KNOX BOX PREFERENCE ON BUILDING.

KEYNOTES - EXTERIOR ELEVATIONS

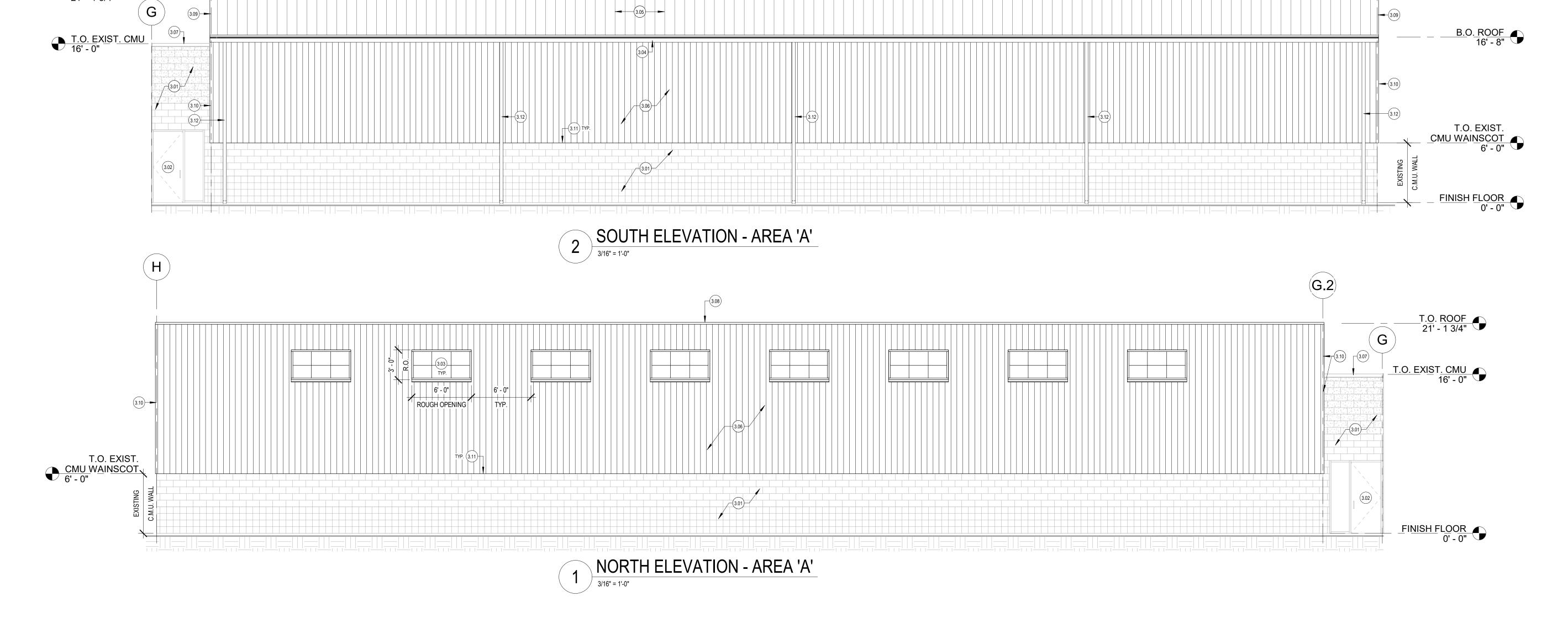
- 21 EXISTING EXTERIOR FINISH TO REMAIN AND BE PROTECTED DURING
- CONSTRUCTION.

 3.02 EXISTING DOOR / WINDOW SYSTEM TO REMAIN AND BE PROTECTED
- DURING CONSTRUCTION.

 3.03 NEW TRANSLUCENT WINDOW PANEL SYSTEM. COORDINATE WITH
- CEILING PLANS, WINDOW TYPES, AND SPECIFICATIONS.
- 3.04 NEW PRE-FINISHED METAL GUTTER PER ROOFING MFR. COORDINATE WITH ROOF PLANS, ROOF DETAILS, AND SPECIFICATIONS.
- WITH ROOF PLANS, ROOF DETAILS, AND SPECIFICATIONS.
- 3.05 24 GA. STEEL STANDING SEAM ROOF OVER ROOFING ASSEMBLY. COORDINATE WITH ROOF PLAN, STRUCTURAL DRAWINGS, AND
- SPECIFICATIONS.
- 3.06 NEW VERTICAL CORRUGATED RIB METAL PANEL SYSTEM. COORDINATE WITH BUILDING / WALL SECTIONS, DETAILS, AND SPECIFICATIONS.
- 3.07 EXISTING COPING CAP TO REMAIN. FIELD VERIFY / LOCATE WHERE NEW WALLS ARE ATTACHED TO EXISTING WALL CONSTRUCTION AND IF EXISTING COPING CAP NEEDS TO BE REMOVED FOR NEW CONSTRUCTION TRANSITION.
- NEW PEAK CAP PER ROOFING MFR. REFER TO ROOF DETAILS.

 NEW EAVE CLOSURE PER BUILDING MANUFACTURER. REFER TO ROOF
- DETAILS.
- 3.10 NEW VERTICAL CORNER TRIM PER WALL PANEL MFR. REFER TO DETAILS.
- 3.11 NEW BASE TRIM PER WALL PANEL MFR. REFER TO DETAILS.
- NEW PRE-FINISHED METAL DOWNSPOUT PER ROOFING MFR..
- COORDINATE WITH ROOF PLANS, ROOF DETAILS, AND SPECIFICATIONS.

 3 EXISTING HVAC WALL PENETRATIONS TO REMAIN. COORDINATE WITH MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.



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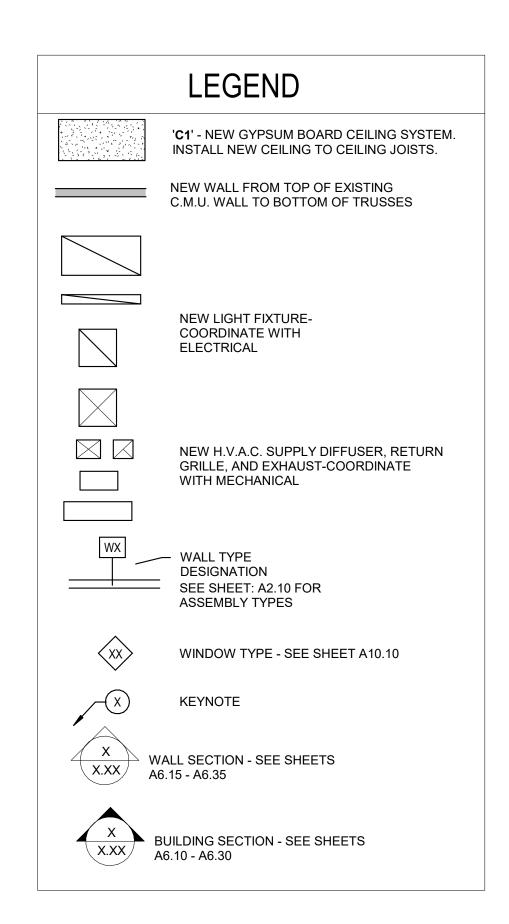
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ELEVATIONS -

AREA 'A'
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GENERAL NOTES - CEILING

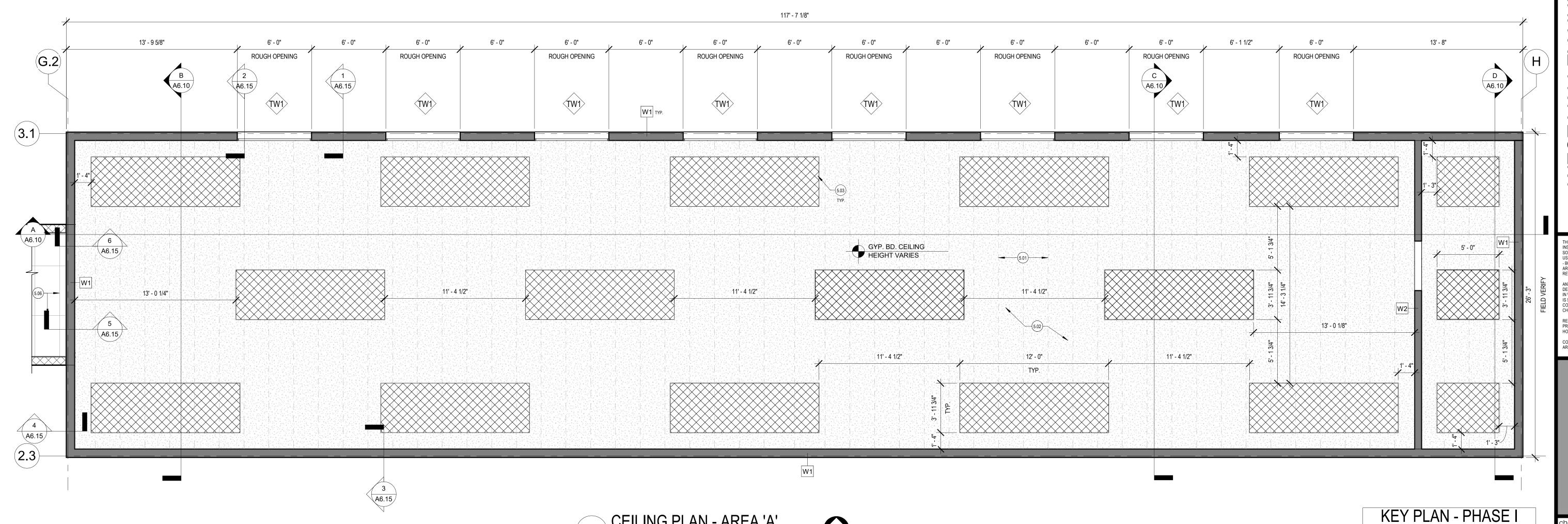
BEFORE PROCEEDING WITH THE WORK.

- A. COORDINATE LIGHT FIXTURES, GRILLES, DIFFUSERS, ETC. WITH MECHANICAL AND ELECTRICAL PLANS.
- B. THE CEILING HEIGHT SHOWN IN THE ROOM TAG INDICATES THE HEIGHT OF THE DOMINANT CEILING FINISH. SEE ADDITIONAL CEILING FINISH CALLOUTS FOR OTHER CEILING HEIGHT OR FEATURES.
- C. THE CONTRACTOR SHALL COORDINATE ALL TRADES TO ENSURE THAT DESIGNATED CEILING HEIGHTS CAN BE ACHEIVED. NOTIFY ARCHITECT OF ANY CONFLICTS OR CONDITIONS THAT PREVENT THIS FROM OCCURRING
- D. ALL EXISTING CEILINGS TO HAVE EXISTING FINISH REMOVED AND NEW 'ORANGE PEEL' FINISH APPLIED.
- E. PATCH AND REPAIR ALL EXISTING CEILINGS TO BE OF 'NEW FINISH'. COORDINATE WITH FLOOR PLAN FOR NEW WALL LOCATIONS.
- F. COORDINATE WITH FINISH PLAN / SCHEDULES FOR COLORS, FINISHES, ETC.

KEYNOTES - REFLECTED CEILING PLAN

- 5.01 DASHED LINES INDICATE TJI ROOF JOISTS FOR REFERENCE ONLY. COORDINATE WITH STRUCTURAL DRAWINGS.
- 5.02 NEW 5/8" THICK MOISTURE RESISTANT GYPSUM BOARD CEILING.
 REFER TO ROOM FINISH SCHEDULE FOR TEXTURE AND PAINT COLOR
 AND COORDINATE WITH SPECIFICATIONS
- 1" THICK TECTUM PANELS MOUNTED TO GYP. BD. CEILING.
 COORDINATE WITH CEILING DETAILS AND WITH STRUCTURAL
 DRAWINGS AND SPECIFICATIONS. SIZES AND SPACING ARE INDICATED
 ON CEILING PLAN. LOCATE CEILING JOIST FOR MOUNTING OF TECTUM
 PANELS. REFER TO TECTUM PANEL MFR. FOR MOUNTING
- REQUIREMENTS.

 5.06 EXISTING ACOUSTICAL SYSTEM TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.



CEILING PLAN - AREA 'A'
1/4" = 1'-0"

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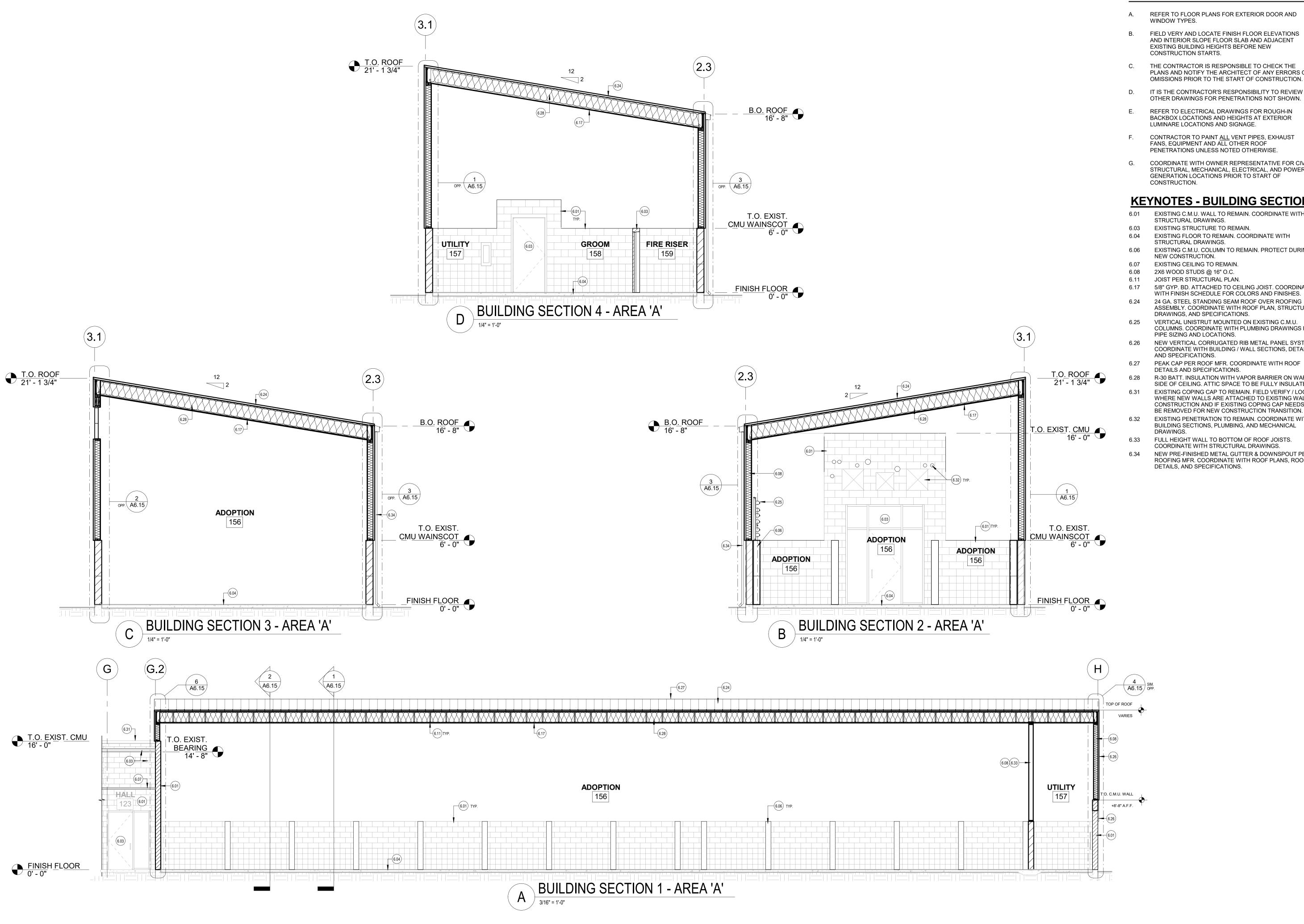
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GENERAL NOTES - BUILDING SECTION

- REFER TO FLOOR PLANS FOR EXTERIOR DOOR AND WINDOW TYPES.
- B. FIELD VERY AND LOCATE FINISH FLOOR ELEVATIONS AND INTERIOR SLOPE FLOOR SLAB AND ADJACENT EXISTING BUILDING HEIGHTS BEFORE NEW CONSTRUCTION STARTS.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- D. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW
- REFER TO ELECTRICAL DRAWINGS FOR ROUGH-IN BACKBOX LOCATIONS AND HEIGHTS AT EXTERIOR LUMINARE LOCATIONS AND SIGNAGE.
- CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS, EQUIPMENT AND ALL OTHER ROOF PENETRATIONS UNLESS NOTED OTHERWISE.
- COORDINATE WITH OWNER REPRESENTATIVE FOR CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND POWER GENERATION LOCATIONS PRIOR TO START OF CONSTRUCTION.

KEYNOTES - BUILDING SECTIONS

- EXISTING C.M.U. WALL TO REMAIN. COORDINATE WITH STRUCTURAL DRAWINGS.
- EXISTING STRUCTURE TO REMAIN.
- EXISTING FLOOR TO REMAIN. COORDINATE WITH
- EXISTING C.M.U. COLUMN TO REMAIN. PROTECT DURING NEW CONSTRUCTION.
- EXISTING CEILING TO REMAIN.
- 2X6 WOOD STUDS @ 16" O.C.
- JOIST PER STRUCTURAL PLAN.
- 5/8" GYP. BD. ATTACHED TO CEILING JOIST. COORDINATE
- WITH FINISH SCHEDULE FOR COLORS AND FINISHES. 24 GA. STEEL STANDING SEAM ROOF OVER ROOFING
- ASSEMBLY. COORDINATE WITH ROOF PLAN, STRUCTURAL DRAWINGS, AND SPECIFICATIONS.
- COLUMNS. COORDINATE WITH PLUMBING DRAWINGS FOR PIPE SIZING AND LOCATIONS.
- NEW VERTICAL CORRUGATED RIB METAL PANEL SYSTEM. COORDINATE WITH BUILDING / WALL SECTIONS, DETAILS,
 - PEAK CAP PER ROOF MFR. COORDINATE WITH ROOF DETAILS AND SPECIFICATIONS.
 - R-30 BATT. INSULATION WITH VAPOR BARRIER ON WARM SIDE OF CEILING. ATTIC SPACE TO BE FULLY INSULATED.
- EXISTING COPING CAP TO REMAIN. FIELD VERIFY / LOCATE WHERE NEW WALLS ARE ATTACHED TO EXISTING WALL CONSTRUCTION AND IF EXISTING COPING CAP NEEDS TO
- EXISTING PENETRATION TO REMAIN. COORDINATE WITH BUILDING SECTIONS, PLUMBING, AND MECHANICAL
- FULL HEIGHT WALL TO BOTTOM OF ROOF JOISTS. COORDINATE WITH STRUCTURAL DRAWINGS.
- NEW PRE-FINISHED METAL GUTTER & DOWNSPOUT PER ROOFING MFR. COORDINATE WITH ROOF PLANS, ROOF DETAILS, AND SPECIFICATIONS.

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ssued for OWNER SECTIONS - AREA

heet number A6.10

KEYNOTES - WALL SECTIONS

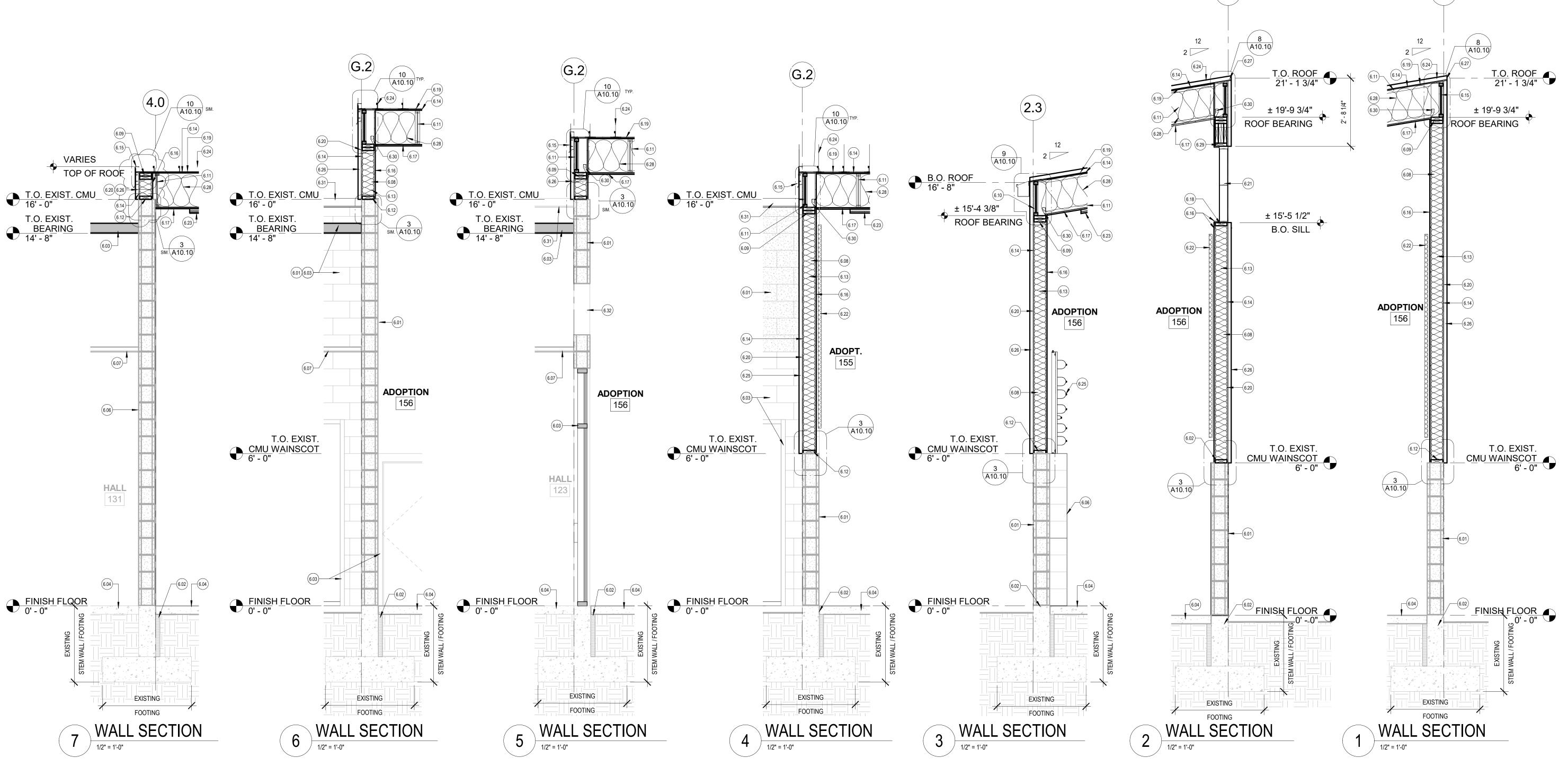
- EXISTING C.M.U. WALL TO REMAIN. COORDINATE WITH STRUCTURAL DRAWINGS.
- EXISTING FOOTING AND STEM WALL WITH EXISTING RIGID INSULATION TO REMAIN. COORDINATE WITH STRUCTURAL
- EXISTING STRUCTURE TO REMAIN.
- EXISTING FLOOR TO REMAIN. COORDINATE WITH STRUCTURAL DRAWINGS.
- EXISTING C.M.U. COLUMN TO REMAIN. PROTECT DURING NEW CONSTRUCTION.
- EXISTING CEILING TO REMAIN.
- 2X6 WOOD STUDS @ 16" O.C.
- DOUBLE 2X6 TOP PLATE. COORDINATE WITH STRUCTURAL.
- JOIST BLOCKING. COORDINATE WITH STRUCTURAL. JOIST PER STRUCTURAL PLAN.
- 2X6 BOTTOM PLATE W/ SILL GASKET WITH BOLT PER
- STRUCTURAL PLANS AND DETAILS. R-19 BATT INSULATION WITH FOIL FACING VAPOR BARRIER
- ON WARM SIDE OF WALL. USE BATT. INSULATION T RIM JOIST, PARTY WALLS AND VOIDS AT HEADERS, ETC.
- 7/16" APA RATED EXTERIOR SHEATHING. COORDINATE WITH STRUCTURAL PLANS.
- NEW EAVE CLOSURE PER BUILDING MANUFACTURER. REFER TO ROOF DETAILS.
- 5/8" GYP. BD. ATTACHED TO NEW WALL. COORDINATE WITH FINISH SCHEDULE FOR COLORS AND FINISHES.
- 5/8" GYP. BD. ATTACHED TO CEILING JOIST. COORDINATE WITH FINISH SCHEDULE FOR COLORS AND FINISHES.
- 2X6 SILL PLATE. COORDINATE WITH STRUCTURAL DETAILS. MOISTURE BARRIER PER ROOF MFR. RECOMMENDATIONS.
- 6 MIL. VAPOR BARRIER.

KEYNOTES - WALL SECTIONS

- TRANSLUCENT WALL PANEL WINDOW SYSTEM. BASIS OF DESIGN: 'GUARDIAN 275' BY MAJOR INDUSTRIES. SEE DETAILS ON SHEET A10.10 & COORDINATE WITH STRUCTURAL DRAWINGS. COORDINATE WITH
 - SPECIFICATIONS FOR ADDITIONAL INFORMATION. 1" THICK TECTUM SOUND WALL PANEL DIRECTLY MOUNTED TO WALL. COORDINATE WITH INTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 1" THICK TECTUM SOUND WALL PANEL DIRECTLY MOUNTED TO CEILING. COORDINATE WITH CEILING PLANS AND FINISH SCHEDULE.
 - 24 GA, STEEL STANDING SEAM ROOF OVER ROOFING ASSEMBLY. COORDINATE WITH ROOF PLAN, STRUCTURAL DRAWINGS, AND SPECIFICATIONS.
- VERTICAL UNISTRUT MOUNTED ON EXISTING C.M.U. COLUMNS. COORDINATE WITH PLUMBING DRAWINGS FOR PIPE SIZING AND LOCATIONS.
- NEW VERTICAL CORRUGATED RIB METAL PANEL SYSTEM. COORDINATE WITH BUILDING / WALL SECTIONS, DETAILS, AND SPECIFICATIONS.
- PEAK CAP PER ROOF MFR. COORDINATE WITH ROOF DETAILS AND SPECIFICATIONS.
- R-30 BATT. INSULATION WITH VAPOR BARRIER ON WARM SIDE OF CEILING. ATTIC SPACE TO BE FULLY INSULATED.
- WINDOW HEADER. COORDINATE WITH STRUCTURAL STRUCTURAL TIE AND ASSOCIATED ITEMS. COORDINATE
- WITH STRUCTURAL DRAWINGS AND DETAILS. EXISTING COPING CAP TO REMAIN. FIELD VERIFY / LOCATE
- WHERE NEW WALLS ARE ATTACHED TO EXISTING WALL CONSTRUCTION AND IF EXISTING COPING CAP NEEDS TO BE REMOVED FOR NEW CONSTRUCTION TRANSITION.
- EXISTING PENETRATION TO REMAIN. COORDINATE WITH BUILDING SECTIONS, PLUMBING, AND MECHANICAL DRAWINGS.

GENERAL NOTES - WALL SECTIONS

- REFER TO FLOOR PLANS FOR EXTERIOR DOOR AND WINDOW TYPES.
- FIELD VERY AND LOCATE FINISH FLOOR ELEVATIONS, INTERIOR SLOPE FLOOR SLAB AND ADJACENT EXISTING BUILDING HEIGHTS BEFORE NEW CONSTRUCTION
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW OTHER DRAWINGS FOR PENETRATIONS SHOWN.
- REFER TO ELECTRICAL DRAWINGS FOR ROUGH-IN BACKBOX LOCATIONS AND HEIGHTS AT EXTERIOR LUMINARE LOCATIONS AND SIGNAGE.
- CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS, EQUIPMENT AND ALL OTHER ROOF PENETRATIONS UNLESS NOTED OTHERWISE.
- COORDINATE WITH OWNER FOR EXISTING CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL LOCATIONS PRIOR TO START OF CONSTRUCTION.
- COORDINATE WITH STRUCTURAL DRAWINGS FOR NEW WALLS, FOOTINGS, AND ASSOCIATED ITEMS.





evisions:

DESCRIPTION

Revision 1

DATE

A6.15

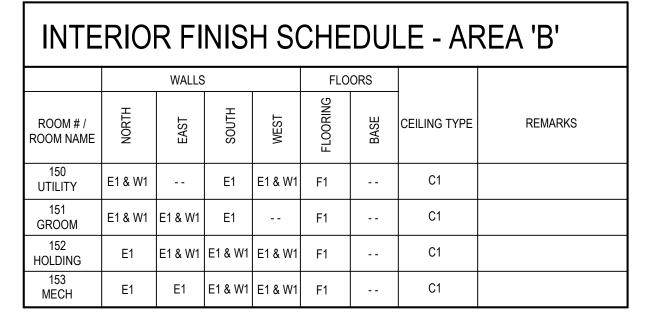
INTERIOR FINISH SCHEDULE - AREA 'A' ROOM#/ CEILING TYPE REMARKS ROOM NAME 154 ADOPT. E1 & W1 | E1 | E1 & W1 | F1 C1 155 ADOPT. E1 | E1 & W1 | E1 & W1 | F1 E1 & W1 | E1 & W2 | E1 & W1 | E1 & W1 | F1 SEE WALL TYPES FOR 'W2' 157 UTILITY E1 & W2 F1 SEE WALL TYPES FOR 'W2'. E1 & W1 | E1 & W1 | 158 GROOM SEE WALL TYPES FOR 'W2'. E1 & W2 | E1 | E1 & W2 | F1 159 FIRE RISER E1 | E1 & W1 | E1 & W1 | E1 & W2 | F1 SEE WALL TYPES FOR 'W2'.

GENERAL NOTES - FINISHES

- A. SEE FLOOR PLAN FOR WALL TYPE ASSEMBLIES.
- B. COORDINATE FINAL FINISH / COLOR SELECTIONS WITH CANYON COUNTY FACILITY MANAGER AND ARCHITECT.
- C. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR SCOPE OF WORK FOR EXISTING C.MU. WALLS AND CONCRETE FLOOR.
- D. PROVIDE GYP. BD. MFR. RECOMMENDED SEALANT WHERE GYPSUM BOARD MEETS EXISTING C.M.U. WALLS. VERIFY SELECTION WITH ARCHITECT.
- E. SEE WALL TYPE ASSEMBLIES ON SHEET G3.00 FOR WALL ASSEMBLY MATERIALS.

KEYNOTES -FINISH PLANS

- 8.01 EXISTING FLOOR TO REMAIN AND BE PROTECTED, TYPICAL. PROTECT ALL FLOOR DRAINS, CLEANOUTS, AND ASSOCIATED ITEMS DURING CONSTRUCTION. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR SCOPE OF FLOOR WORK.
- 8.02 EXISTING KENNELS SHOWN FOR REFERENCE. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR ADDITIONAL INFORMATION.



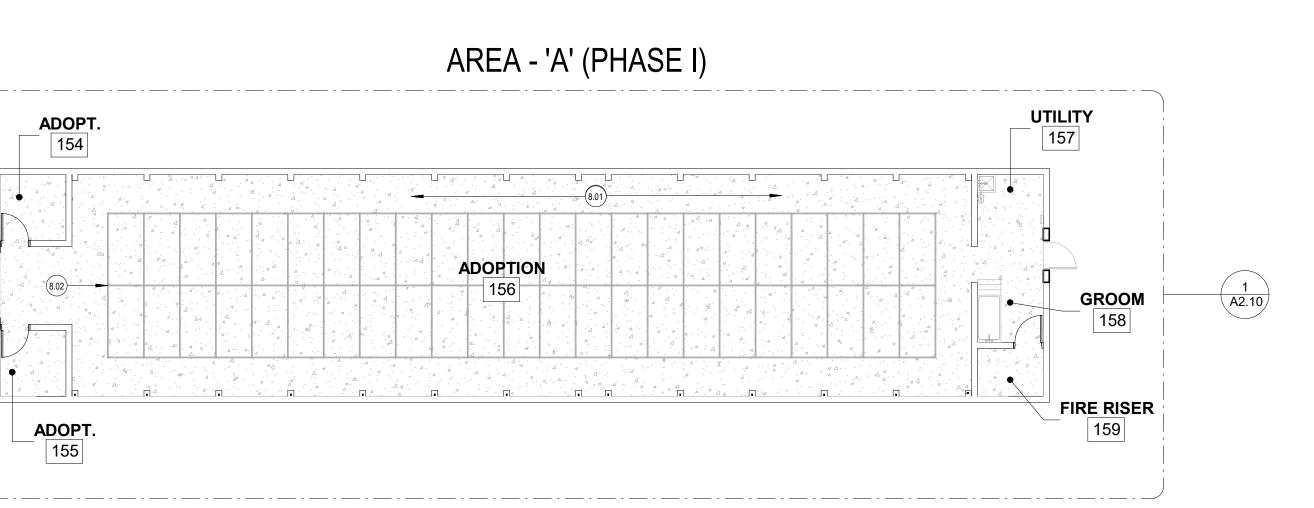
INTE	INTERIOR FINISH SCHEDULE - AREA 'C'							
	WALLS				FLOORS			
ROOM # / ROOM NAME	NORTH	EAST	SOUTH	WEST	FLOORING	BASE	CEILING TYPE	REMARKS
146 MECH	E1	E1	E1 & W1	E1 & W1	F1		C1	
147 HOLDING	E1	E1 & W1	E1 & W1	E1 & W1	F1		C1	
148 UTILITY	E1 & W1	1	E1	E1 & W1	F1	1	C1	
149 GROOM	E1 & W1	E1 & W1	E1		F1		C1	

	LOCATION	REMARKS / COLOR				
WALLS	}					
E1	EXISTING C.M.U. WALLS	COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR INFORMATION ON SCOPE OF WORK				
W1	EXTERIOR WALLS	EXTERIOR: VERICAL SIDING, COLOR - T.B.D. TRIM COLOR - T.B.D. OWNER REPRESENTATIVE & ARCHITECT TO VERIFY SELECTION. INTERIOR: 5/8" GYP. MOISTURE RESISTANT BD. EPOXY PAINT, COLOR - WHITE PER OWNER'S SELECTION, ORANGE PEEL FINISH. TECTUM PANEL ATTACHED TO INTERIOR SIDE OF WALLS, REFER T				
		INTERIOR ELEVATIONS & COORD. w/ OWNER'S REPRESENTATIVE.				
W2	INTERIOR WALL FULL HEIGHT w/ 5/8" GYP. MOISTURE RESISTANT BD., EA. SIDE	EPOXY PAINT, COLOR - WHITE PER OWNER'S SELECTION, ORANGE PEEL FINISH. TECTUM PANEL ATTACHED TO INTERIOR SIDE OF WALLS. REFER T INTERIOR ELEVATIONS & COORD. w/ OWNER'S REPRESENTATIVE.				
FLOOR	S					
F1	EXISTING CONCRETE FLOOR / SLAB	COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR INFORMATION ON SCOPE OF WORLD				
CEILIN	G					
C1	5/8" TYPE 'X' GYP. BD.	EPOXY PAINT, COLOR - FINISH AND PAINT WHITE PER OWNER'S SELECTION. TECTUM PANELS ATTACHED TO INTERIOR SIDE OF CEILING. REFER TO CEILING PLANS & COORD. w/ OWNER'S REPRESENTATIVE.				



FLOOR FINISH TYPES:

EXISTING CONCRETE FLOOR TO REMAIN AND BE PROTECTED. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR ADDITIONAL INFORMATION.



OVERALL FINISH FLOOR PLAN
3/32" = 1'-0"

AREA - 'B' (PHASE II)

GROOM

HOLDING

LAUNDRY

126

SWING RM. /

STOR.

125

PUPPY ROOM

124

CATS

105

123

CONFERENCE

100

KITTENS

104

(1) (A2.20)

UTILITY

150

MECH

153

STAFF

MECH / STOR

HALL 122

WAITING

106

HALL

101

MEN

102

Room

AREA - 'C' (PHASE III)

1 A2.30

146

MECH / STOR

OFFICE

BREAK

134

WORK AREA RECEPT.

119

LEC/COMM

140

JAN._

139

138

LOCKERS

137

ANIMAL

CONTROL

118

RECEPT.

109

WAIT.

108

FREEZER

SALLYPORT

143

EUTH.

DOG QUAR.

141

DOG ISO.

142

INTAKE

115

NIGHT DROP

114

SURGERY

RECOVERY

111

136

CAT QUAR

PREP

110

144

GROOM

HOLDING

FOOD PREP

130

OPEN OFFICE

129

ADOPT OFFICE

121

WAITING

107



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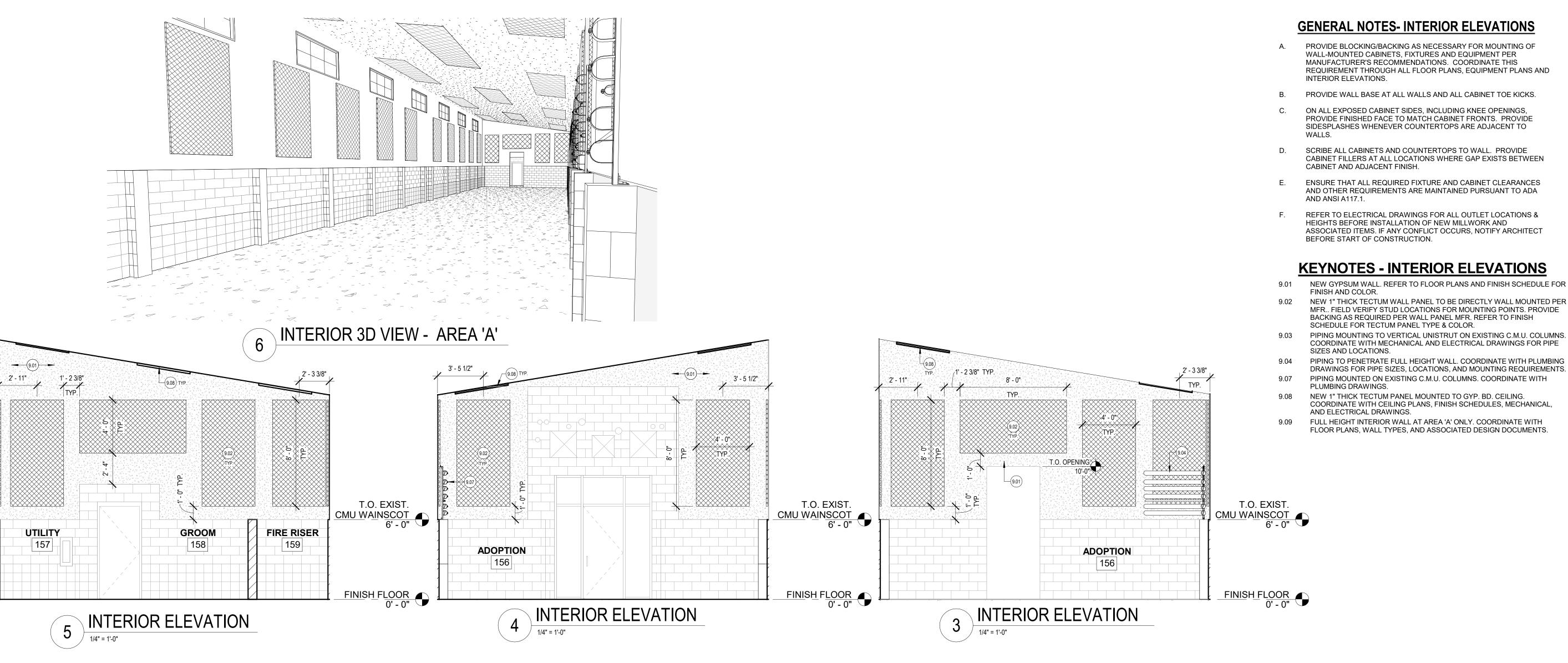
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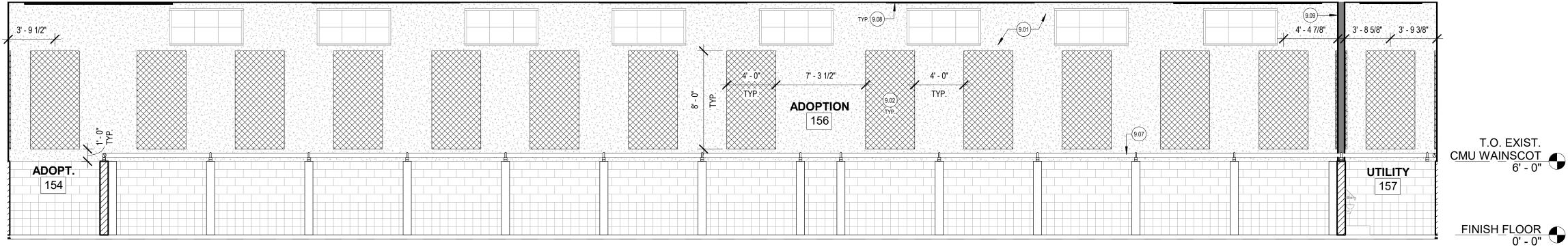
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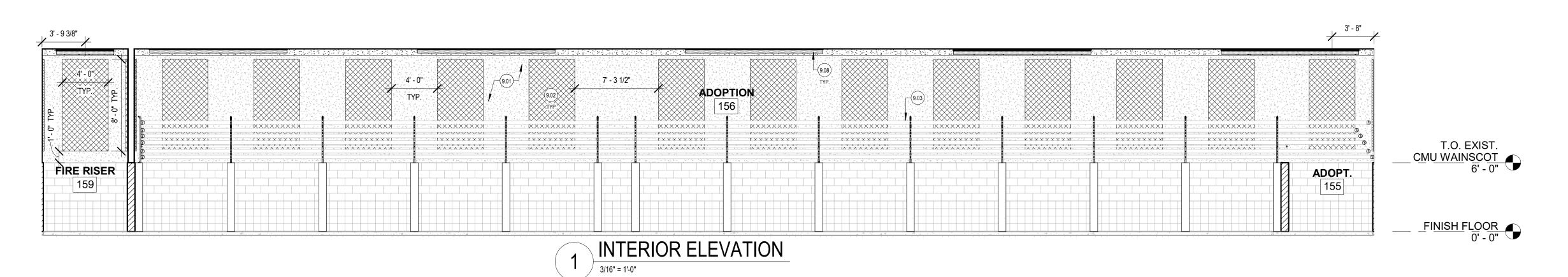
Exhibit R

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- NEW GYPSUM WALL. REFER TO FLOOR PLANS AND FINISH SCHEDULE FOR
- NEW 1" THICK TECTUM WALL PANEL TO BE DIRECTLY WALL MOUNTED PER MFR.. FIELD VERIFY STUD LOCATIONS FOR MOUNTING POINTS. PROVIDE BACKING AS REQUIRED PER WALL PANEL MFR. REFER TO FINISH
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR PIPE
- PIPING TO PENETRATE FULL HEIGHT WALL. COORDINATE WITH PLUMBING
- PIPING MOUNTED ON EXISTING C.M.U. COLUMNS. COORDINATE WITH
- COORDINATE WITH CEILING PLANS, FINISH SCHEDULES, MECHANICAL,
- FULL HEIGHT INTERIOR WALL AT AREA 'A' ONLY. COORDINATE WITH

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"INTERIOR **ELEVATIONS -**AREA 'A'

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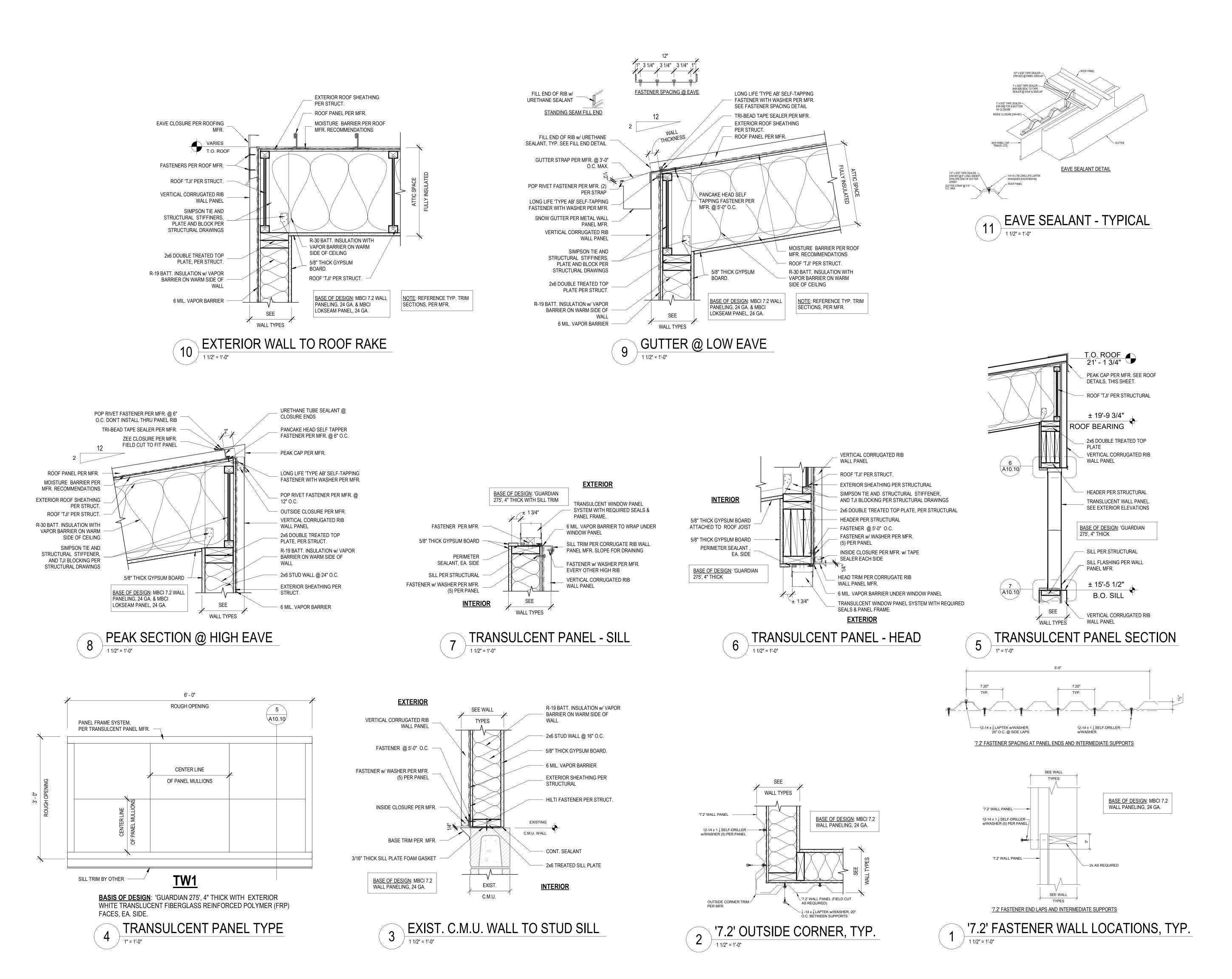


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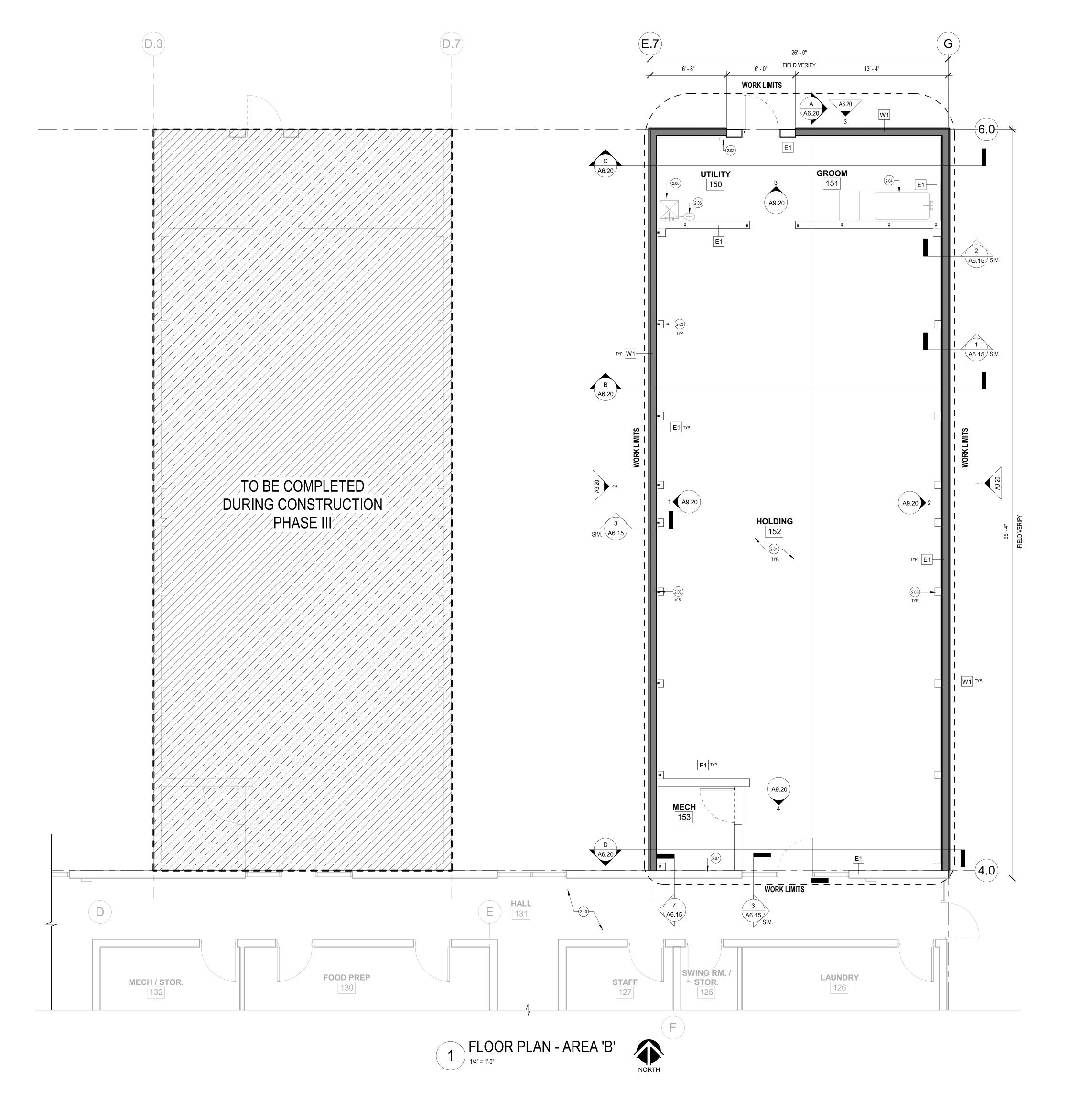
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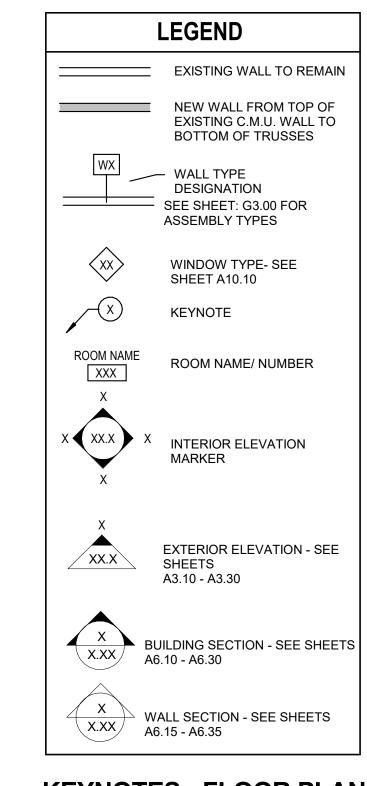
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GENERAL NOTES - FLOOR PLANS

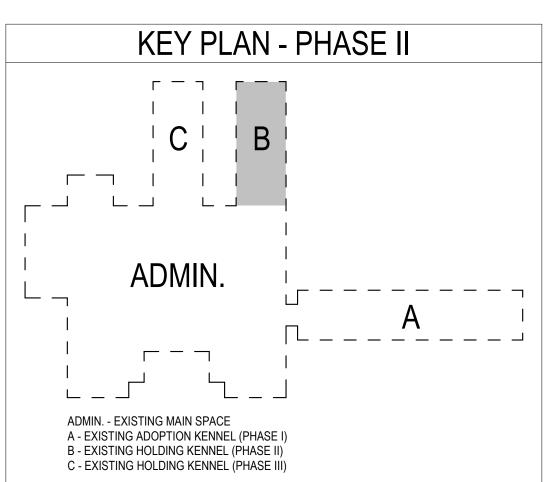
- A. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- B. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK.
- C. DIMENSIONS ARE TAKEN FROM FACE OF STUDOR FACE OF EXISTING FINISH IF NOTED AS SUCH. DIMENSIONS CALLED OUT AS "CLEAR" INDICATES A MEASUREMENT FROM FACE OF FINISH.
- D. PROVIDE SOLID BLOCKING AT WALL MOUNTED EQUIPMENT, MILLWORK AND ACCESSORIES AS REQUIRED.



KEYNOTES - FLOOR PLAN

- 2.01 EXISTING FLOOR TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. PROTECT ALL FLOOR DRAINS, CLEANOUTS, AND ASSOCIATED ITEMS DURING CONSTRUCTION. REPLACE ANY DAMAGED ITEMS FOR 'NEW FINISH'.
- 2.02 EXISTING FIRE EXTINGUISHER AND BRACKET TO REMAIN. PROTECT DURING CONSTRUCTION.2.03 EXISTING C.M.U. COLUMNS TO REMAIN.
- 2.04 EXISTING ELEVATED BATHTUB AND ASSOCIATED ITEMS TO REMAIN. COORDINATE WITH PLUMBING DRAWINGS.
 2.05 EXISTING EYE WASH STATION AND ASSOCIATED TO REMAIN. COORDINATE WITH PLUMBING DRAWINGS.
- 2.07 EXISTING RADIANT FLOOR SYSTEM TO REMAIN.
 COORDINATE WITH PLUMBING DRAWINGS FOR NEW
 CONNECTIONS TO EXISTING SYSTEM.
 2.08 EXISTING FLOOR SINK AND ASSOCIATED ITEMS TO
- REMAIN. COORDINATE WITH PLUMBING DRAWINGS.

 NEW VERTICAL MOUNTED UNISTRUCT WITH PIPE FITTINGS ATTACHED TO EXISTING C.M.U. COLUMNS. PROVIDE NEW ANCHORING AS REQUIRED TO ATTACH PIPING AND ASSOCIATED ITEMS. COORDINATE WITH PLUMBING AND ELECTRICAL DRAWINGS FOR NEW SYSTEM CONNECTIONS TO EXISTING SYSTEMS AS REQUIRED.
- 2.10 EXISTING ADJACENT BUILDING TO REMAIN 'AS-IS' AND BE PROTECTED DURING CONSTRUCTION.



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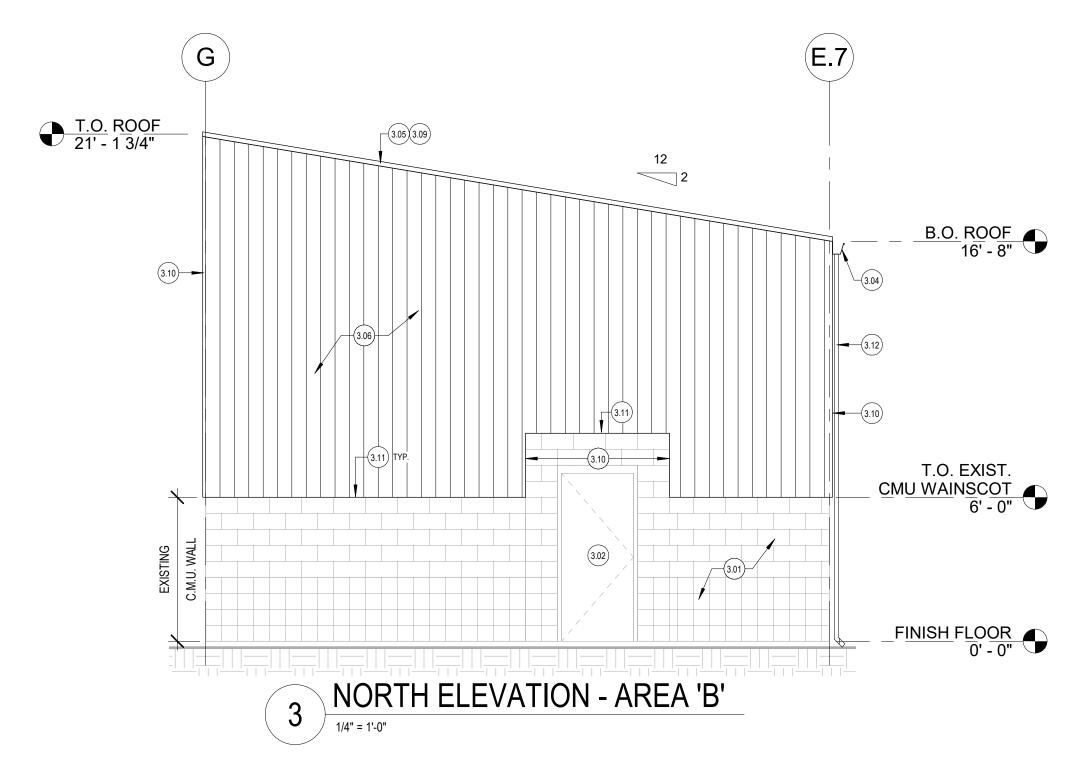
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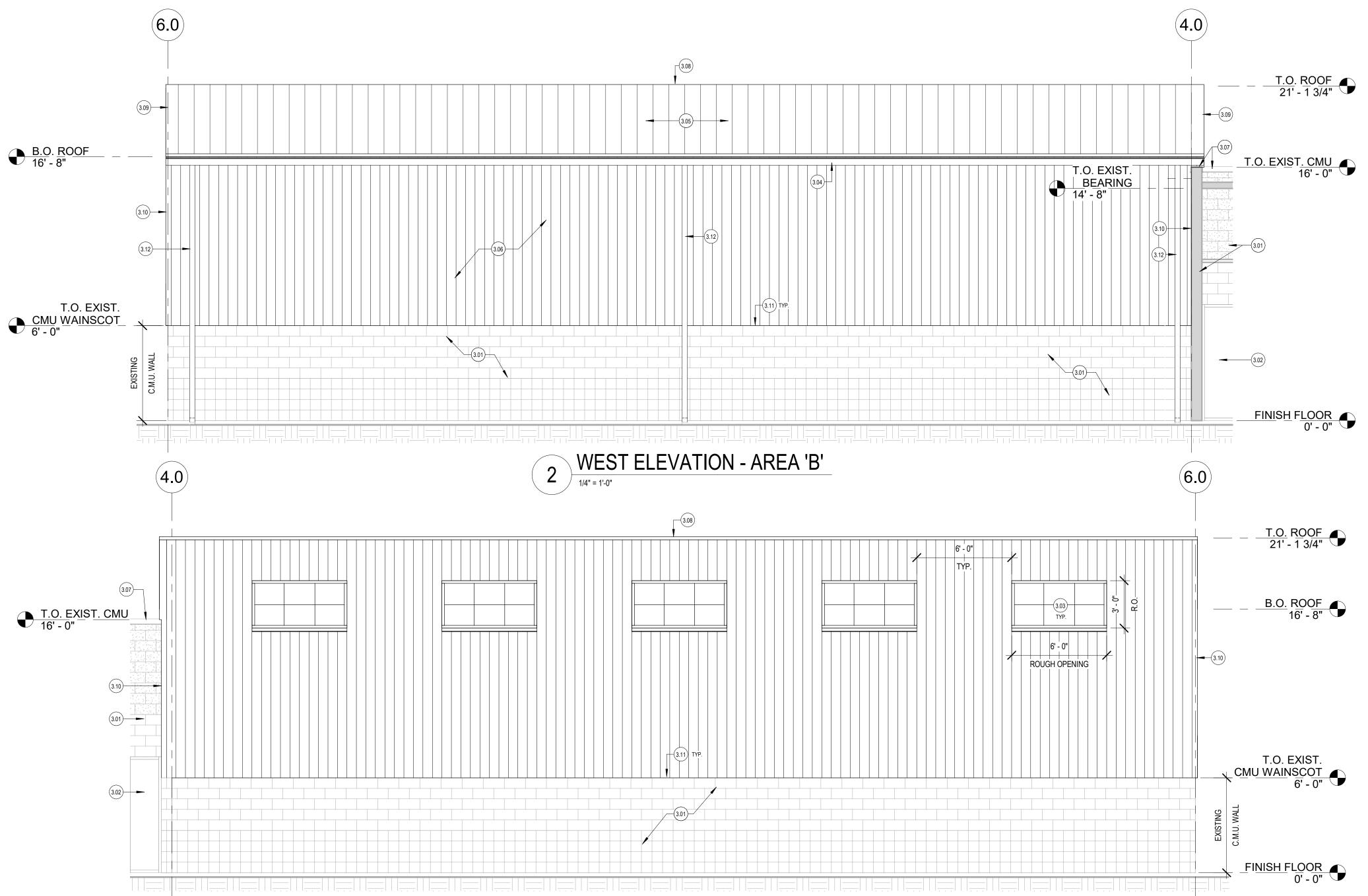
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FLOOR PLAN -AREA 'B'

eet number:
A2_20





EAST ELEVATION - AREA 'B'

GENERAL NOTES - BUILDING ELEVATIONS

- A. REFER TO CEILING PLANS FOR WINDOW TYPES.
- B. REFER TO ELECTRICAL DRAWINGS FOR ROUGH-IN BACKBOX LOCATIONS AND HEIGHTS AT EXTERIOR LUMINARE LOCATIONS AND SIGNAGE.
- C. CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN <u>ALL</u> DISSIMILAR MATERIALS, TYP. TO BE FILLED WITH BACKER ROD AND CAULKING, COLOR TO BE
- D. COORDINATE WITH OWNER REPRESENTATIVE FOR STRUCTURAL, MECHANICAL, AND ELECTRICAL PRIOR TO START OF CONSTRUCTION.
- E. FINISH FLOOR ELEVATION = 0'-0" IS THE REFERENCE DATUM FOR THESE ARCHITECTURAL DRAWINGS. SEE EXISTING CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATIONS. FIELD VERIFY FINISH FLOOR ELEVATION.
- F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW OTHER DRAWINGS FOR PENETRATIONS NOT SHOWN.
- G. ALL FLASHING, TRIM, AND ASSOCIATED BUILDING CONNECTIONS TO BE SHEET METAL AND PROVIDED BY CONTRACTOR.
- H. CONTRACTOR IS RESPONSIBLE FOR PROTECTING MATERIALS AND SYSTEMS ADJACENT TO THE WORK LIMITS AND MATERIALS AND SYSTEMS LOCATED WITHIN THE WORK LIMITS.
- I. CONTRACTOR TO COORDINATE WITH FIRE MARSHAL FOR LOCATION OF KNOX BOX PREFERENCE ON BUILDING.

KEYNOTES - EXTERIOR ELEVATIONS

- 21 EXISTING EXTERIOR FINISH TO REMAIN AND BE PROTECTED DURING
- 3.02 EXISTING DOOR / WINDOW SYSTEM TO REMAIN AND BE PROTECTED
- DURING CONSTRUCTION.
 3.03 NEW TRANSLUCENT WINDOW PANEL SYSTEM. COORDINATE WITH CEILING
- PLANS, WINDOW TYPES, AND SPECIFICATIONS.
- 3.04 NEW PRE-FINISHED METAL GUTTER PER ROOFING MFR. COORDINATE WITH ROOF PLANS, ROOF DETAILS, AND SPECIFICATIONS.
 3.05 24 GA. STEEL STANDING SEAM ROOF OVER ROOFING ASSEMBLY.
- COORDINATE WITH ROOF PLAN, STRUCTURAL DRAWINGS, AND SPECIFICATIONS.
- SPECIFICATIONS.

 3.06 NEW VERTICAL CORRUGATED RIB METAL PANEL SYSTEM. COORDINATE
- WITH BUILDING / WALL SECTIONS, DETAILS, AND SPECIFICATIONS.

 3.07 EXISTING COPING CAP TO REMAIN. FIELD VERIFY / LOCATE WHERE NEW WALLS ARE ATTACHED TO EXISTING WALL CONSTRUCTION AND IF EXISTING COPING CAP NEEDS TO BE REMOVED FOR NEW CONSTRUCTION
- 3.08 NEW PEAK CAP PER ROOFING MFR. REFER TO ROOF DETAILS.
- 3.09 NEW EAVE CLOSURE PER BUILDING MANUFACTURER. REFER TO ROOF
- 3.10 NEW VERTICAL CORNER TRIM PER WALL PANEL MFR. REFER TO DETAILS.
- NEW BASE TRIM PER WALL PANEL MFR. REFER TO DETAILS.
- NEW PRE-FINISHED METAL DOWNSPOUT PER ROOFING MFR.. COORDINATE WITH ROOF PLANS, ROOF DETAILS, AND SPECIFICATIONS.

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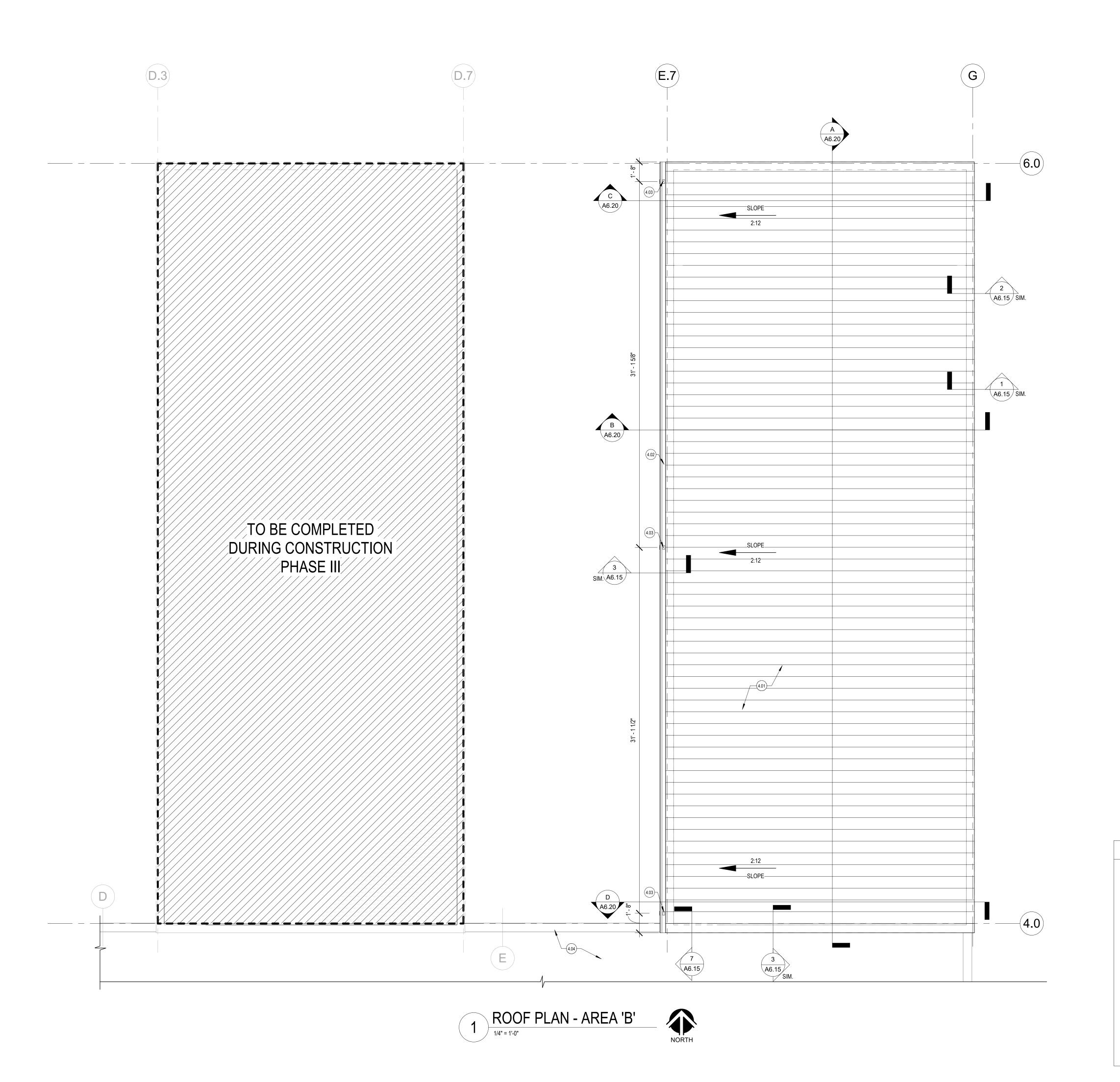
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issued for OWNER
sheet title:

EXTERIOR
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GENERAL NOTE - ROOF PLAN

- A. COORDINATE WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION AND NUMBER OF OTHER ROOF PENETRATIONS (IE., VENT STACKS, VENT PIPES, CONDUIT PENETRATIONS, ETC.).
- B. FLASH ALL PENETRATIONS WEATHER TIGHT.
- C. SLOPE OF ROOF AS SHOWN AT A MINIMUM SLOPE OF 2" PER FOOT FROM HORIZ. PLANE, UNLESS NOTED OTHERWISE.
- D. ALL METAL ROOF FLASHING DETAILS SHALL BE PER SMACNA AND MANUFACTURER'S RECOMMENDATIONS AND REVIEWED BY THE ARCHITECT FOR DESIGN INTENT.
- E. PROVIDE ROOF INSULATION SYSTEM BELOW ROOFING MEMBRANE, PER THE ROOFING ASSEMBLIES SPECIFIED IN DIVISION 07 SECTIONS.
- F. COORDINATE WITH OWNER REPRESENTATIVE FOR CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND POWER GENERATION LOCATIONS PRIOR TO START OF CONSTRUCTION.

KEYNOTES - ROOF PLAN

- 1.01 24 GA. STEEL STANDING SEAM ROOF OVER ROOFING ASSEMBLY. COORDINATE WITH STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- PRE-FINISHED STEEL ALUMINUM GUTTER. PAINT TO MATCH METAL ROOF. REFER TO SPECIFICATIONS.
- 4.03 PRE-FINISHED STEEL DOWNSPOUT. PAINT TO MATCH METAL ROOF. REFER TO SPECIFICATIONS.
- 4.04 EXISTING ADJACENT ROOF AND ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. COORDINATE WITH MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

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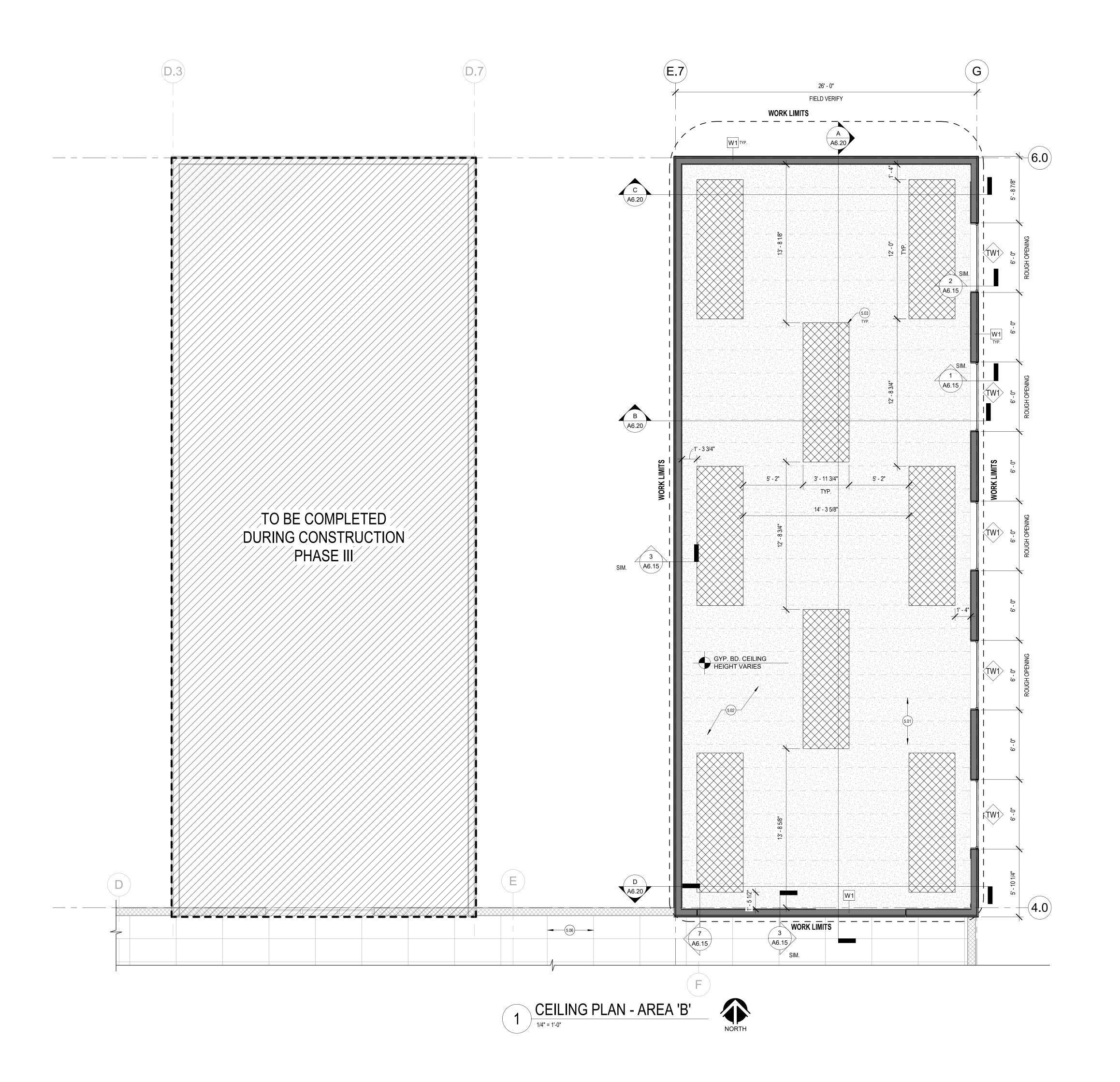
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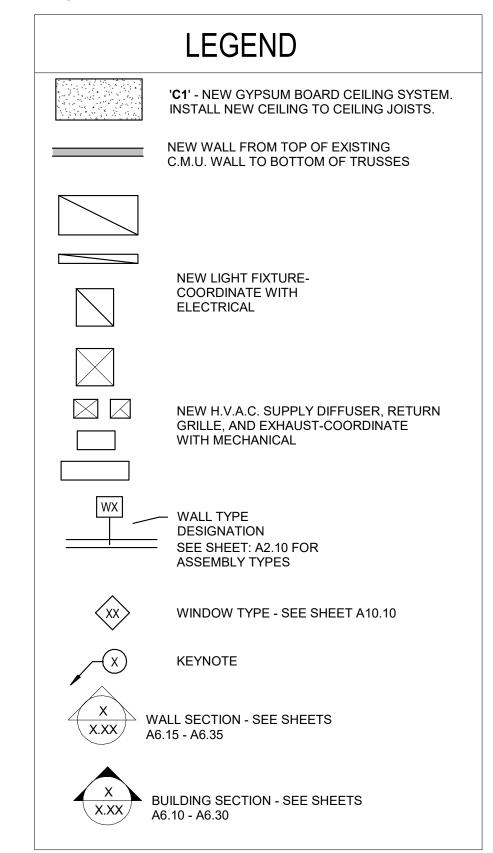
ROOF PLAN -AREA 'B'

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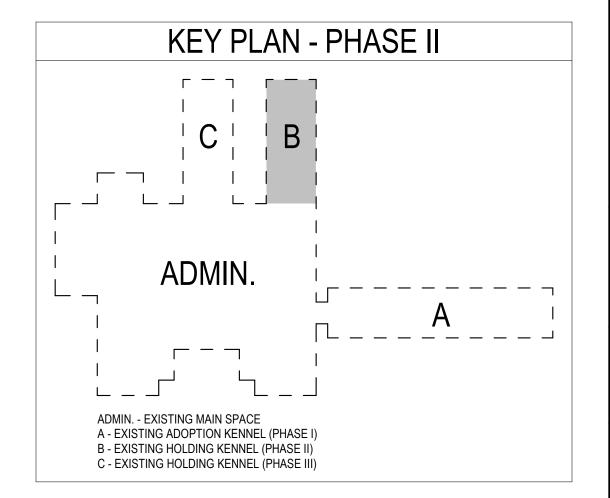
GENERAL NOTES - CEILING

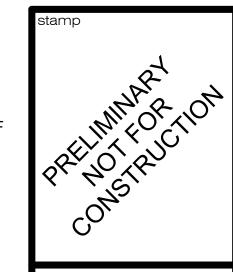
- A. COORDINATE LIGHT FIXTURES, GRILLES, DIFFUSERS, ETC. WITH MECHANICAL AND ELECTRICAL PLANS.
- B. THE CEILING HEIGHT SHOWN IN THE ROOM TAG INDICATES THE HEIGHT OF THE DOMINANT CEILING FINISH. SEE ADDITIONAL CEILING FINISH CALLOUTS FOR OTHER CEILING HEIGHT OR FEATURES.
- C. THE CONTRACTOR SHALL COORDINATE ALL TRADES TO ENSURE THAT DESIGNATED CEILING HEIGHTS CAN BE ACHEIVED. NOTIFY ARCHITECT OF ANY CONFLICTS OR CONDITIONS THAT PREVENT THIS FROM OCCURRING BEFORE PROCEEDING WITH THE WORK.
- D. ALL EXISTING CEILINGS TO HAVE EXISTING FINISH REMOVED AND NEW 'ORANGE PEEL' FINISH APPLIED.
- E. PATCH AND REPAIR ALL EXISTING CEILINGS TO BE OF 'NEW FINISH'. COORDINATE WITH FLOOR PLAN FOR NEW WALL LOCATIONS.
- F. COORDINATE WITH FINISH PLAN / SCHEDULES FOR COLORS, FINISHES, ETC.



KEYNOTES - REFLECTED CEILING PLAN

- 5.01 DASHED LINES INDICATE TJI ROOF JOISTS FOR REFERENCE ONLY. COORDINATE WITH STRUCTURAL DRAWINGS.
- .02 NEW 5/8" THICK MOISTURE RESISTANT GYPSUM BOARD CEILING.
 REFER TO ROOM FINISH SCHEDULE FOR TEXTURE AND PAINT COLOR
 AND COORDINATE WITH SPECIFICATIONS
- 5.03 1" THICK TECTUM PANELS MOUNTED TO GYP. BD. CEILING.
 COORDINATE WITH CEILING DETAILS AND WITH STRUCTURAL
 DRAWINGS AND SPECIFICATIONS. SIZES AND SPACING ARE
 INDICATED ON CEILING PLAN. LOCATE CEILING JOIST FOR MOUNTING
 OF TECTUM PANELS. REFER TO TECTUM PANEL MFR. FOR MOUNTING
 REQUIREMENTS.
- 5.06 EXISTING ACOUSTICAL SYSTEM TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.





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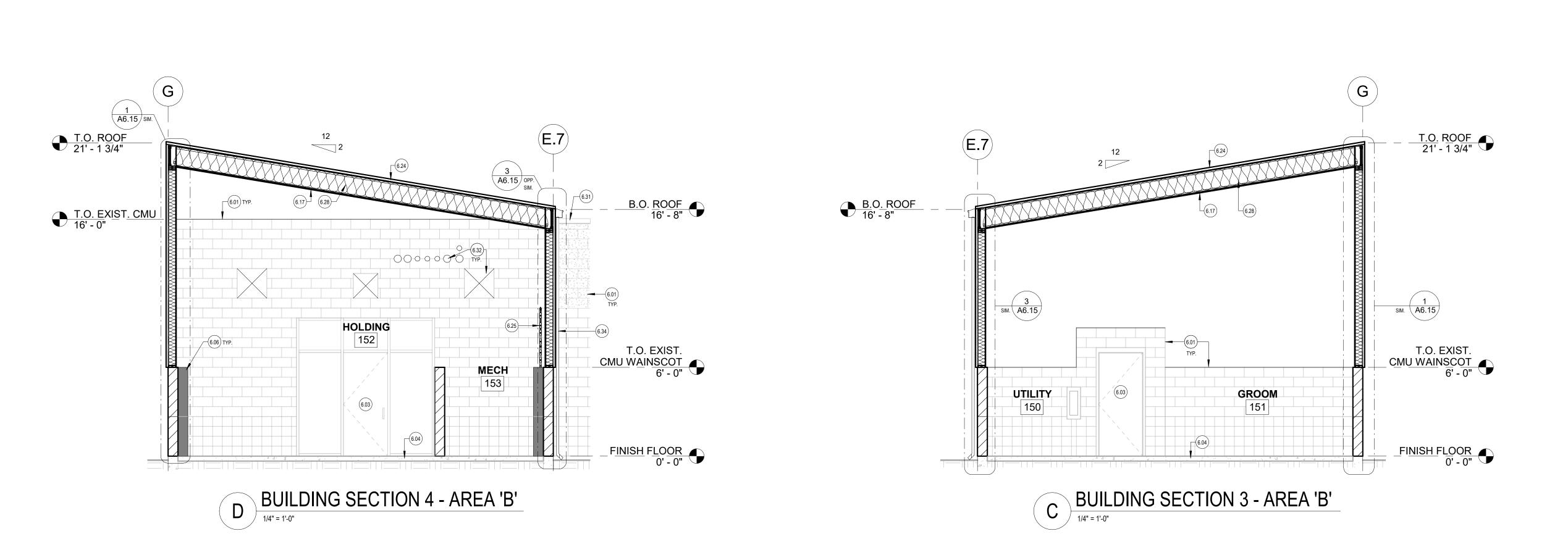
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CEILING PLAN AREA 'B'

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GENERAL NOTES - BUILDING SECTION

- REFER TO FLOOR PLANS FOR EXTERIOR DOOR AND WINDOW TYPES.
- FIELD VERY AND LOCATE FINISH FLOOR ELEVATIONS AND INTERIOR SLOPE FLOOR SLAB AND ADJACENT EXISTING BUILDING HEIGHTS BEFORE NEW CONSTRUCTION STARTS.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW OTHER DRAWINGS FOR PENETRATIONS NOT SHOWN.
- REFER TO ELECTRICAL DRAWINGS FOR ROUGH-IN BACKBOX LOCATIONS AND HEIGHTS AT EXTERIOR LUMINARE LOCATIONS AND SIGNAGE.
- CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS, EQUIPMENT AND ALL OTHER ROOF PENETRATIONS UNLESS NOTED OTHERWISE.
- COORDINATE WITH OWNER REPRESENTATIVE FOR CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND POWER GENERATION LOCATIONS PRIOR TO START OF CONSTRUCTION.

KEYNOTES - BUILDING SECTIONS

- EXISTING C.M.U. WALL TO REMAIN. COORDINATE WITH STRUCTURAL DRAWINGS.
- EXISTING STRUCTURE TO REMAIN.
- EXISTING FLOOR TO REMAIN. COORDINATE WITH 6.04
- STRUCTURAL DRAWINGS. EXISTING C.M.U. COLUMN TO REMAIN. PROTECT DURING
- NEW CONSTRUCTION.
- EXISTING CEILING TO REMAIN. JOIST PER STRUCTURAL PLAN.
- 5/8" GYP. BD. ATTACHED TO CEILING JOIST. COORDINATE
- WITH FINISH SCHEDULE FOR COLORS AND FINISHES. 24 GA. STEEL STANDING SEAM ROOF OVER ROOFING ASSEMBLY. COORDINATE WITH ROOF PLAN, STRUCTURAL DRAWINGS, AND SPECIFICATIONS.
- VERTICAL UNISTRUT MOUNTED ON EXISTING C.M.U. COLUMNS. COORDINATE WITH PLUMBING DRAWINGS FOR PIPE SIZING AND LOCATIONS.
- PEAK CAP PER ROOF MFR. COORDINATE WITH ROOF
- DETAILS AND SPECIFICATIONS. R-30 BATT. INSULATION WITH VAPOR BARRIER ON WARM SIDE OF CEILING. ATTIC SPACE TO BE FULLY INSULATED.
- EXISTING COPING CAP TO REMAIN. FIELD VERIFY / LOCATE WHERE NEW WALLS ARE ATTACHED TO EXISTING WALL CONSTRUCTION AND IF EXISTING COPING CAP NEEDS TO BE REMOVED FOR NEW CONSTRUCTION TRANSITION.
- EXISTING PENETRATION TO REMAIN. COORDINATE WITH BUILDING SECTIONS, PLUMBING, AND MECHANICAL DRAWINGS.
- NEW PRE-FINISHED METAL GUTTER & DOWNSPOUT PER ROOFING MFR. COORDINATE WITH ROOF PLANS, ROOF DETAILS, AND SPECIFICATIONS.
- EXISTING FIXTURES TO REMAIN. COORDINATE WITH PLUMBING DRAWINGS.

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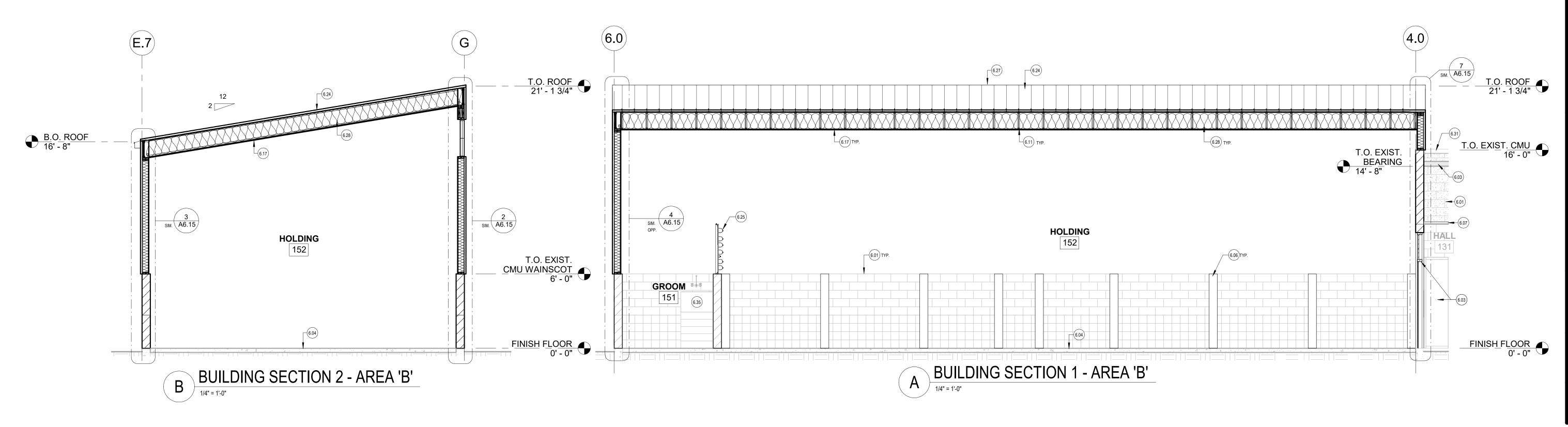
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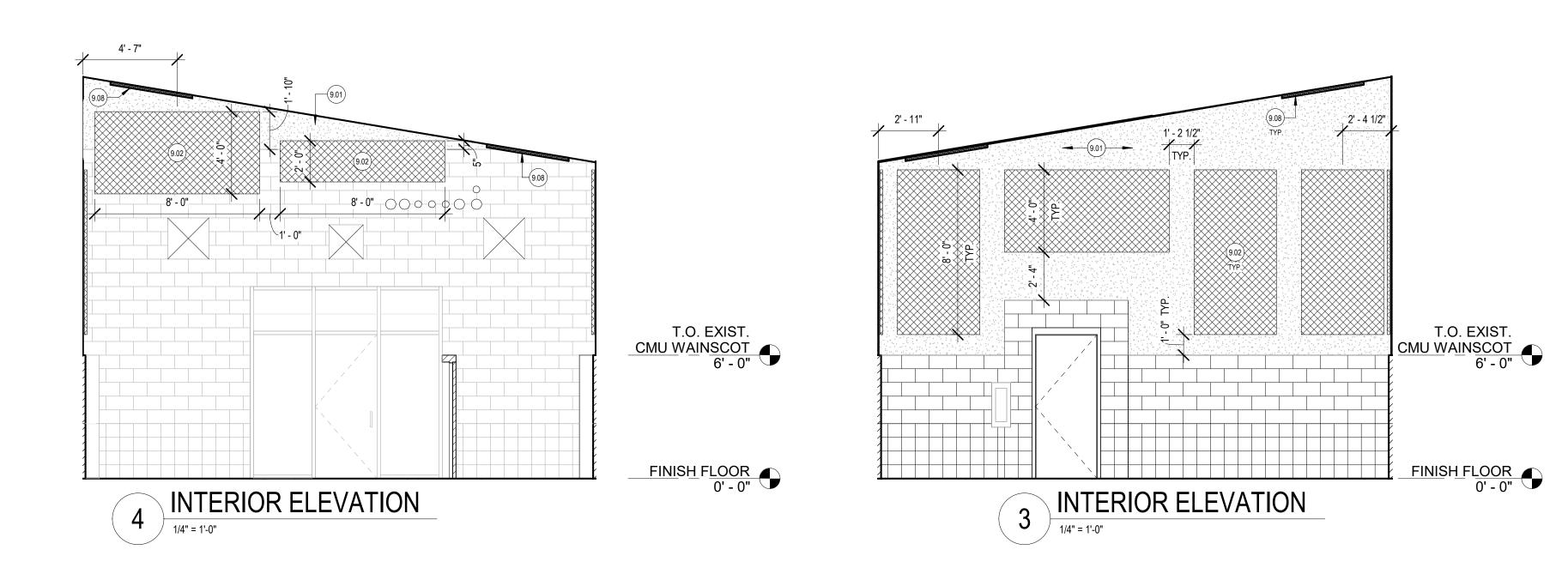
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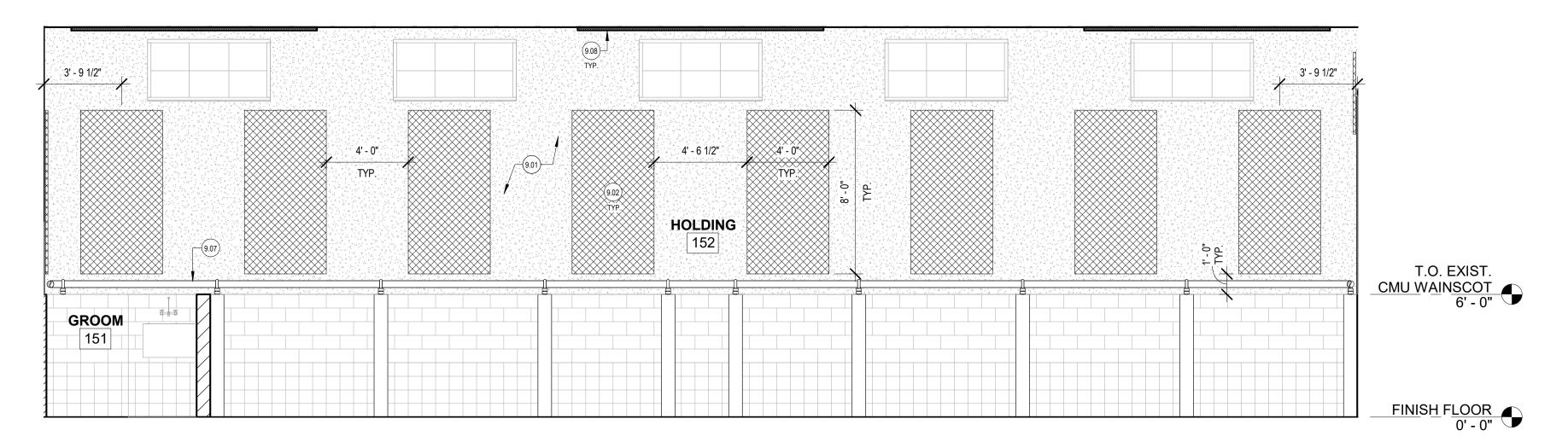
ssued for OWNER BUILDING SECTIONS - AREA

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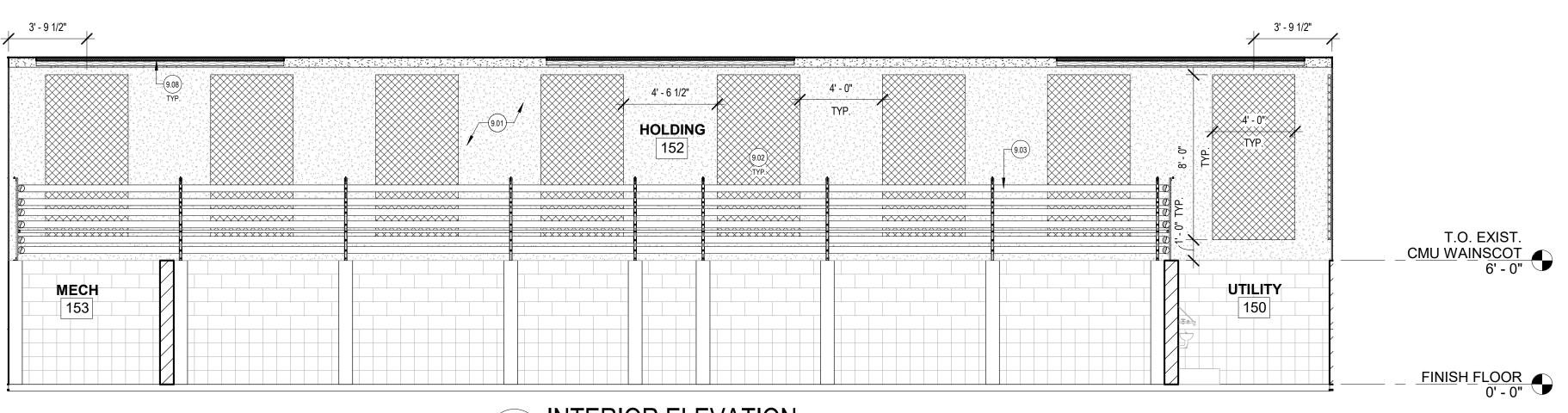
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1 INTERIOR ELEVATION

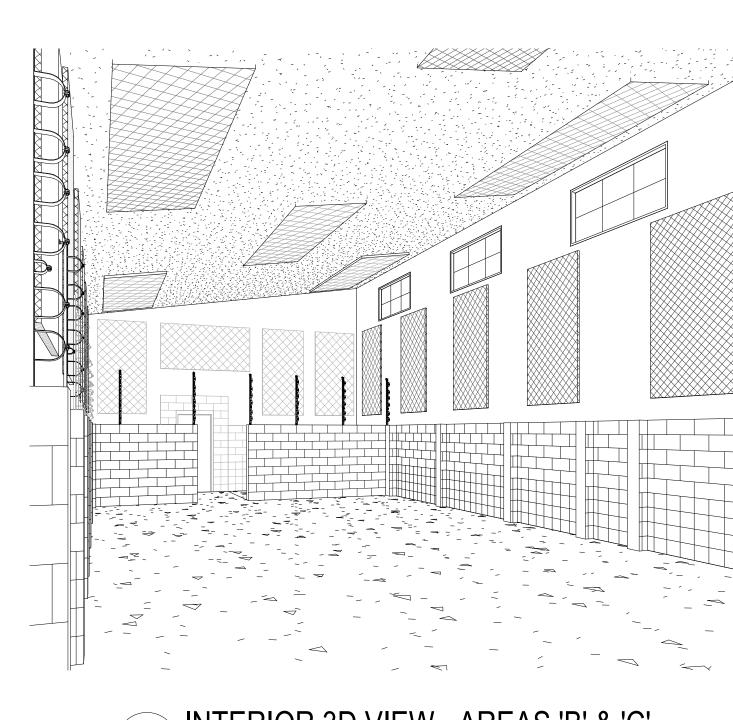
1/4" = 1'-0"

GENERAL NOTES- INTERIOR ELEVATIONS

- A. PROVIDE BLOCKING/BACKING AS NECESSARY FOR MOUNTING OF WALL-MOUNTED CABINETS, FIXTURES AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE THIS REQUIREMENT THROUGH ALL FLOOR PLANS, EQUIPMENT PLANS AND INTERIOR ELEVATIONS.
- PROVIDE WALL BASE AT ALL WALLS AND ALL CABINET TOE KICKS.
- C. ON ALL EXPOSED CABINET SIDES, INCLUDING KNEE OPENINGS, PROVIDE FINISHED FACE TO MATCH CABINET FRONTS. PROVIDE SIDESPLASHES WHENEVER COUNTERTOPS ARE ADJACENT TO WALLS.
- D. SCRIBE ALL CABINETS AND COUNTERTOPS TO WALL. PROVIDE CABINET FILLERS AT ALL LOCATIONS WHERE GAP EXISTS BETWEEN CABINET AND ADJACENT FINISH.
- E. ENSURE THAT ALL REQUIRED FIXTURE AND CABINET CLEARANCES AND OTHER REQUIREMENTS ARE MAINTAINED PURSUANT TO ADA AND ANSI A117.1.
- F. REFER TO ELECTRICAL DRAWINGS FOR ALL OUTLET LOCATIONS & HEIGHTS BEFORE INSTALLATION OF NEW MILLWORK AND ASSOCIATED ITEMS. IF ANY CONFLICT OCCURS, NOTIFY ARCHITECT BEFORE START OF CONSTRUCTION.

KEYNOTES - INTERIOR ELEVATIONS

- 9.01 NEW GYPSUM WALL. REFER TO FLOOR PLANS AND FINISH SCHEDULE FOR FINISH AND COLOR.
- 9.02 NEW 1" THICK TECTUM WALL PANEL TO BE DIRECTLY WALL MOUNTED PER MFR.. FIELD VERIFY STUD LOCATIONS FOR MOUNTING POINTS. PROVIDE BACKING AS REQUIRED PER WALL PANEL MFR. REFER TO FINISH SCHEDULE FOR TECTUM PANEL TYPE & COLOR.
- 9.03 PIPING MOUNTING TO VERTICAL UNISTRUT ON EXISTING C.M.U. COLUMNS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR PIPE SIZES AND LOCATIONS.
- 9.07 PIPING MOUNTED ON EXISTING C.M.U. COLUMNS. COORDINATE WITH PLUMBING DRAWINGS.
- 0.08 NEW 1" THICK TECTUM PANEL MOUNTED TO GYP. BD. CEILING.
 COORDINATE WITH CEILING PLANS, FINISH SCHEDULES, MECHANICAL,
 AND ELECTRICAL DRAWINGS.



5 INTERIOR 3D VIEW - AREAS 'B' & 'C'

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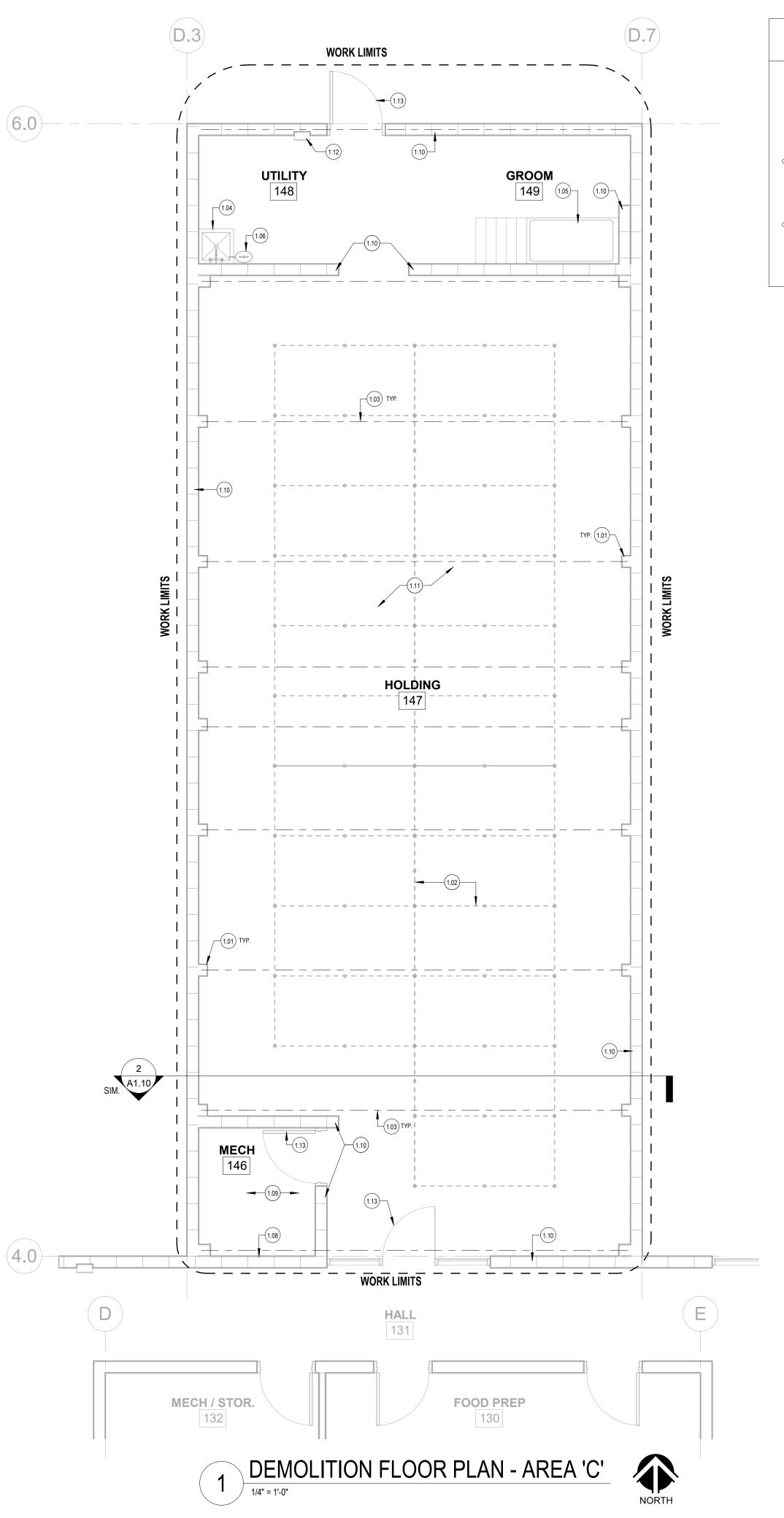
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EXISTING WALL TO REMAIN EXISTING ROOF STRUCTURE & FABRIC COVERING TO BE REMOVED.

φ------EXISTING KENNELS TO BE REMOVED AND RE-ASSEMBLED AFTER CONSTRUCTION IS COMPLETE. ф-----ф

DEMO KEYNOTE

GENERAL NOTES - DEMOLITION

- OR OMISSIONS PRIOR TO THE START OF
- DAMAGED MATERIALS AND SYSTEMS NOT INDICATED TO BE DEMOLISHED. PROTECT MATERIALS AND SYSTEMS ADJACENT TO THE WORK LIMITS AND MATERIALS AND SYSTEMS WITHIN THE WORK LIMITS NOT INDICATED FOR DEMOLITION.
- REFER TO MECHANICAL AND ELECTRICAL PLANS FOR

- EXISTING COLUMNS TO REMAIN AND BE PROTECTED. REFER TO BOLTS TO REMAIN IF BEING USED FOR NEW PIPING SUPPORT.
- 1.02 EXISTING KENNELS. DISASSEMBLE KENNELS AND TAG EACH PIECE FOR RE-ASSEMBLY AFTER CONSTRUCTION IS FINAL. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR KENNEL STORAGE
- DASHED LINE INDICATES CANVAS ROOF STRUCTURE TO BE REMOVED AND PREP EXISTING COLUMNS FOR NEW CONSTRUCTION. REMOVE ALL ELECTRICAL, PLUMBING, AND FIRE SPRINKLER SYSTEMS BEFORE ROOF REMOVAL. COORDINATE WITH MECHANICAL AND ELECTRICAL DESIGN DOCUMENTS FOR EXTENT OF DEMOLITION. COORDINATE WITH NEW FLOOR PLANS AND CONSULTANT DRAWINGS FOR NEW AND/OR EXISTING EQUIPMENT TO BE RE-USED AND/OR PARTIALLY DEMO'D. COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR DEMOLITION SCHEDULE BEFORE START OF PROJECT.
- PROTECTED. COORDINATE WITH PLUMBING DRAWINGS.
- EXISTING ELEVATED BATHTUB AND ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED. COORDINATE WITH PLUMBING DRAWINGS.
- PROTECTED. COORDINATE WITH PLUMBING DRAWINGS. 1.08 EXISTING RADIANT FLOOR SYSTEM TO REMAIN. PROTECT ALL
 - ASSOCIATED PIPING THAT MAY NEED TO BE RELOCATED AND/OR PARTIALLY DEMO'D. EXISTING ITEMS IN THIS SPACE TO REMAIN. FIELD VERIFY IF ANY
- 1.10 EXISTING C.M.U. WALLS TO REMAIN AND BE PROTECTED. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL FOR
- 1.11 EXISTING FLOOR, DRAINS, CLEANOUTS TO REMAIN AND BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- PROTECTED. 1.13 EXISTING DOOR SYSTEM TO REMAIN AND BE PROTECTED.

KEY PLAN - PHASE III

ADMIN. - EXISTING MAIN SPACE

A - EXISTING ADOPTION KENNEL (PHASE I) B - EXISTING HOLDING KENNEL (PHASE II)

C - EXISTING HOLDING KENNEL (PHASE III)

- A. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS
- FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR REPLACING
- FURTHER DEMOLITION NOT SHOWN ON THIS SHEET.

KEYNOTES - DEMOLITION

- MECHANICAL AND ELECTRICAL PLANS FOR SCOPE OF DEMOLITION IF DEVICES OR EQUIPMENT IS TO BE REMOVED. EXISTING EMBEDDED COORDINATE WITH CANYON COUNTY FACILITY MANAGER FOR ADDITIONAL INFORMATION.
- 1.04 EXISTING FLOOR SINK AND ASSOCIATED ITEMS TO REMAIN AND BE
- 1.06 EXISTING EYE WASH STATION AND ASSOCIATED TO REMAIN AND BE
 - VALVES AND MANIFOLDS DURING DEMOLITION. COORDINATE WITH PLUMBING DRAWINGS FOR SCOPE OF DEMOLITION OF ANY
- PLUMBING AND ELECTRICAL ITEMS NEED TO BE PARTIALLY DEMO'D OR RELOCATED. COORDINATE WITH PLUMBING AND ELECTRICAL FOR SCOPE OF DEMO.
- SCOPE OF ANY ITEMS INCORPORATED ON EXISTING WALLS TO BE REMOVED, RELOCATED OR PARTICALLY DEMO'D.
- EXISTING FIRE EXTINGUISHER CABINET TO REMAIN AND BE
- COORDINATE WITH FLOORPLANS, SECTIONS, AND ELEVATIONS.

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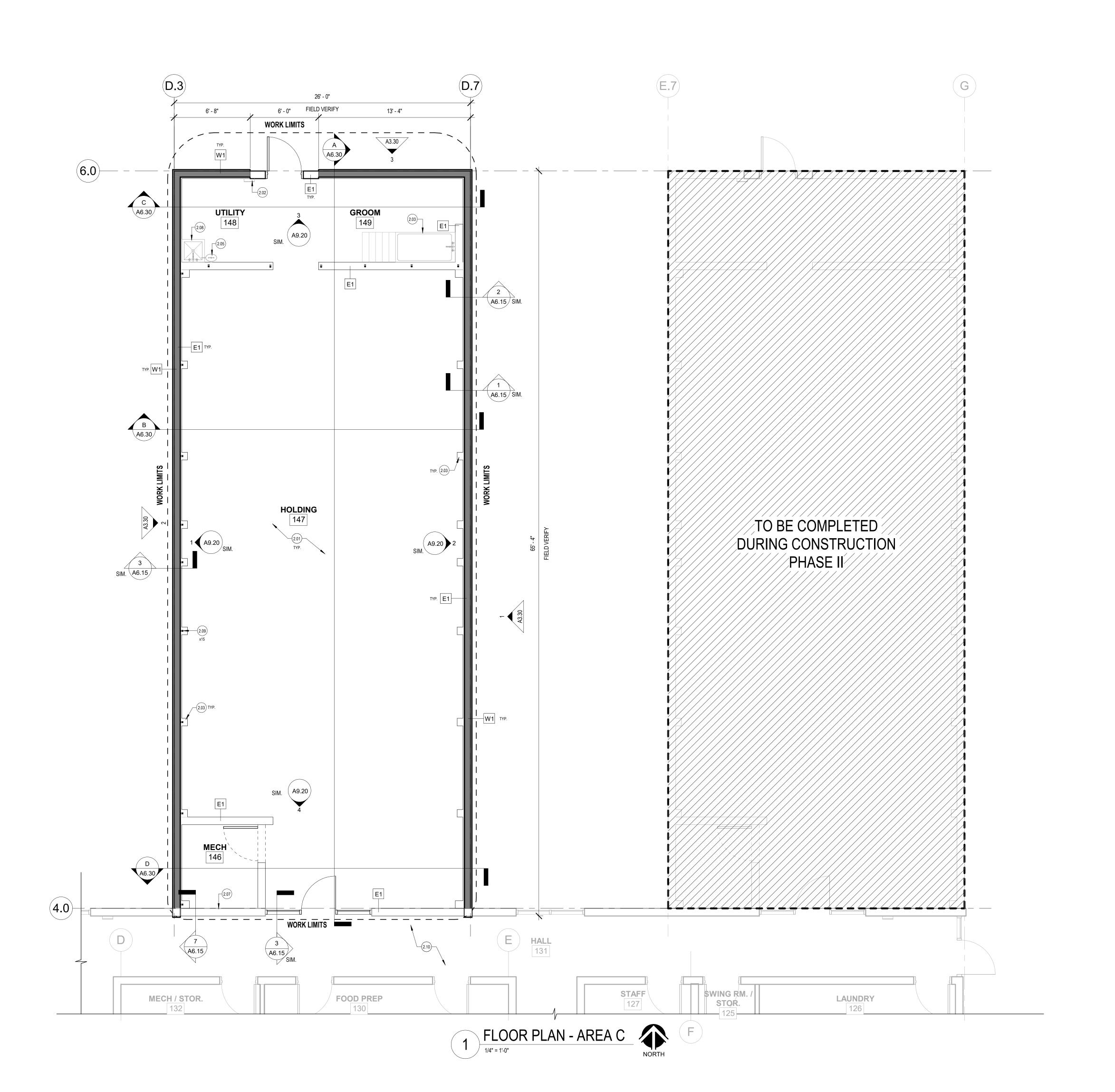
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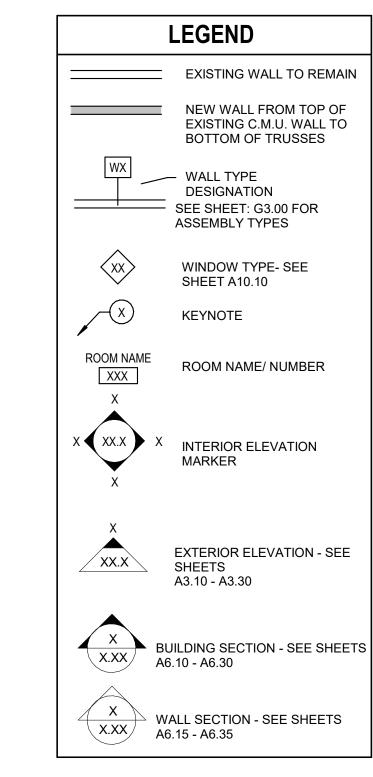
DEMOLITION PLAN - AREA 'C'

A1.30



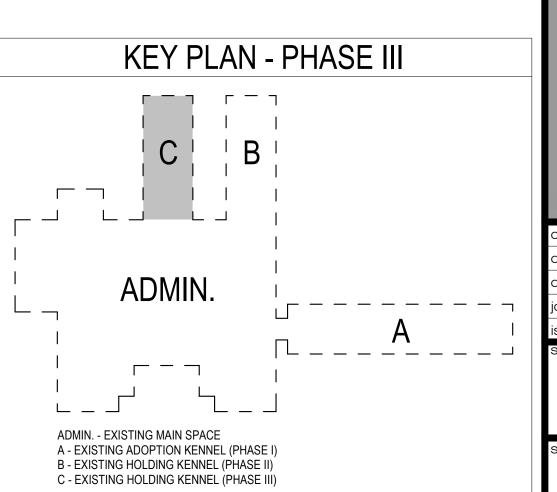
GENERAL NOTES - FLOOR PLANS

- A. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- B. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK.
- C. DIMENSIONS ARE TAKEN FROM FACE OF STUDOR FACE OF EXISTING FINISH IF NOTED AS SUCH. DIMENSIONS CALLED OUT AS "CLEAR" INDICATES A MEASUREMENT FROM FACE OF FINISH.
- D. PROVIDE SOLID BLOCKING AT WALL MOUNTED EQUIPMENT, MILLWORK AND ACCESSORIES AS REQUIRED.



KEYNOTES - FLOOR PLAN

- 2.01 EXISTING FLOOR TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. PROTECT ALL FLOOR DRAINS, CLEANOUTS, AND ASSOCIATED ITEMS DURING CONSTRUCTION. REPLACE ANY DAMAGED ITEMS FOR 'NEW FINISH'
- 2.02 EXISTING FIRE EXTINGUISHER AND BRACKET TO REMAIN. PROTECT DURING CONSTRUCTION.
- 2.03 EXISTING C.M.U. COLUMNS TO REMAIN.
 2.05 EXISTING EYE WASH STATION AND ASSOCIATED TO REMAIN. COORDINATE WITH PLUMBING
- 2.07 EXISTING RADIANT FLOOR SYSTEM TO REMAIN.
 COORDINATE WITH PLUMBING DRAWINGS FOR
 NEW CONNECTIONS TO EXISTING SYSTEM.
- 2.08 EXISTING FLOOR SINK AND ASSOCIATED ITEMS
 TO REMAIN. COORDINATE WITH PLUMBING
 DRAWINGS.
 2.09 NEW VERTICAL MOUNTED UNISTRUCT WITH PIPE
- FITTINGS ATTACHED TO EXISTING C.M.U.
 COLUMNS. PROVIDE NEW ANCHORING AS
 REQUIRED TO ATTACH PIPING AND ASSOCIATED
 ITEMS. COORDINATE WITH PLUMBING AND
 ELECTRICAL DRAWINGS FOR NEW SYSTEM
 CONNECTIONS TO EXISTING SYSTEMS AS
 REQUIRED.
- 2.10 EXISTING ADJACENT BUILDING TO REMAIN 'AS-IS' AND BE PROTECTED DURING CONSTRUCTION.



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PREIMITED

CONSTRUCTION

revisions:

NO. DESCRIPTION DATE

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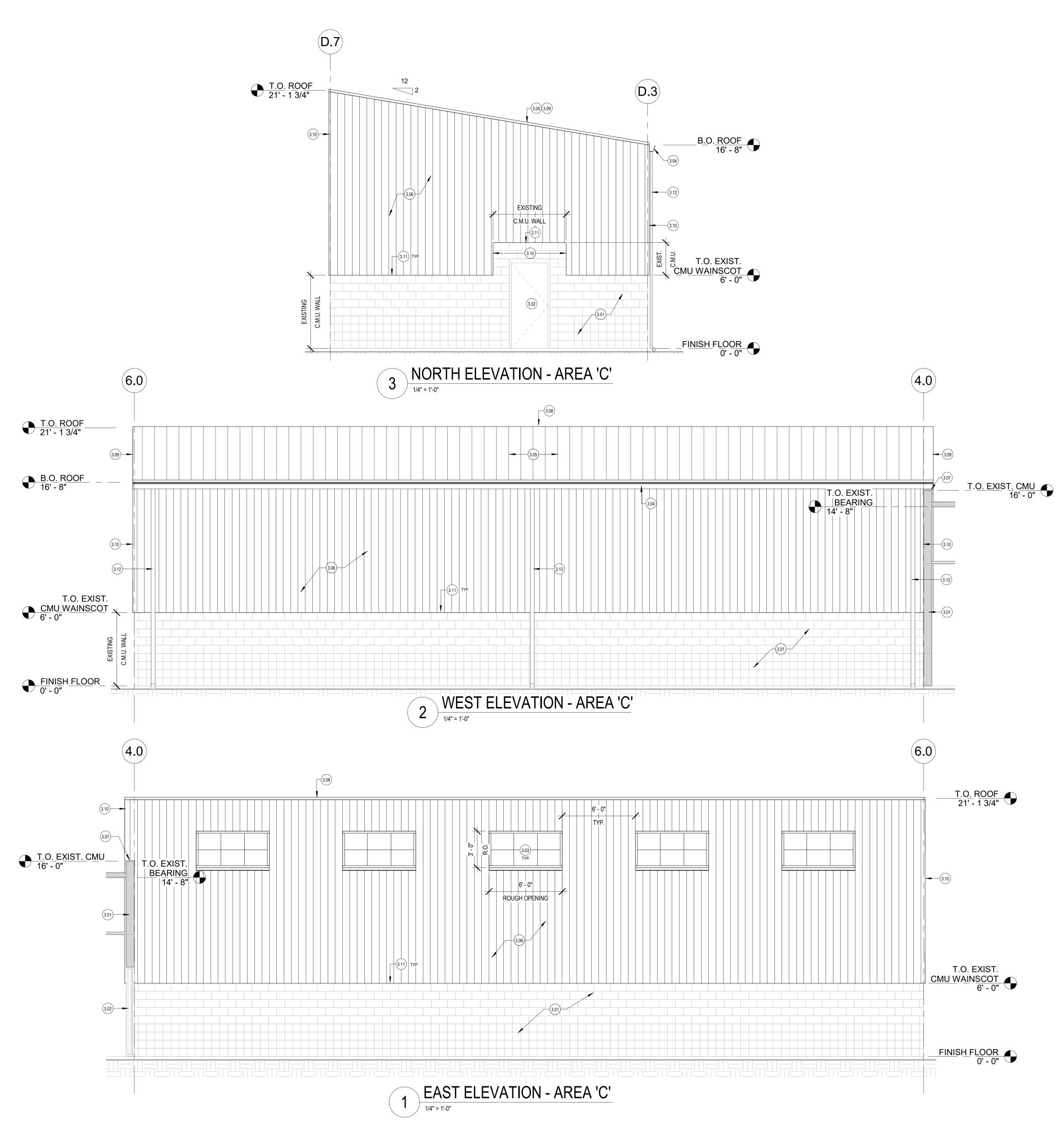
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date 02/14/2020
drawn STY
bb no. 19057
essued for OWNER

FLOOR PLAN -AREA 'C'

et number:



GENERAL NOTES - BUILDING ELEVATIONS

- A. REFER TO CEILING PLANS FOR WINDOW TYPES.
- B. REFER TO ELECTRICAL DRAWINGS FOR ROUGH-IN BACKBOX LOCATIONS AND HEIGHTS AT EXTERIOR LUMINARE LOCATIONS AND SIGNAGE.
- C. CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN <u>ALL</u> DISSIMILAR MATERIALS, TYP. TO BE FILLED WITH BACKER ROD AND CAULKING, COLOR TO BE DETERMINED.
- D. COORDINATE WITH OWNER REPRESENTATIVE FOR STRUCTURAL, MECHANICAL, AND ELECTRICAL PRIOR TO START OF CONSTRUCTION.
- E. FINISH FLOOR ELEVATION = 0'-0" IS THE REFERENCE DATUM FOR THESE ARCHITECTURAL DRAWINGS. SEE EXISTING CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATIONS. FIELD VERIFY FINISH FLOOR ELEVATION.
- F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW OTHER DRAWINGS FOR PENETRATIONS NOT SHOWN.
- G. ALL FLASHING, TRIM, AND ASSOCIATED BUILDING CONNECTIONS TO BE SHEET METAL AND PROVIDED BY CONTRACTOR.
- H. CONTRACTOR IS RESPONSIBLE FOR PROTECTING MATERIALS AND SYSTEMS ADJACENT TO THE WORK LIMITS AND MATERIALS AND SYSTEMS LOCATED WITHIN THE WORK LIMITS.
- I. CONTRACTOR TO COORDINATE WITH FIRE MARSHAL FOR LOCATION OF KNOX BOX PREFERENCE ON BUILDING.

KEYNOTES - EXTERIOR ELEVATIONS

- 3.01 EXISTING EXTERIOR FINISH TO REMAIN AND BE PROTECTED
- DURING CONSTRUCTION.

SPECIFICATIONS.

- 3.02 EXISTING DOOR / WINDOW SYSTEM TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 3.03 NEW TRANSLUCENT WINDOW PANEL SYSTEM. COORDINATE WITH CEILING PLANS, WINDOW TYPES, AND SPECIFICATIONS.
- 3.04 NEW PRE-FINISHED METAL GUTTER PER ROOFING MFR. COORDINATE WITH ROOF PLANS, ROOF DETAILS, AND SPECIFICATIONS.
- 3.05 24 GA. STEEL STANDING SEAM ROOF OVER ROOFING ASSEMBLY. COORDINATE WITH ROOF PLAN, STRUCTURAL DRAWINGS, AND SPECIFICATIONS.
- 3.06 NEW VERTICAL CORRUGATED RIB METAL PANEL SYSTEM.
 COORDINATE WITH BUILDING / WALL SECTIONS, DETAILS, AND
- 3.07 EXISTING COPING CAP TO REMAIN. FIELD VERIFY / LOCATE
 WHERE NEW WALLS ARE ATTACHED TO EXISTING WALL
 CONSTRUCTION AND IF EXISTING COPING CAP NEEDS TO BE
- REMOVED FOR NEW CONSTRUCTION TRANSITION.

 3.08 NEW PEAK CAP PER ROOFING MFR. REFER TO ROOF DETAILS.
- 3.09 NEW EAVE CLOSURE PER BUILDING MANUFACTURER. REFER TO ROOF DETAILS.
- 3.10 NEW VERTICAL CORNER TRIM PER WALL PANEL MFR. REFER TO DETAILS
- 3.11 NEW BASE TRIM PER WALL PANEL MFR. REFER TO DETAILS.
 3.12 NEW PRE-FINISHED METAL DOWNSPOUT PER ROOFING MFR.. COORDINATE WITH ROOF PLANS, ROOF DETAILS, AND

PRELIMITARY CONSTRUCTIONS CONSTRUCTIONS

DESCRIPTION DATE

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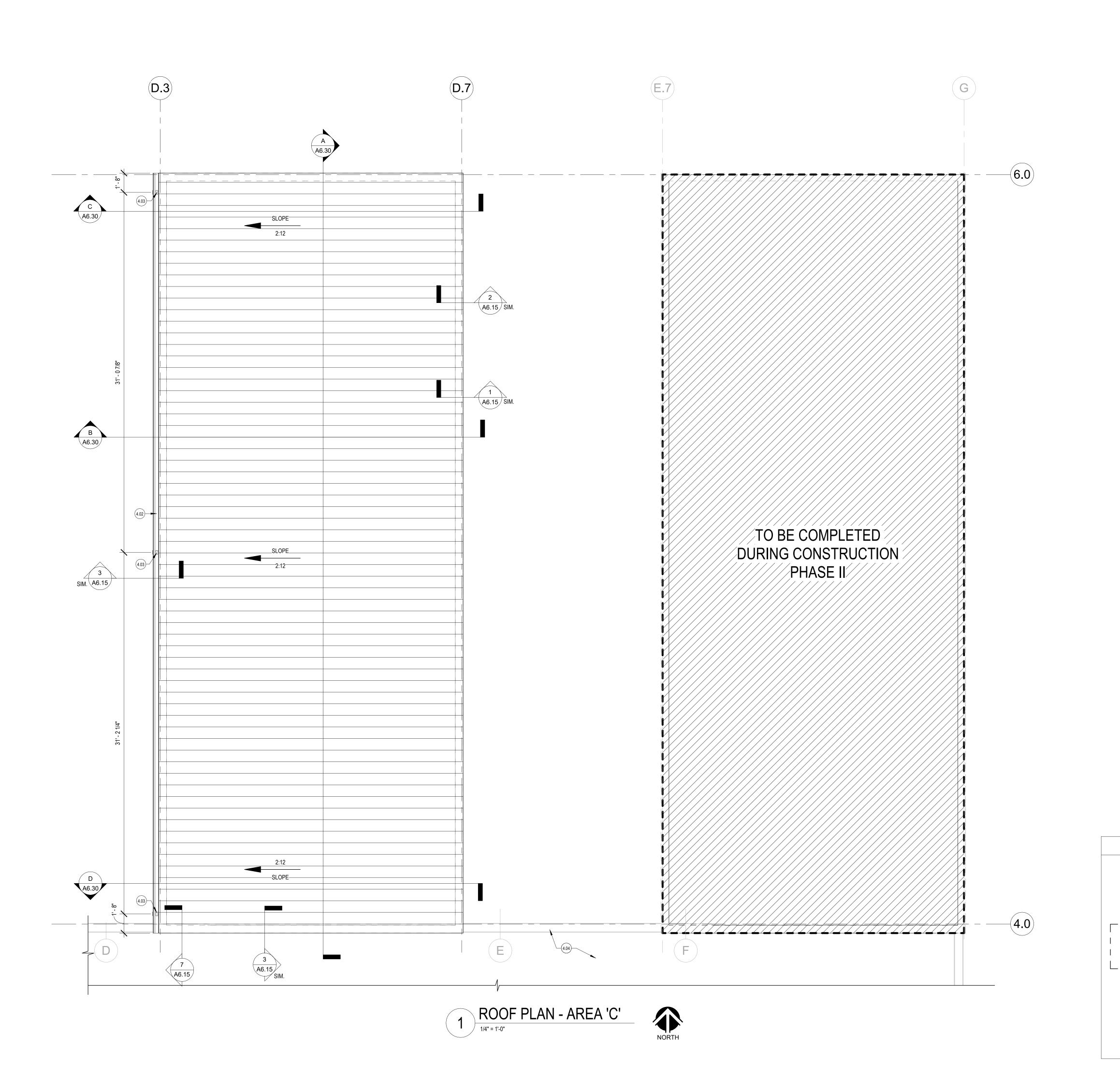
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EXTERIOR
ELEVATIONS -

AREA 'C'
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Exhibit R



GENERAL NOTE - ROOF PLAN

- A. COORDINATE WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION AND NUMBER OF OTHER ROOF PENETRATIONS (IE., VENT STACKS, VENT PIPES, CONDUIT PENETRATIONS, ETC.).
- B. FLASH ALL PENETRATIONS WEATHER TIGHT.
- C. SLOPE OF ROOF AS SHOWN AT A MINIMUM SLOPE OF 2" PER FOOT FROM HORIZ. PLANE, UNLESS NOTED OTHERWISE.
- D. ALL METAL ROOF FLASHING DETAILS SHALL BE PER SMACNA AND MANUFACTURER'S RECOMMENDATIONS AND REVIEWED BY THE ARCHITECT FOR DESIGN INTENT
- PROVIDE ROOF INSULATION SYSTEM BELOW ROOFING MEMBRANE, PER THE ROOFING ASSEMBLIES SPECIFIED IN DIVISION 07 SECTIONS.
- F. COORDINATE WITH OWNER REPRESENTATIVE FOR CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND POWER GENERATION LOCATIONS PRIOR TO START OF CONSTRUCTION.

KEYNOTES - ROOF PLAN

- 4.02 PRE-FINISHED STEEL ALUMINUM GUTTER.
 PAINT TO MATCH METAL ROOF. REFER TO SPECIFICATIONS.
- 4.03 PRE-FINISHED STEEL DOWNSPOUT. PAINT TO MATCH METAL ROOF. REFER TO SPECIFICATIONS.

KEY PLAN - PHASE III

ADMIN.

ADMIN. - EXISTING MAIN SPACE A - EXISTING ADOPTION KENNEL (PHASE I) B - EXISTING HOLDING KENNEL (PHASE II) C - EXISTING HOLDING KENNEL (PHASE III)

4.04 EXISTING ADJACENT ROOF AND ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. COORDINATE WITH MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

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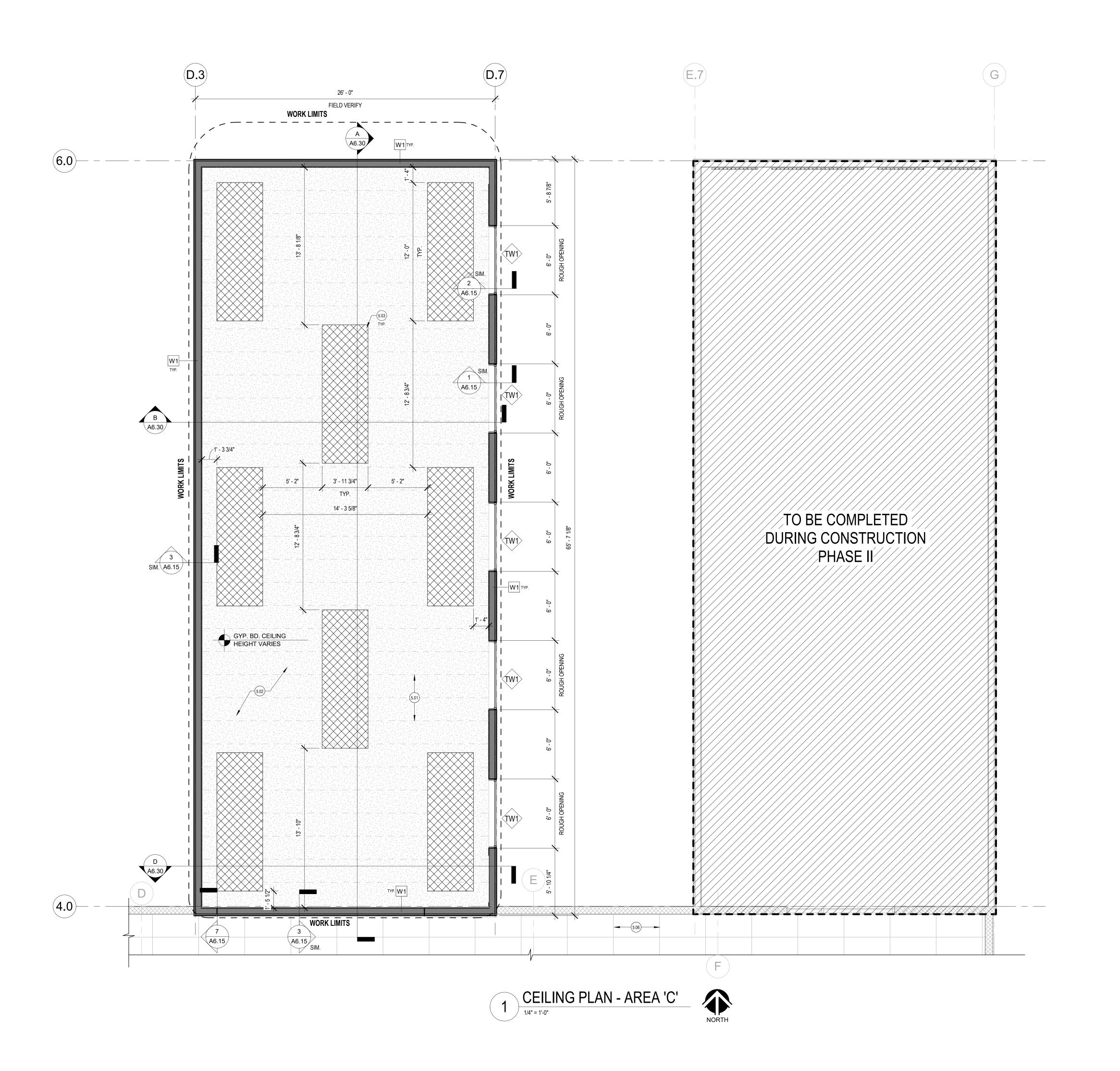
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ROOF PLAN -AREA 'C'

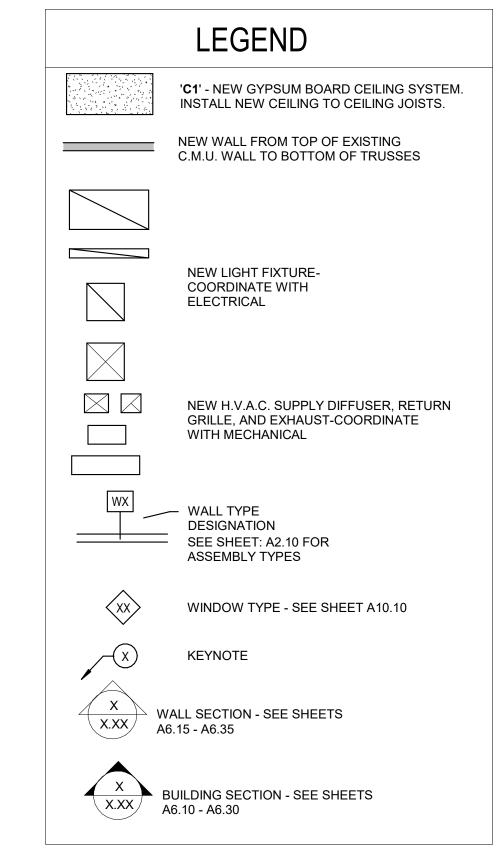
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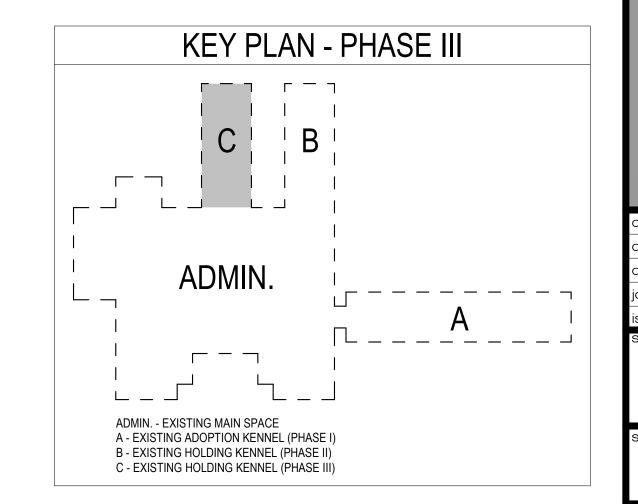
GENERAL NOTES - CEILING

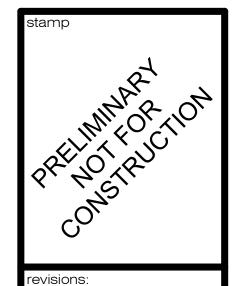
- A. COORDINATE LIGHT FIXTURES, GRILLES, DIFFUSERS, ETC. WITH MECHANICAL AND ELECTRICAL PLANS.
- B. THE CEILING HEIGHT SHOWN IN THE ROOM TAG INDICATES THE HEIGHT OF THE DOMINANT CEILING FINISH. SEE ADDITIONAL CEILING FINISH CALLOUTS FOR OTHER CEILING HEIGHT OR FEATURES.
- C. THE CONTRACTOR SHALL COORDINATE ALL TRADES TO ENSURE THAT DESIGNATED CEILING HEIGHTS CAN BE ACHEIVED. NOTIFY ARCHITECT OF ANY CONFLICTS OR CONDITIONS THAT PREVENT THIS FROM OCCURRING BEFORE PROCEEDING WITH THE WORK.
- D. ALL EXISTING CEILINGS TO HAVE EXISTING FINISH REMOVED AND NEW 'ORANGE PEEL' FINISH APPLIED.
- E. PATCH AND REPAIR ALL EXISTING CEILINGS TO BE OF 'NEW FINISH'. COORDINATE WITH FLOOR PLAN FOR NEW WALL LOCATIONS.
- F. COORDINATE WITH FINISH PLAN / SCHEDULES FOR COLORS, FINISHES,



KEYNOTES - REFLECTED CEILING PLAN

- DASHED LINES INDICATE TJI ROOF JOISTS FOR REFERENCE ONLY.
- COORDINATE WITH STRUCTURAL DRAWINGS.
- NEW 5/8" THICK MOISTURE RESISTANT GYPSUM BOARD CEILING. REFER TO ROOM FINISH SCHEDULE FOR TEXTURE AND PAINT COLOR AND COORDINATE WITH SPECIFICATIONS
- 1" THICK TECTUM PANELS MOUNTED TO GYP. BD. CEILING. COORDINATE WITH CEILING DETAILS AND WITH STRUCTURAL DRAWINGS AND SPECIFICATIONS. SIZES AND SPACING ARE INDICATED ON CEILING PLAN. LOCATE CEILING JOIST FOR MOUNTING OF TECTUM PANELS. REFER TO TECTUM PANEL MFR. FOR MOUNTING REQUIREMENTS.
- EXISTING ACOUSTICAL SYSTEM TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.





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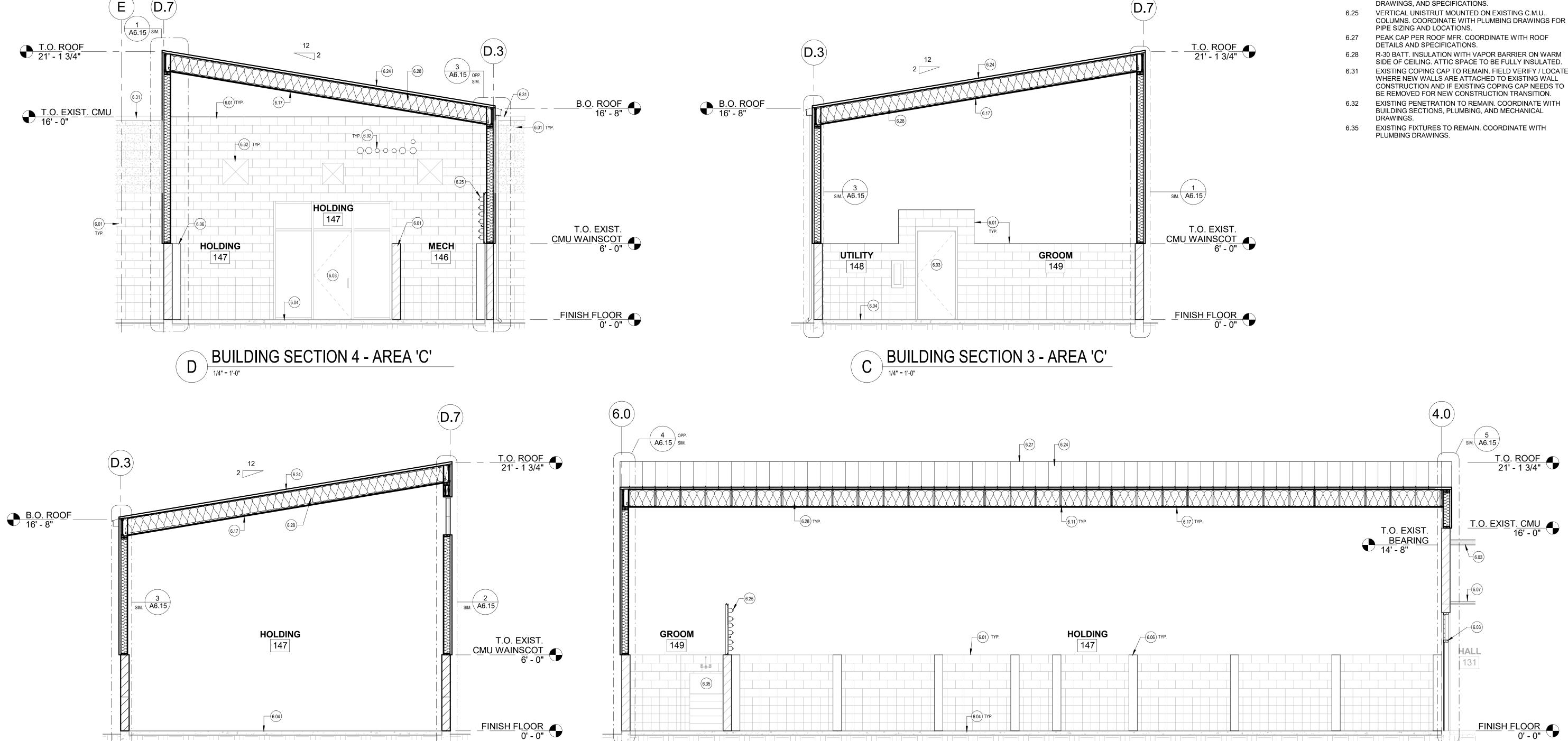
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AREA 'C' A5.30

Exhibit R



BUILDING SECTION 2 - AREA 'C'

A BUILDING SECTION 1 - AREA 'C'

1/4" = 1'-0"

GENERAL NOTES - BUILDING SECTION

- REFER TO FLOOR PLANS FOR EXTERIOR DOOR AND WINDOW TYPES.
- FIELD VERY AND LOCATE FINISH FLOOR ELEVATIONS AND INTERIOR SLOPE FLOOR SLAB AND ADJACENT EXISTING BUILDING HEIGHTS BEFORE NEW CONSTRUCTION STARTS.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW OTHER DRAWINGS FOR PENETRATIONS NOT SHOWN.
- REFER TO ELECTRICAL DRAWINGS FOR ROUGH-IN BACKBOX LOCATIONS AND HEIGHTS AT EXTERIOR LUMINARE LOCATIONS AND SIGNAGE.
- CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS, EQUIPMENT AND ALL OTHER ROOF PENETRATIONS UNLESS NOTED OTHERWISE.
- COORDINATE WITH OWNER REPRESENTATIVE FOR CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND POWER GENERATION LOCATIONS PRIOR TO START OF CONSTRUCTION.

KEYNOTES - BUILDING SECTIONS

- EXISTING C.M.U. WALL TO REMAIN. COORDINATE WITH
- STRUCTURAL DRAWINGS.
- EXISTING STRUCTURE TO REMAIN. EXISTING FLOOR TO REMAIN. COORDINATE WITH
- STRUCTURAL DRAWINGS.
- EXISTING C.M.U. COLUMN TO REMAIN. PROTECT DURING NEW CONSTRUCTION.
- EXISTING CEILING TO REMAIN.
- JOIST PER STRUCTURAL PLAN.
- 5/8" GYP. BD. ATTACHED TO CEILING JOIST. COORDINATE WITH FINISH SCHEDULE FOR COLORS AND FINISHES.
- 24 GA. STEEL STANDING SEAM ROOF OVER ROOFING ASSEMBLY. COORDINATE WITH ROOF PLAN, STRUCTURAL
- EXISTING COPING CAP TO REMAIN. FIELD VERIFY / LOCATE WHERE NEW WALLS ARE ATTACHED TO EXISTING WALL

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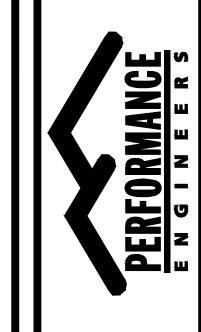
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ssued for OWNER BUILDING SECTIONS - AREA

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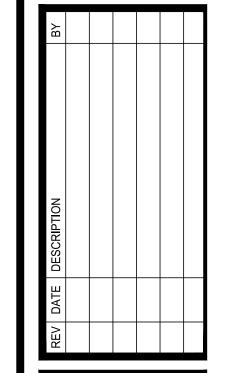
STRUCTURAL NOTES: A. DESIGN LOADS AND CRITERIA Fb: 2900 PSI Fv: 290 PSI 1. INTERNATIONAL BUILDING CODE (IBC) 2015 EDITION Fc: 2900 PSI GRAVITY LOADS (PSF): E: 2.0E6 PSI LOCATION DEAD LOAD LIVE OR TOTAL LOAD 12. PREFABRICATED WOOD TRUSSES SHALL CONFORM TO THE TRUSS PLATE INSTITUTE DESIGN SNOW LOAD SPECIFICATION FOR METAL-PLATE-CONNECTED WOOD TRUSSES. 1ST FLOOR / STAIRS 12.1. TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER TO SUPPORT ALL INDICATED ROOF LOADS. TRUSS LOADING: WIND CRITERIA: TOP CHORD DL: (SEE SECTION A) WIND SPEED: 115 MPH (3 SECOND GUST) TOP CHORD LL: (SEE SECTION A) EXPOSURE: BOTTOM CHORD DL: (SEE SECTION A) IMPORTANCE, I: BOTTOM CHORD LL: (SEE SECTION A) SEISMIC CRITERIA: 12.2. MEMBER PROPERTIES: CHORDS SHALL BE #2 DOUG FIR LARCH OR BETTER; WEBS SHALL RISK CATEGORY: HAVE MINIMUM MODULUS OF ELASTICITY OF 1,500,000 PSI DESIGN CATEGORY: 12.3. ALL TRUSS BLOCKING SHALL BE PROVIDED BY TRUSS MANUFACTURER AND Sds: CONSTRUCTED WITH APPROVED PLATES. Sd1: 12.4. TRUSS PROFILES SHOWN ARE REPRESENTATIONS OF POSSIBLE CONFIGURATIONS OF SITE CLASS: WEB LOCATIONS AND MEMBER SIZES. TRUSS MANUFACTURE SHALL SUBMIT SHOP IMPORTANCE, I: DRAWINGS FOR APPROVAL. ALL TRUSSES SHALL BE STAMPED AND SEALED BY A RESPONSE, R: PROFESSIONAL ENGINEER REGISTERED IN THE STATE THE PROJECT RESIDES IN. 5. SOIL BEARING PRESSURE: 1500 PSF ON UNDISTURBED SOIL 12.5. TRUSS MANUFACTURER SHALL PROVIDE PROOF OF THIRD PARTY INSPECTION AS 6. LATERAL SOIL PRESSURE: 35 PCF EQUIVALENT FLUID PRESSURE REQUIRED BY IBC SECTION 2303.4. 7. FROST DEPTH BELOW GRADE: 24 INCHES 12.6. IN ADDITION TO LOADS SPECIFIED ELSEWHERE, DESIGN PREFABRICATED WOOD TRUSS BOTTOM CHORDS FOR 10 PSF DEAD LOAD 12.7. DRILL LAG BOLT LEAD HOLES TO MATCH THE LAG BOLT SHANK DIAMETER AND HALF THE 1. DIMENSION LUMBER(GRADED BY WESTERN WOOD PRODUCTS ASSOCIATION (WWPA) OR WEST SHANK DIAMETER FOR THE THREADED PORTION. COAST LUMBER INSPECTION BUREAU (WCLIB): 1.1. STUDS: DOUG FIR LARCH STUD GRADE OR BETTER C. CONCRETE 1.2. JOISTS: DOUG FIR LARCH NO.2 OR BETTER FASTENERS: HILTI X-U 72 P8 S36 POWDER-ACTUATED FASTENERS 2. ALL NAILS SPECIFIED ARE TO BE COMMON WIRE NAILS, UNLESS NOTED OTHERWISE. ADHESIVE: SIMPSON "SET" OR EQUIVALENT 3. SPLICE DOUBLE TOP PLATE AT 8'-0" MINIMUM ON CENTER USING (18) 16d NAILS EACH SIDE OF THE SPLICE. D. MISCELLANEOUS 4. PROVIDE HEADERS FOR OPENINGS IN WALLS ACCORDING TO THE FRAMING PLAN 5. FRAMING CONNECTORS, ANCHORS, AND HANGERS SHOWN ON THE DRAWINGS ARE THE 1. COORDINATE OPENINGS AND EMBEDDED ITEMS NOTED ON ALL CONSTRUCTION DOCUMENTS PRODUCTS OF SIMPSON STRONG-TIE COMPANY (OR EQUIVALENT), SAN LEANDRO, CALIFORNIA WITH APPROPRIATE TRADES. AND ARE DESIGNATED BY MANUFACTURER'S STANDARD PRODUCT NUMBERS. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION AND USE. 6. WALL SHEATHING: 7/16" APA RATED SHEATHING, PANEL RATING 24/16, ATTACH WITH 16 GAUGE X 1 1/2" STAPLES AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING, U.N.O. ALL PANEL EDGES SHALL BE BLOCKED. 7. ROOF SHEATHING: 7/16" APA RATED SHEATHING, PANEL RATING 24/16, ATTACH WITH 8d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING, U.N.O. 8. FLOOR SHEATHING: 7/8" APA RATED T&G SHEATHING, PANEL RATING 48/24, ATTACH WITH 10d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING, U.N.O. 9. PROVIDE 1/8" GAP AT CONSTRUCTION PANEL BUTT JOINTS 10. GLUED LAMINATED TIMBERS: ANSI/AITC A190.1, 24F-V8 DF/DF U.N.O. 11. ENGINEERED WOOD PRODUCTS (WOOD I-JOISTS, WOOD & METAL OPEN-WEB JOISTS, LAMINATED VENEER LUMBER, AND PARALLEL-STRAND LUMBER) SHOWN ON THE DRAWINGS ARE THE PRODUCTS OF WEYERHAUSER (OR EQUIVALENT) AND ARE DESIGNATED BY THE MANUFACTURER'S STANDARD PRODUCT NUMBERS. THE INTENT OF THE DESIGN IS FOR THESE ITEMS TO BE ATTACHED TO EACH OTHER AND TO THE SURROUNDING STRUCTURE TO BEHAVE AS A SYSTEM. WHETHER SHOWN OR NOT, PROVIDE ACCESSORY ITEMS (BLOCKS, CLIPS, STIFFENERS, STRAPS, ETC.), DESIGNED BY THE MANUFACTURER, FOR A COMPLETE SYSTEM. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION AND USE. 11.1. FABRICATED WOOD JOISTS: ASTM D2559 11.2. LAMINATED VENEER LUMBER: ASTM D2559 Fb: 2900 PSI Fv: 285 PSI Fc: 2750 PSI E: 1.9E6 PSI 11.3 PARALLEL STRAND LUMBER: ASTM D2559

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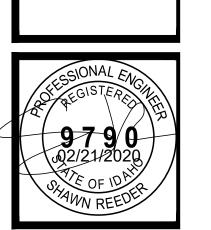
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KEY PLAN - PHASE III

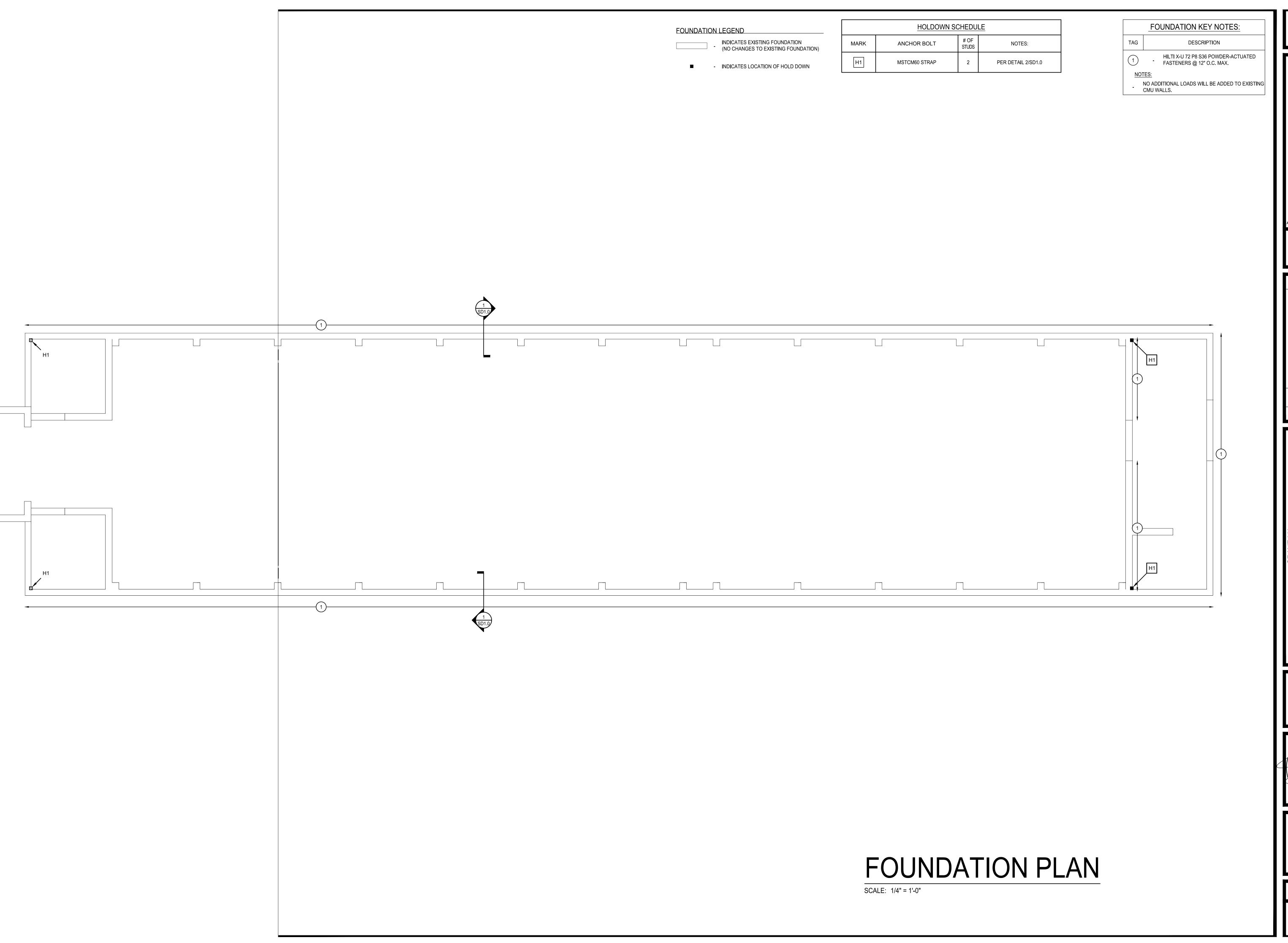
ADMIN. - EXISTING MAIN SPACE

A - EXISTING ADOPTION KENNEL (PHASE I)
B - EXISTING HOLDING KENNEL (PHASE II)
C - EXISTING HOLDING KENNEL (PHASE III)



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DATE:	02/21/2020
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DESIGN REVIEW:	SB
STRUCTURE BY:	SB
STRUCT. REVIEW:	SR
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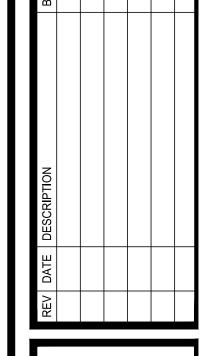
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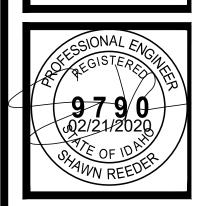
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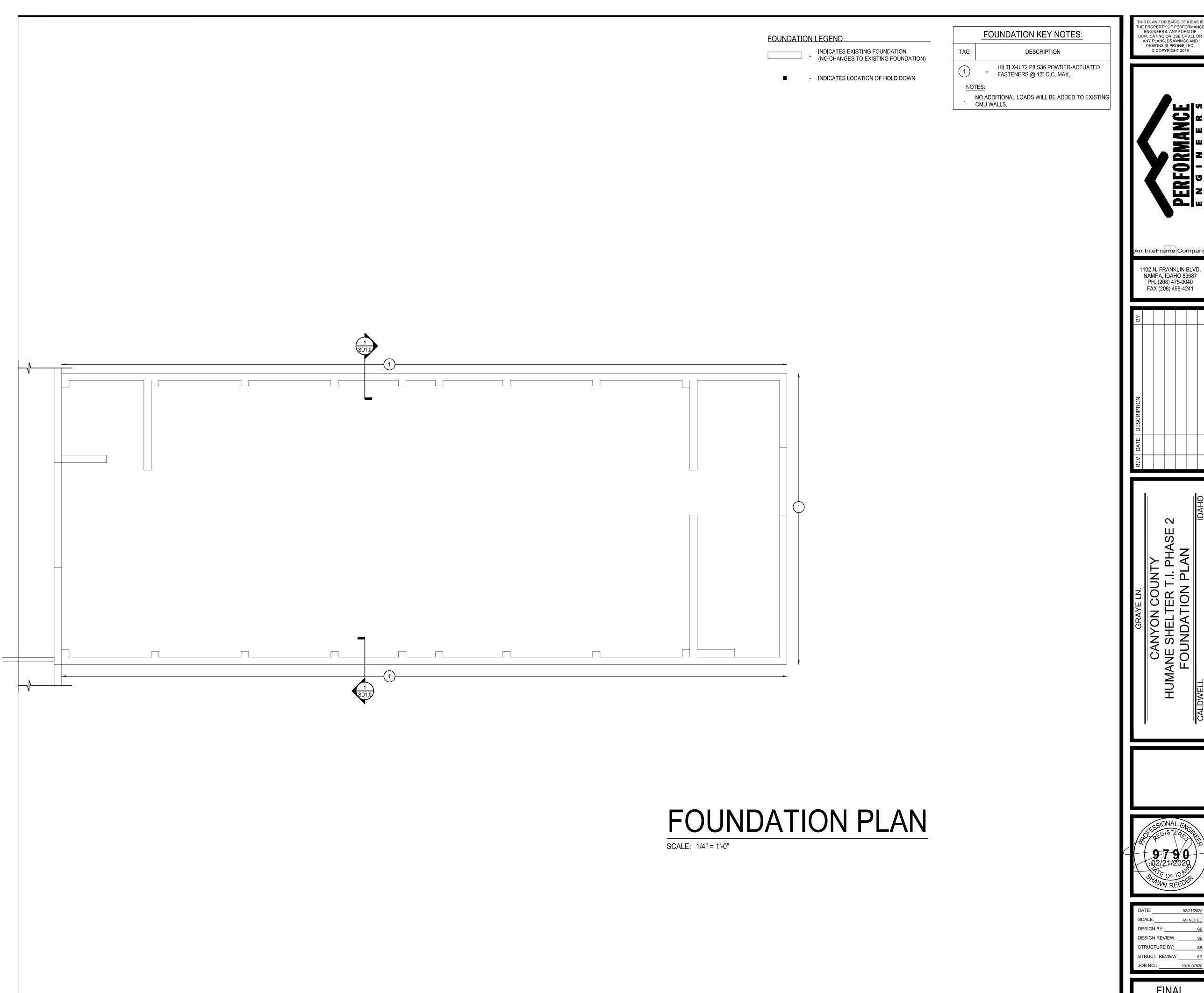
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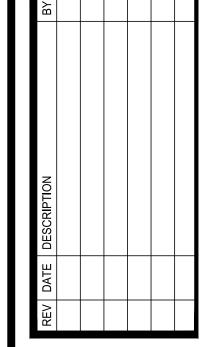
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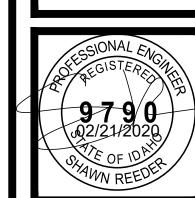


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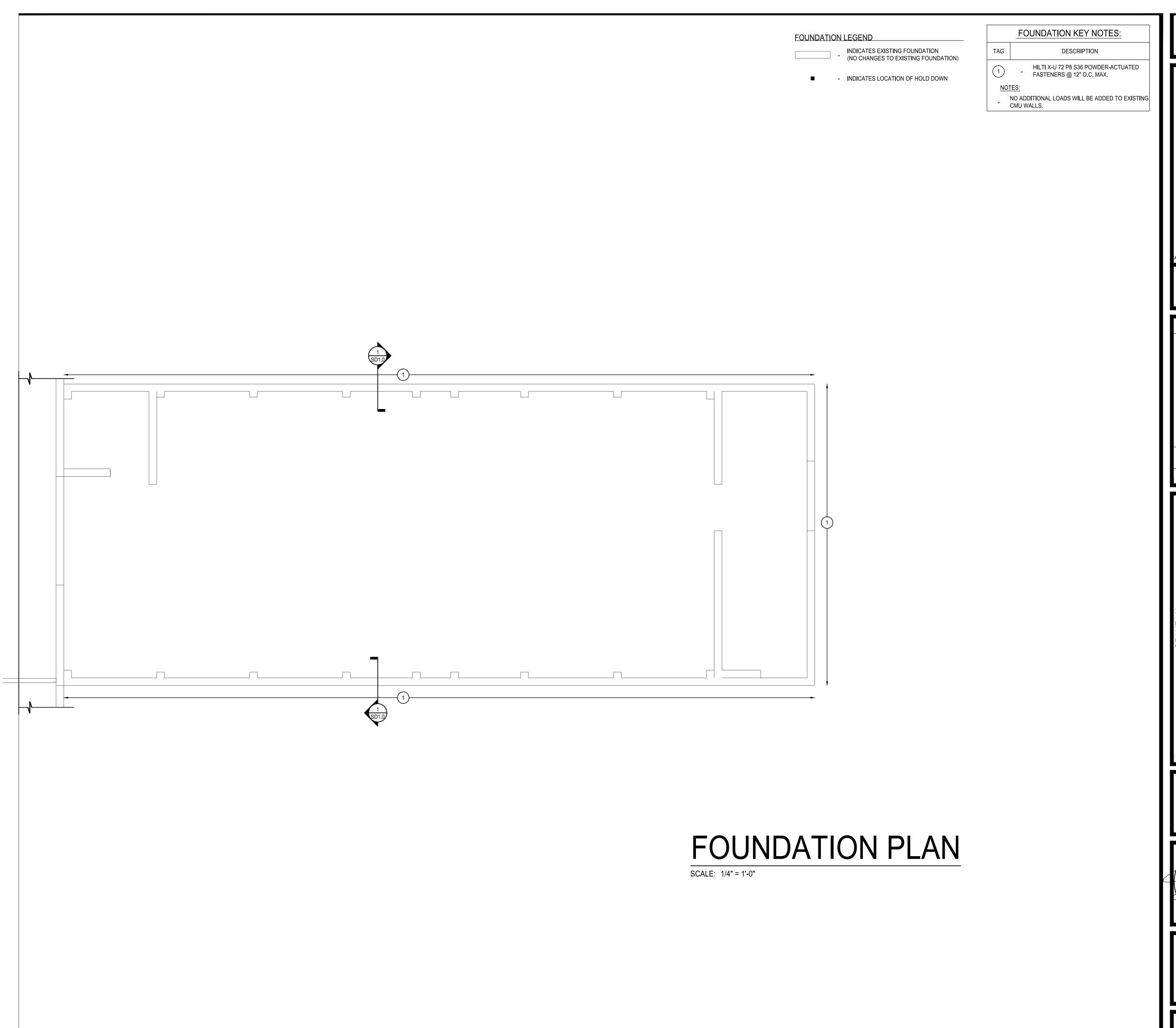


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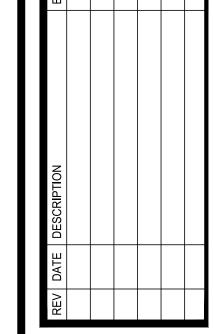


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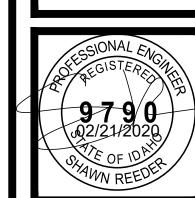


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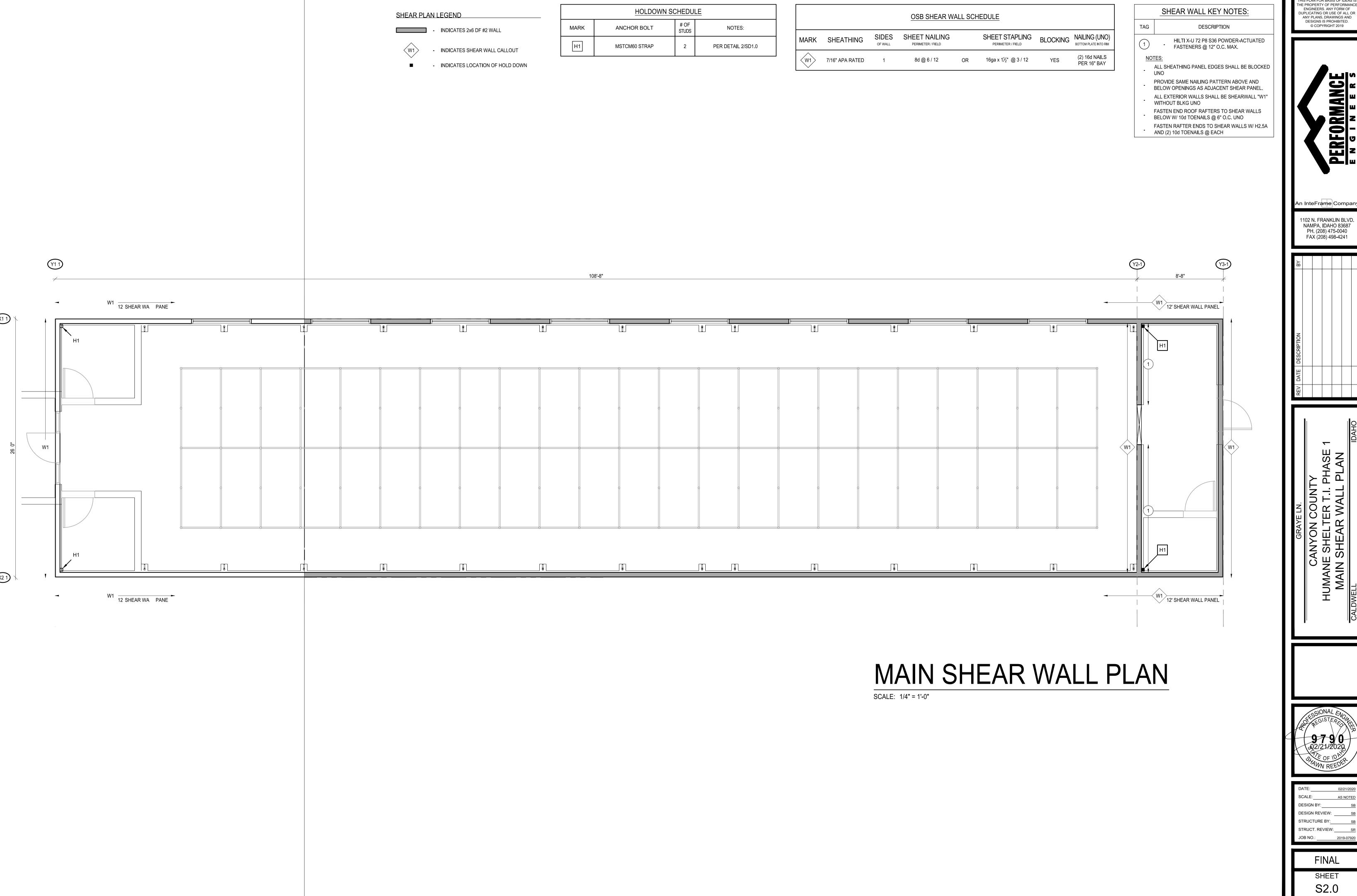


CANYON COUNTY
HUMANE SHELTER T.I. PHASE 3
FOUNDATION PLAN
IDAHO



1		
	DATE:	02/21/2020
	SCALE:	AS NOTED
	DESIGN BY:	SB
	DESIGN REVIEW:	SB
	STRUCTURE BY:	SB
	STRUCT. REVIEW:	SR
	JOB NO.:	2019-07920

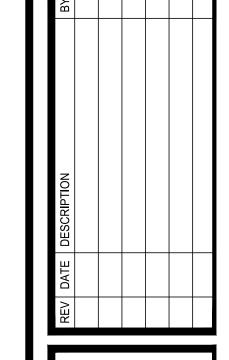
SHEET
S1.2

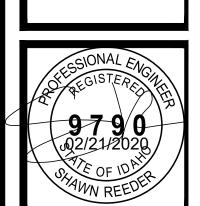


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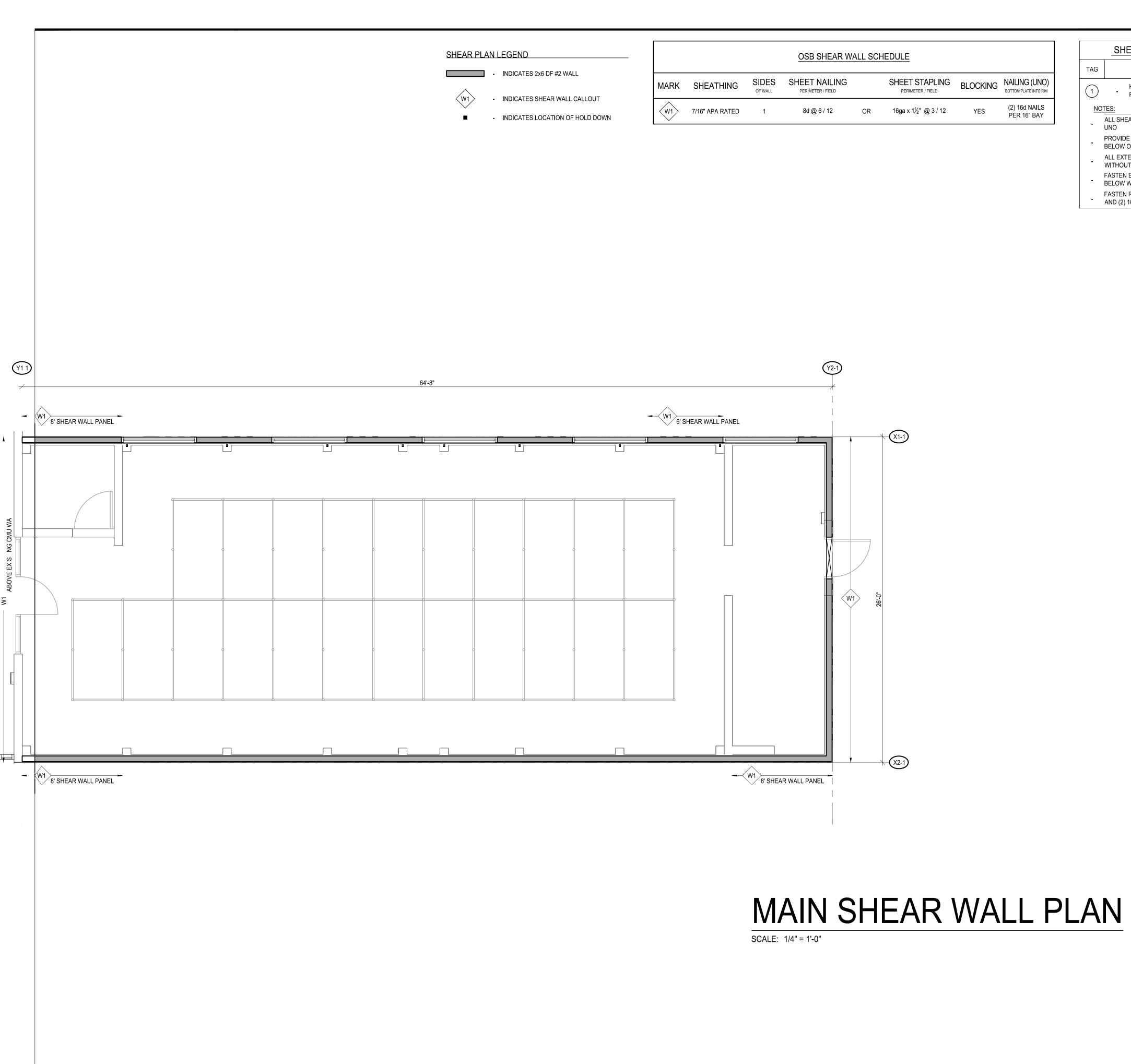


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STRUCT. REVIEW:	SR
JOB NO.:	2019-07920



TAG DESCRIPTION

1 HILTI X-U 72 P8 S36 POWDER-ACTUATED FASTENERS @ 12" O.C. MAX.

ALL SHEATHING PANEL EDGES SHALL BE BLOCKED

PROVIDE SAME NAILING PATTERN ABOVE AND BELOW OPENINGS AS ADJACENT SHEAR PANEL.

ALL EXTERIOR WALLS SHALL BE SHEARWALL "W1" WITHOUT BLKG UNO

FASTEN END ROOF RAFTERS TO SHEAR WALLS BELOW W/ 10d TOENAILS @ 6" O.C. UNO

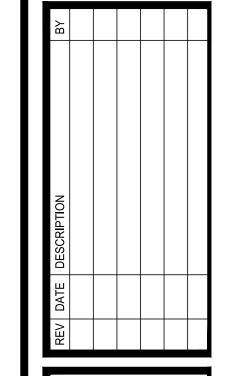
FASTEN RAFTER ENDS TO SHEAR WALLS W/ H2.5A AND (2) 10d TOENAILS @ EACH



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CANYON COUNTY
HUMANE SHELTER T.I. PHASE 2
MAIN SHEAR WALL PLAN

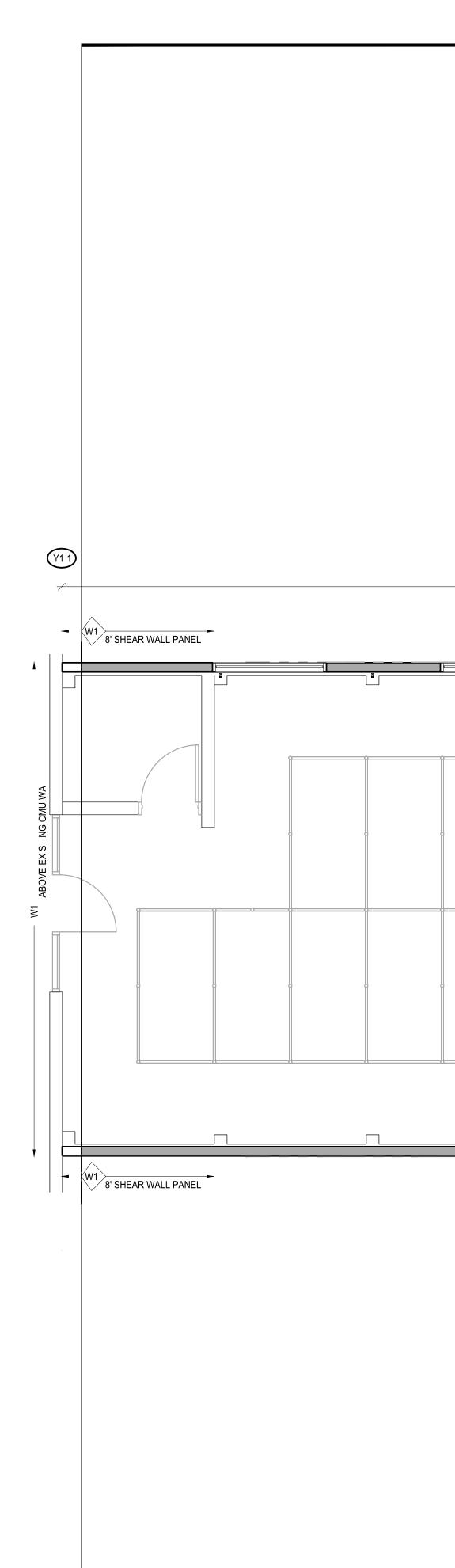
9790

QUIZINZO20

ONIMIN REEDER

1		
	DATE:	02/21/2020
	SCALE:	AS NOTED
	DESIGN BY:	SB
	DESIGN REVIEW:	SB
	STRUCTURE BY:	SB
	STRUCT. REVIEW:	SR
	JOB NO.:	2019-07920

SHEET
S2.1



-	OSB SHEAR WALL SCHEDULE							
	MARK	SHEATHING	SIDES OF WALL	SHEET NAILING PERIMETER/FIELD		SHEET STAPLING PERIMETER / FIELD	BLOCKING	NAILING (UNO BOTTOM PLATE INTO RIM
	W1>	7/16" APA RATED	1	8d @ 6 / 12	OR	16ga x 1½" @ 3 / 12	YES	(2) 16d NAILS PER 16" BAY

W1 6' SHEAR WALL PANEL

8' SHEAR WALL PANEL

SCALE: 1/4" = 1'-0"

MAIN SHEAR WALL PLAN

SHEAR PLAN LEGEND

- INDICATES 2x6 DF #2 WALL

- INDICATES SHEAR WALL CALLOUT

INDICATES LOCATION OF HOLD DOWN

			OSB SHEAR WA	ALL SCI	HEDULE		
MARK	SHEATHING	SIDES OF WALL	SHEET NAILING PERIMETER / FIELD		SHEET STAPLING PERIMETER / FIELD	BLOCKING	NAILING (UNO) BOTTOM PLATE INTO RIM
₩1>	7/16" APA RATED	1	8d @ 6 / 12	OR	16ga x 1½" @ 3 / 12	YES	(2) 16d NAILS PER 16" BAY

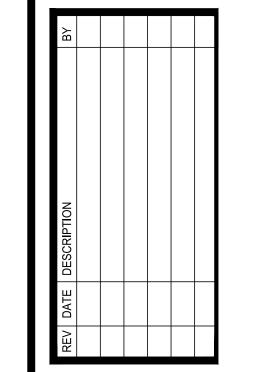
	SHEAR WALL KEY NOTES:		
	TAG	DESCRIPTION	
UNO) INTO RIM	1	HILTI X-U 72 P8 S36 POWDER-ACTUATED FASTENERS @ 12" O.C. MAX.	

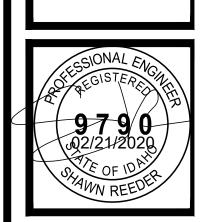
ALL SHEATHING PANEL EDGES SHALL BE BLOCKED

- PROVIDE SAME NAILING PATTERN ABOVE AND BELOW OPENINGS AS ADJACENT SHEAR PANEL.
- ALL EXTERIOR WALLS SHALL BE SHEARWALL "W1" WITHOUT BLKG UNO
- FASTEN END ROOF RAFTERS TO SHEAR WALLS BELOW W/ 10d TOENAILS @ 6" O.C. UNO
- FASTEN RAFTER ENDS TO SHEAR WALLS W/ H2.5A AND (2) 10d TOENAILS @ EACH



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HEADER NOTES:

HEADER SCHEDULE (SEE 4/SD1.0) FRAMING LEGEND

 $|\langle H1 \rangle|$ (2) 2x10 DF #2 | (2) 2x6 DF #2 KING STUDS

- INDICATES HEADER CALLOUT

- INDICATES 2x STUD WALL

FRAMING KEY NOTES:

DESCRIPTION

- 16" TJI 210's @ 24" O.C.

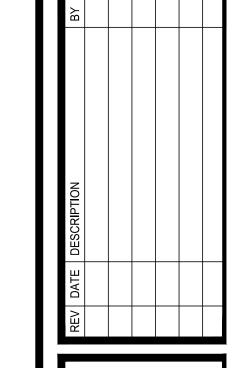
16" LSL DRAG STRUT, ALIGN W/ SHEAR
- WALL BELOW AND FASTEN W/ 10d
TOENAILS @ 6" O.C. UNO

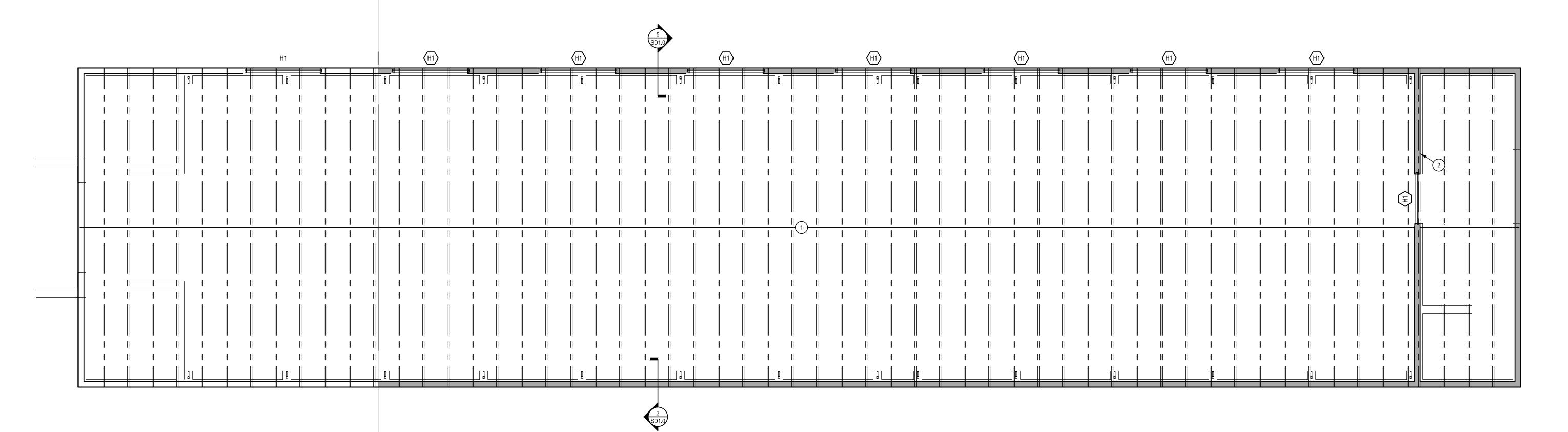
- NEW BEARING WALLS TO BE 2x6 DF #2 @ 16" O.C.

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SCALE: 1/4" = 1'-0"

HEADER SCHEDULE (SEE 2/SD1.0) FRAMING LEGEND

HEADER NOTES: $|\langle H1 \rangle|$ (2) 2x10 DF #2 | (2) 2x6 DF #2 KING STUDS

- INDICATES 2x STUD WALL

- INDICATES HEADER CALLOUT

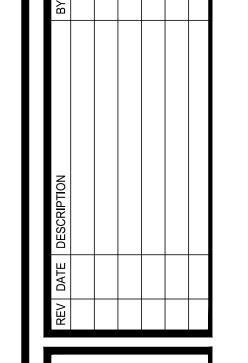
FRAMING KEY NOTES: DESCRIPTION

- 16" TJI 210's @ 24" O.C.

NOTES: - NEW BEARING WALLS TO BE 2x6 DF #2 @ 16" O.C. An InteFrame Company

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١,		
	DATE:	02/21/2020
	SCALE:	AS NOTED
	DESIGN BY:	SB
	DESIGN REVIEW:	SB
	STRUCTURE BY:	SB
	STRUCT. REVIEW:	SR
	JOB NO.:	2019-07920

ROOF FRAMING PLAN

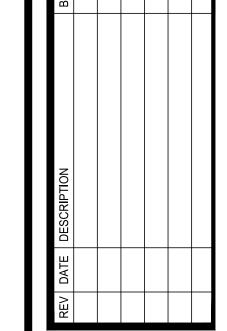
SCALE: 1/4" = 1'-0"

FRAMING KEY NOTES: HEADER SCHEDULE (SEE 2/SD1.0) FRAMING LEGEND DESCRIPTION HEADER NOTES: - INDICATES 2x STUD WALL $|\langle H1 \rangle|$ (2) 2x10 DF #2 | (2) 2x6 DF #2 KING STUDS - 16" TJI 210's @ 24" O.C. - INDICATES HEADER CALLOUT NOTES: - NEW BEARING WALLS TO BE 2x6 DF #2 @ 16" O.C. An InteFrame Company ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"

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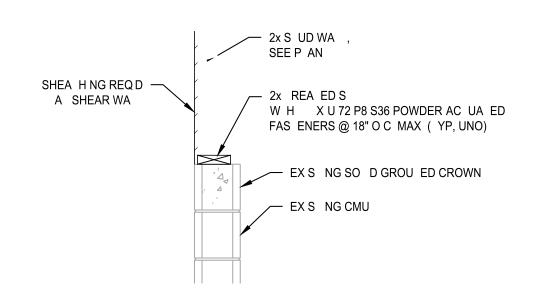


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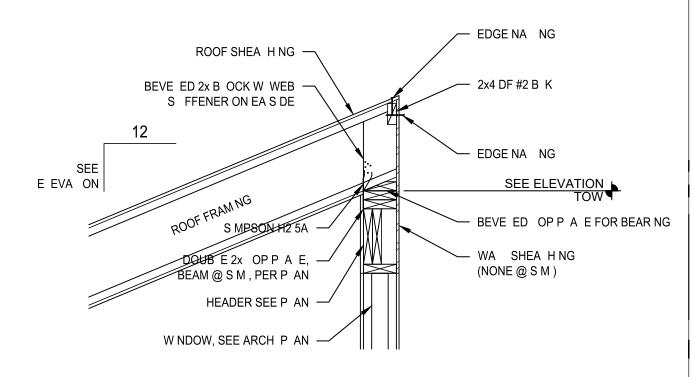




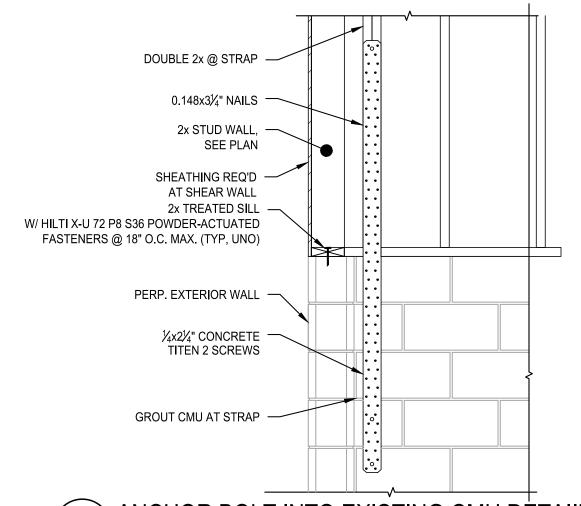
Ι.		
	DATE:	02/21/2020
	SCALE:	AS NOTED
	DESIGN BY:	SB
	DESIGN REVIEW:	SB
	STRUCTURE BY:	SB
	STRUCT. REVIEW:	SR
	JOB NO.:	2019-07920



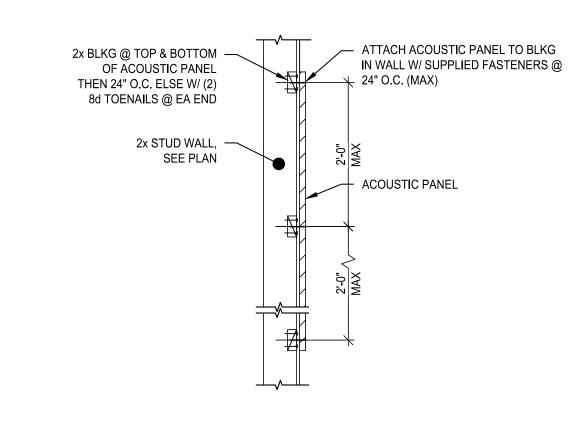
1 S UD WA O EX S NG CMU DE A



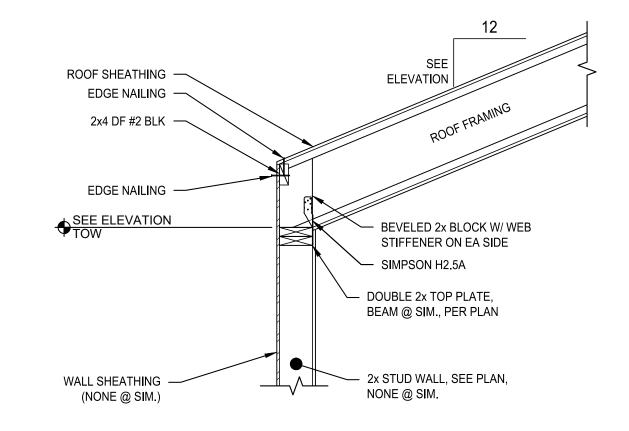
5 ROOF RAF ER BEAR NG DE A SD1 0 SCA E: 3 4" = 1 0"



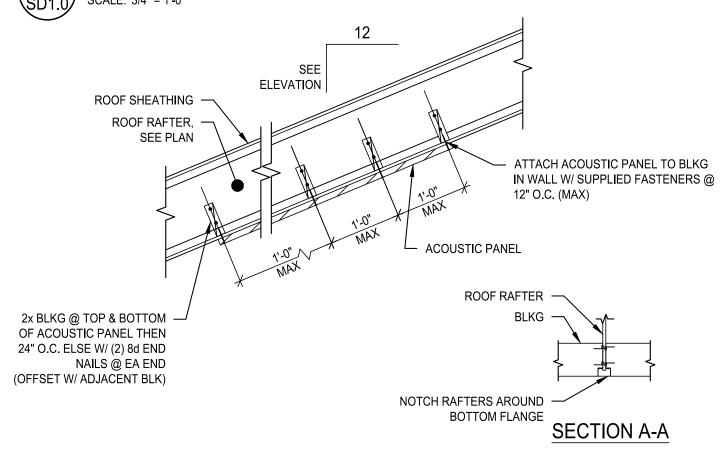
2 ANCHOR BOLT INTO EXISTING CMU DETAILL SD1.0 SCALE: 3/4" = 1'-0"



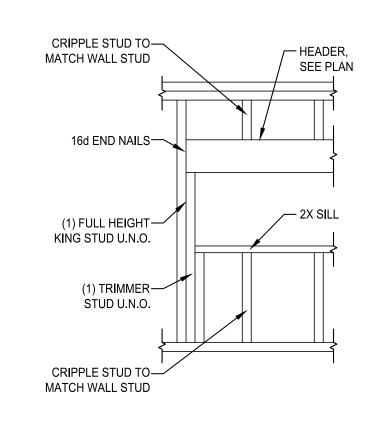
6 WALL ACOUSTIC PANEL ATTACHMENT DETAILL
SD1.0 SCALE: 3/4" = 1'-0"



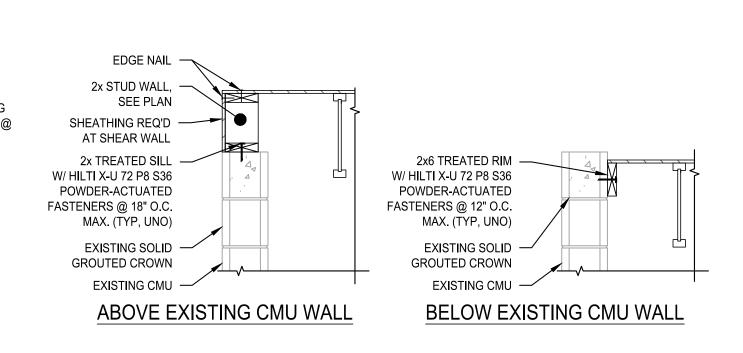
3 ROOF RAFTER BEARING DETAILL SD1.0 SCALE: 3/4" = 1'-0"



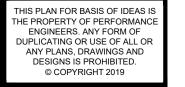
7 CEILING ACOUSTIC PANEL ATTACHMENT DETAIL
SD1.0 SCALE: 3/4" = 1'-0"



4 TYPICAL HEADER DETAIL SD1.0 SCALE: N.T.S.



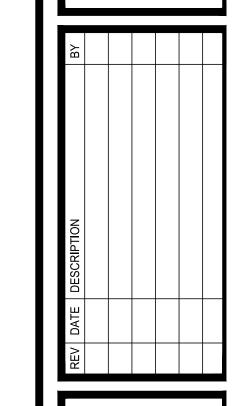
8 CEILING ROOF TO EXIST. CMU ATTACHMENT DETAILL
SD1.0 SCALE: 3/4" = 1'-0"





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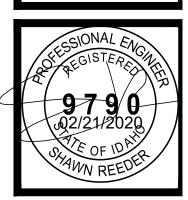


GRAYE LN.

CANYON COUNTY
IUMANE SHELTER T.I.

DETAILS

GIONAL FAL



DATE:	02/21/2020
SCALE:	AS NOTED
DESIGN BY:	SB
DESIGN REVIEW:	SB
STRUCTURE BY:	SB
STRUCT. REVIEW:	SR
JOB NO.:	2019-07920
	SCALE: DESIGN BY: DESIGN REVIEW: STRUCTURE BY: STRUCT. REVIEW:

SHEET
SD1.0

ROOF TOP UNIT SCHEDULE - EXISTING

′ L																								
NO.	TYPE	NOM.	CFM	НР	MCA	CHAR	RPM	SEER/EER	REFRIG.	SPE		HEATING			COOLIN				FRESH AIR	WEIGHT	ROOF TOP UNIT MANUFACTURER	ECONOMIZER		
NO.	11176	TONS	CITIVI	1115	IVICA	CHAR	IXLIAI	3EER/EER	KEFKIG.	SFL	MBH INPUT	MBH OUTPUT	ENT AIR	LVG AIR	MBH	S/T	STAGES	ENT AIR	LVG AIR	OUTSIDE AIR	CFM	WEIGHT	ROOF TOF UNIT MANUFACTURER	ECONOMIZER
1	PACKAGED	3	1200																					
2	PACKAGED	2-1/2	1000																					
3	PACKAGED	2	800																					
4	PACKAGED	3	1200																					
5	PACKAGED	2	800																					
6	PACKAGED	3	1200																					
7	PACKAGED	5	2000																					
8	PACKAGED	12.5	4800																					
9	PACKAGED	4	1600																					

MECHANICAL ABBREVIATIONS

DESCRIPTION

SYMBOL

NO. DESCRIPTION DATE



ERV BALANCE

EQUIPMENT

RTU-1

RTU-2

RTU-3

RTU-4

RTU-5

RTU-6

RTU-7

RTU-8

RTU-9

TOTAL

ZONE

RECEPTION

INTAKE/SURGERY

ANIMAL CONTROL

QUARANTINE

EUTHANIZATION

OFFICE

ANIMAL ROOMS

RECEPTION

CONFERENCE ROOM

ADOPTION

HOLDING

HOLDING

TOTAL

EQUIPMENT

RTU-1

RTU-2

RTU-3

RTU-4

RTU-5/EF-2

ERV BALANCE

EXHAUST CFM

100

275

250

1500

-250

ZONE

RECEPTION

INTAKE/SURGERY

ANIMAL CONTROL

QUARANTINE

EUTHANIZATION

(P)

SUPPLY CFM

1200

1000

800

1200

800

1200

2000

4800

1600

14600

EXH CFM

100

275

250

1500

-250

400

1900

200

4500

2500

2500

13755

SUPPLY CFM

1200

1000

800

1200

800

RV #							EN	ERGY	Y RE	COVER	Y VEN	ITIL	ATO	RS	SCHE	EDUL	.E - E	EXIS	TING		
							SU	PPLY AIR						RE	TURN AIR						
	NO.	TYPE	CHAR	CFM	SPE	RPM	μр	WINTER D	DESIGN	SUMMER DESIG	CFM	SPE	RPM	μр	WINTER	DESIGN	SUMME	R DESIGN	WEIGHT	MANUFACTURER	REMARKS
				CFIVI	SPE	KPIVI	ПР	ENT AIR I	LVG AIR	ENT AIR LVG AI	R	SPE	KFIVI	ПР	ENT AIR	LVG AIR	ENT AIR	LVG AIR			
	1	STATIC PLATE		14,600							14,100										

(B)						BOIL	ER S	CHED	ULE -	EXIS	TING			
	NO.	TYPE	INPUT MBH	NET OUTPUT MBH	EFF	MAXIMUM LWT	EWT	LWT	GPM	PD FT	NORMAL OPERATING PRESSURE	BOILER RELIEF PRESSURE	WEIGHT	MANUFACTURER
	1	EXISTING	750	675	90%		90°	110°	68					

L	'	EXISTING 750	0/3		/ 0		,	10 00			
						DIIMD	SCHE	EDULE - EXISTIN	G		
7						I OWII	30111	DOLL - LAIGTIN	J		
	NO.	TYPE	GPM	HEAD	HP/ WATTS	CHAR	RPM	SYSTEM	SIZE	WEIGHT	MANUFACTURER
	1	IN-LINE	68	30				PRIMARY HEATING			
	2	IN-LINE	68	30				PRIMARY HEATING			
	3	IN-LINE	30	20				HEAT RECOVERY			
	4	IN-LINE	10	35				HOLDING RADIANT			
	5	IN-LINE	10	35				HOLDING RADIANT			
	6	IN-LINE	18	35				ADOPTION RADIANT			

UH #		UN	IT HEA	TER SC	HEDUL	.E (G <i>I</i>	AS) - E	XISTIN	G	
	NO.	TYPE	HEA MBH INPUT	TING MBH OUPUT	CFM	HP	CHAR	GAS TYPE	WEIGHT	MANUFACTURER
	1	PROPELLER	75							
	2	PROPELLER	75							

EF #		EXHAUST FAN SCHEDULE - EXISTING												
	NO.	TYPE	CFM	SPE	WATTS / HP	CHAR	RPM	WEIGHT	MANUFACTURER	REMARKS				
	1	ROOF UPBLAST	1500											
	2	CABINET CENTRIFUGAL	250											

EC #			EVA	APORA	ATIVE C	OOL	ER S	CHE	DULE	=		EVAPORATIVE COOLER SCHEDULE									
	NO.	TYPE	SIZE	CFM	CHAR	HP	SPE	OAT	% EFF.	DELTA T	UNIT WEIGHT	MANUFACTURER									
	1	PACKAGED UNIT		2250																	
	2	PACKAGED UNIT		1250																	
	3	PACKAGED UNIT		1250																	

GRILLE AND REGISTER SCHEDULE										
SYMBOL	DESCRIPTION	TYPE	FINISH							
EG	EXHAUST GRILLE	'TITUS' 50F	OFF WHITE							

	DRAWING LEGEND
SHEET	DRAWING TITLE
M1.00	MECHANICAL COVER SHEET
M1.10	MECHANICAL DETAILS
M2.00	DEMOLITION PLAN — AREA A
M2.10	DEMOLITION PLAN — AREAS B & C
м3.00	HVAC PLAN — OVERALL
M3.10	HVAC PLAN — AREA A
M3.20	HVAC PLAN — AREAS B & C
M4.00	PLUMBING PLAN
	M1.00 M1.10 M2.00 M2.10 M3.00 M3.10 M3.20

31101002	DESCRIPTION		BESOM HOW	
—— НЅ ———	HYDRONIC WATER SUPPLY PIPING	AFF	ABOVE FINISHED FLOOR	
——————————————————————————————————————	HYDRONIC WATER RETURN PIPING	BTU	BRITISH THERMAL UNITS	
}	PIPE BREAK	CFM	CUBIC FEET PER MINUTE	
0	PIPE RISE	CHAR	CHARACTERISTICS	[−] ∣ іш
C	PIPE DROP	EAT	ENTERING AIR TEMPERATURE	
<u></u>	PIPE END CAP	EER	ENERGY EFFICIENCY RATIO	
	REDUCER	EFF	EFFICIENCY	_ N
Ī	PT PLUG	ENT	ENTERING	ПШ > Ы
-	TEMPERATURE GAUGE	EVAP	EVAPORATIVE	
9	PRESSURE GAUGE	FA	FRESH AIR	
PS	PRESSURE SENSOR	FLA	FULL LOAD AMPS	EY HUMANE ENOVATION 5801 GRAYE LN. CALDWELL, IDAHO 83607
TS	TEMPERATURE SENSOR	FT	FEET	
<u></u>	STRAINER	HP	HORSE POWER	7 2 280 280 280 280 280 280 280 280 280 280
1 1	UNION	HR	HOUR	HEN SALD
•	POINT OF CONNECTION EXISTING TO NEW	kW	KILOWATT	
	PUMP	LAT	LEAVING AIR TEMPERATURE	
N	BUTTERFLY VALVE	LB	POUNDS	$\exists >$
161	BALL VALVE	LVG	LEAVING	
N	CHECK VALVE	MAX	MAXIMUM	_ ഗ
	CIRCUIT SETTER	MBH	BTU'S IN THOUSANDS	
<u> </u>	3-WAY CONTROL VALVE	MCA	MINIMUM CIRCUIT AMPS	
	PRESSURE REDUCING VALVE	MIN	MINIMUM	
101110H	REDUCED PRESSURE BACKFLOW PREVENTER	NO	NUMBER	
88888	FLEXIBLE CONNECTOR STEEL BRAID	NTS	NOT TO SCALE	THESE DOCUMENTS HAVE BEEN PRODUCED AS AN INSTRUMENT OF SERVICE AND ARE INTENDED SOLELY FOR THE PURPOSE OF CONSTRUCTING,
*	PRESSURE RELIEF VALVE	OA	OUTSIDE AIR	USING AND MAINTAINING THE PROJECT. HOUSTON - BUGATSCH ARCHITECTS, CHTD, AS THE ARCHITECT OF RECORD FOR THE PROJECT RETAINS OWNERSHIP OF THESE DOCUMENTS.
T	THERMOSTAT	OAT	OUTSIDE AIR TEMPERATURE	ANY USE OF THESE DOCUMENTS OR USE OF THIS DESIGN, IDEAS OR CONCEPTS DESCRIBED HEREIN
M/\/\	MOTORIZED DAMPER	OBD	OPPOSED BLADE DAMPER	IN WHOLE OR PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT BY WRITTEN CONSENT OF HOUSTON - BUGATSCH ARCHITECTS, CHTD.
	CONICAL SPIN IN FITTING WITH HAND DAMPER	PD	PRESSURE DROP	REPRODUCTION OF THIS DOCUMENT IS STRICTLY PROHIBITED EXCEPT BY WRITTEN CONSENT OF
©	ROUND CEILING DIFFUSER	PRV	PRESSURE REDUCING VALVE	HOUSTON - BUGATSCH ARCHITECTS, CHTD. COPYRIGHT 2019 HOUSTON - BUGATSCH ARCHITECTS, CHTD.
Ø	CEILING DIFFUSER	RA	RETURN AIR	AROTHEOTO, OTTO.
	RETURN GRILLE	RPM	REVOLUTIONS PER MINUTE	3942
	EXHAUST GRILLE	SEER	SEASONAL ENERGY EFFICIENCY RATIO	(208) 442-3942
\boxtimes	SUPPLY DUCT	SF	SQUARE FEET	(208)
	RETURN DUCT	SP	STATIC PRESSURE	3687 9 FAX
			<u>†</u>	

SPE

S/T

TYP

MECHANICAL LEGEND

EXHAUST DUCT

EQUIPMENT CALLOUT

FLEX DUCT

DESCRIPTION

ENGINEERING 9050 W. Overland Rd. Phone: (208) 658-0218 Suite 170 Fax: (208) 658-0219 Boise, ID 83709 JOB # 19176

STATIC PRESSURE EXTERNAL

TYPICAL

SENSIBLE TO TOTAL COOLING RATIO

checked BT 02/26/2020 drawn job no. 19057 issued for OWNER

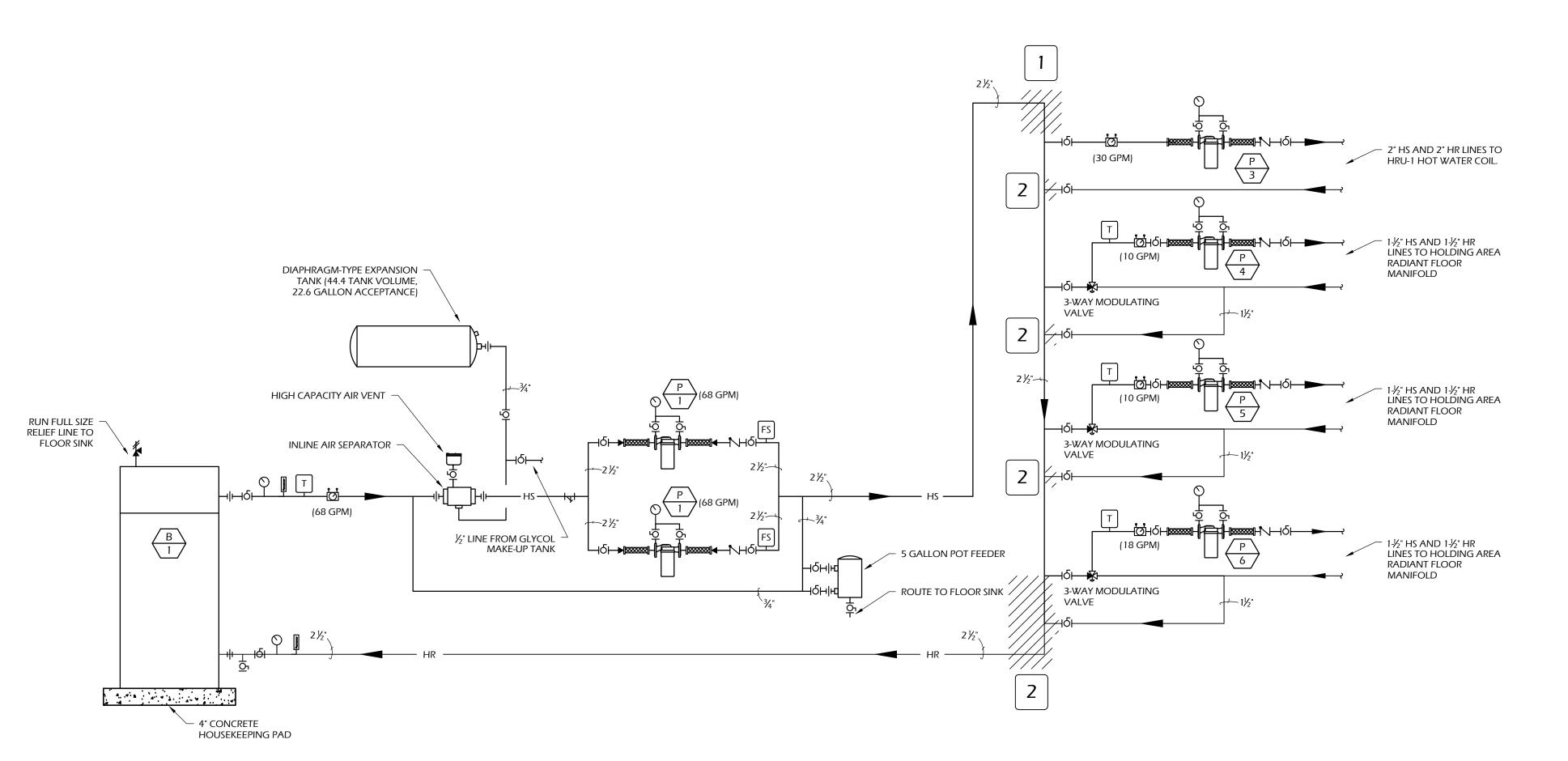
MECHANICAL **COVER SHEET**

sheet title:

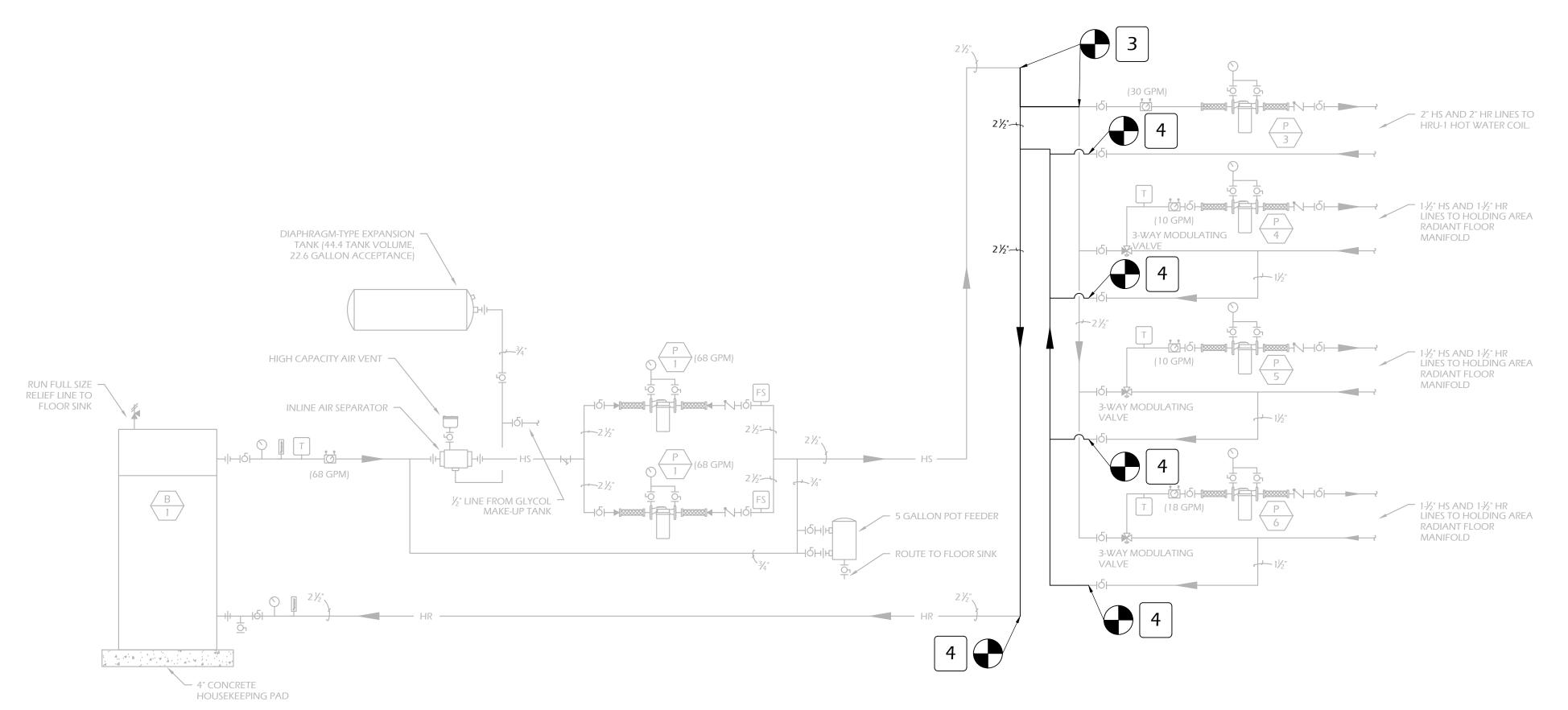
sheet number:

Exhibit R

1200 400 RTU-6OFFICE 2000 RTU-71900 ANIMAL ROOMS 4800 RTU-8 RECEPTION 1600 RTU-9 200 CONFERENCE ROOM TRANSFER ONLY 4500 ADOPTION ____ TRANSFER ONLY 2500 HOLDING ___ TRANSFER ONLY HOLDING TOTAL EXHAUST 14600 TOTAL SUPPLY 13875



HEATING WATER SYSTEM PIPING DEMOLITION SCHEMATIC



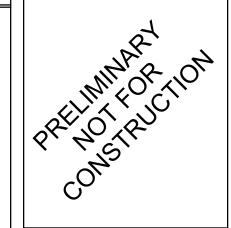
HEATING WATER SYSTEM PIPING SCHEMATIC M1.10 SCALE: NTS

DEMOLITION GENERAL NOTES:

- ALL PIPING AND EQUIPMENT SHOWN ON DEMOLITION PLAN IS EXISTING.
- ALL PIPING AND EQUIPMENT SHOWN AS HATCHED ON DEMOLITION PLAN SHALL BE REMOVED AND LEGALLY DISPOSED OF BY MECHANICAL CONTRACTOR. ALL REMAINING PIPING AND EQUIPMENT SHOWN ON

DEMOLITION PLAN WITHOUT HATCHING IS EXISTING TO REMAIN.

- COORDINATE DEMOLITION ACTIVITIES WITH BOTH GENERAL CONTRACTOR AND OWNER. NOTIFY OWNER IN ADVANCE OF ANY DISRUPTION OF MECHANICAL SERVICES PRIOR TO START OF DEMOLITION WORK.
- MECHANICAL CONTRACTOR TO VERIFY DEMOLITION REQUIREMENTS PRIOR TO BEGINNING ANY DEMOLITION WORK. ANY DISCREPANCIES FOUND ON DRAWINGS SHALL BE REPORTED IMMEDIATELY TO GENERAL CONTRACTOR AND ARCHITECT.
- IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN DEMOLITION WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY GENERAL CONTRACTOR AND ARCHITECT.
- MECHANICAL CONTRACTOR SHALL PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION.



revisions: NO. DESCRIPTION DATE

KEY NOTES:

- DISCONNECT EXISTING HYDRONIC WATER SUPPLY PIPING AT INDICATED
- CONNECT NEW HYDRONIC SUPPLY WATER PIPING TO EXISTING HYDRONIC WATER SUPPLY PIPING. PLUMBING CONTRACTOR TO VERIFY SIZE AND CONNECTION LOCATION IN FIELD PRIOR TO WORK COMMENCING.

- LOCATION. PRESERVE EXISTING PIPE FOR RECONNECTION IN NEW CONFIGURATION.
- DISCONNECT EXISTING HYDRONIC WATER RETURN PIPING AT INDICATED LOCATION. PRESERVE EXISTING PIPE FOR RECONNECTION IN NEW CONFIGURATION.
- CONNECT NEW HYDRONIC RETURN WATER PIPING TO EXISTING HYDRONIC WATER RETURN PIPING. PLUMBING CONTRACTOR TO VERIFY SIZE AND CONNECTION LOCATION IN FIELD PRIOR TO WORK COMMENCING.

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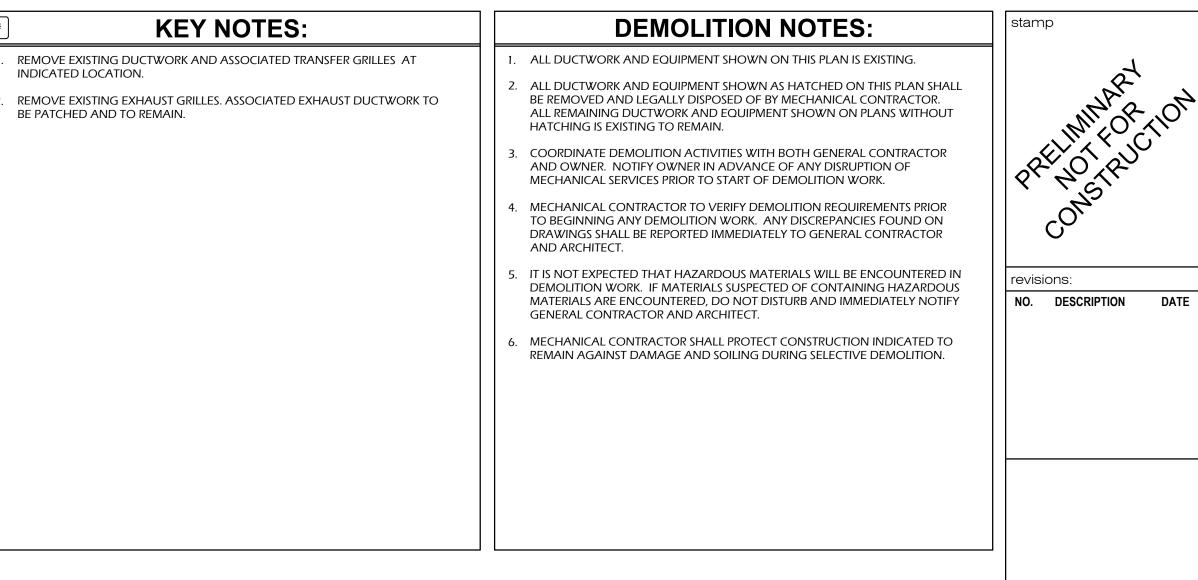
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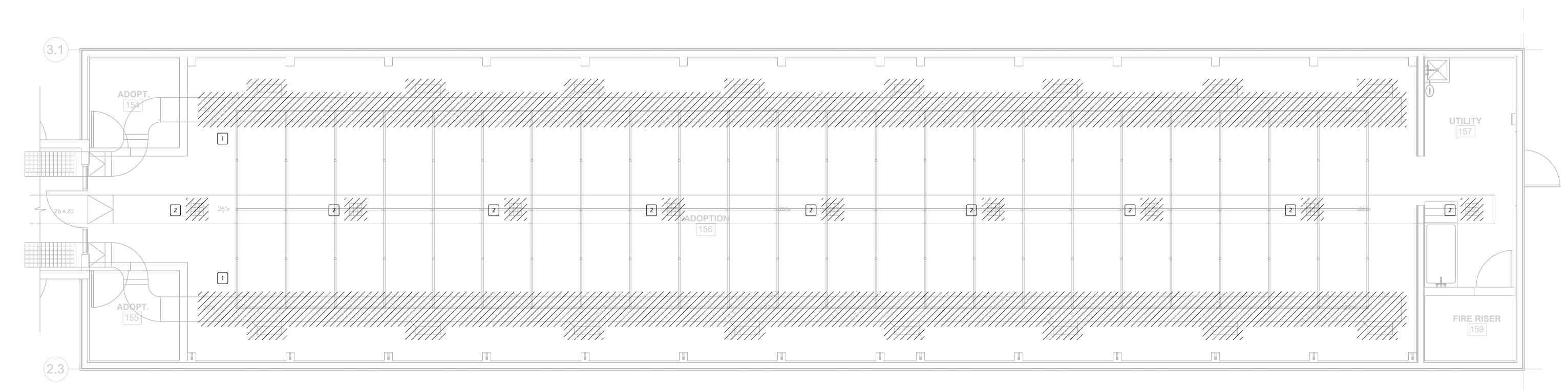
issued for OWNER

sheet number: M1.10

ENGINEERING 9050 W. Overland Rd.
Suite 170
Boise, ID 83709

Phone: (208) 658-0218
Fax: (208) 658-0219 JOB # 19176









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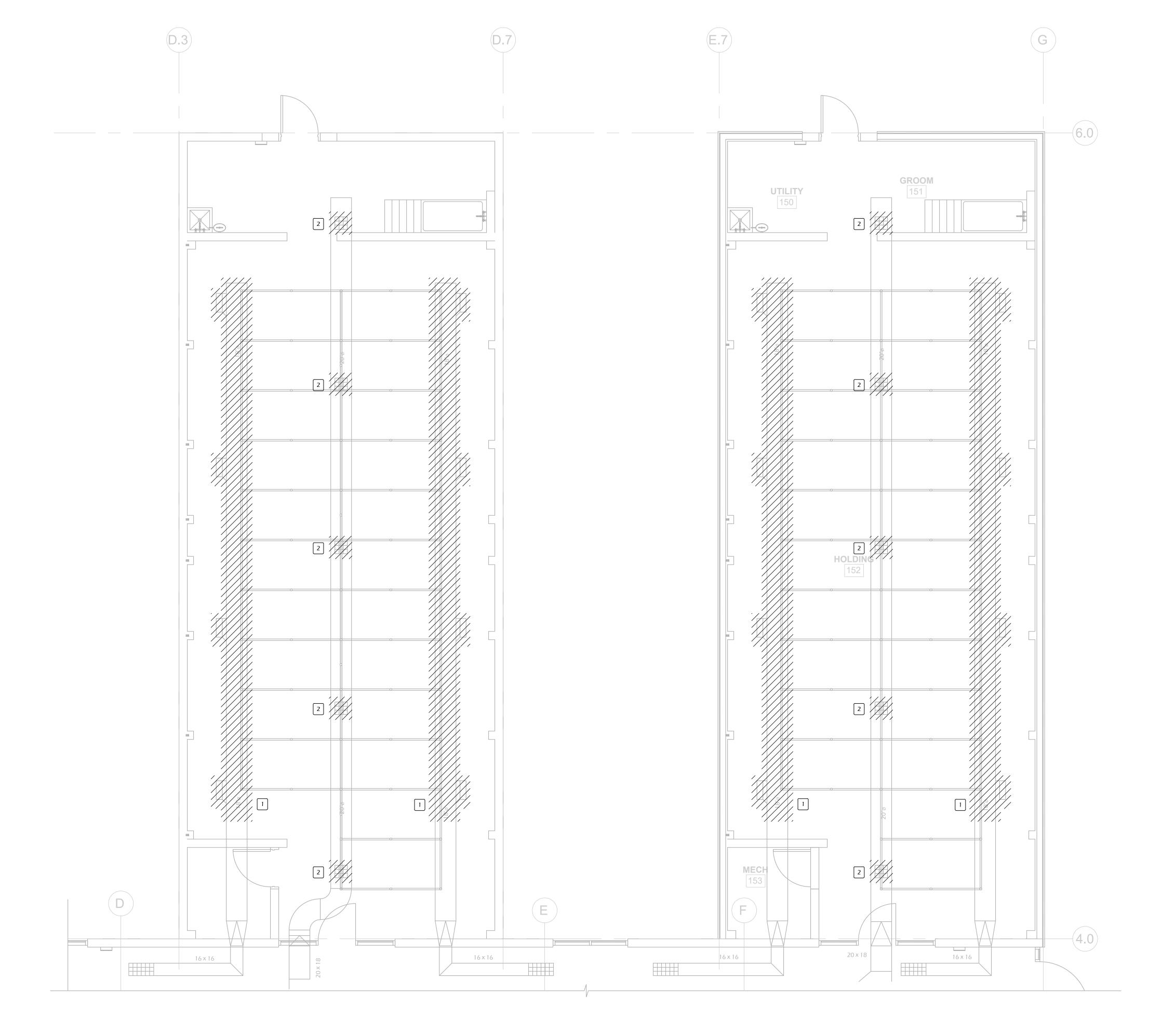
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sheet title:

DEMOLITION PLAN -AREA A

sheet number: M2.00





DEMOLITION NOTES:

- ALL DUCTWORK AND EQUIPMENT SHOWN ON THIS PLAN IS EXISTING.
- ALL DUCTWORK AND EQUIPMENT SHOWN AS HATCHED ON THIS PLAN SHALL BE REMOVED AND LEGALLY DISPOSED OF BY MECHANICAL CONTRACTOR. ALL REMAINING DUCTWORK AND EQUIPMENT SHOWN ON PLANS WITHOUT HATCHING IS EXISTING TO REMAIN.
- COORDINATE DEMOLITION ACTIVITIES WITH BOTH GENERAL CONTRACTOR AND OWNER. NOTIFY OWNER IN ADVANCE OF ANY DISRUPTION OF MECHANICAL SERVICES PRIOR TO START OF DEMOLITION WORK.
- MECHANICAL CONTRACTOR TO VERIFY DEMOLITION REQUIREMENTS PRIOR TO BEGINNING ANY DEMOLITION WORK. ANY DISCREPANCIES FOUND ON DRAWINGS SHALL BE REPORTED IMMEDIATELY TO GENERAL CONTRACTOR AND ARCHITECT.
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- MECHANICAL CONTRACTOR SHALL PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION.

revisions: NO. DESCRIPTION DATE

KEY NOTES:

REMOVE EXISTING DUCTWORK AND ASSOCIATED TRANSFER GRILLES AT INDICATED LOCATION.

REMOVE EXISTING EXHAUST GRILLES. ASSOCIATED EXHAUST DUCTWORK TO BE PATCHED AND TO REMAIN.

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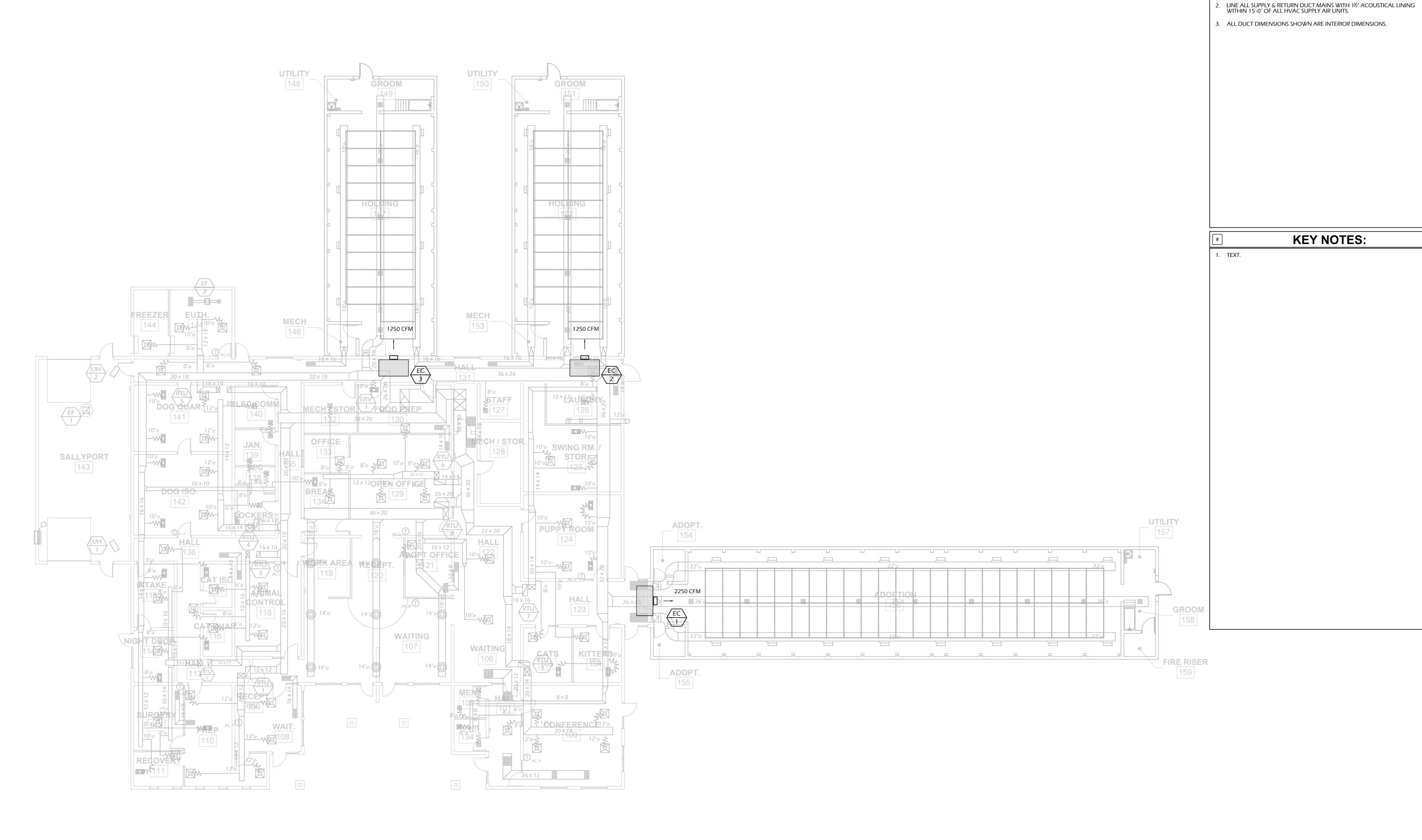
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issued for	OWNER

sheet title: DEMOLITION PLAN -AREAS B & C

sheet number:

M2.10

ENGINEERING 9050 W. Overland Rd. Phone: (208) 658-0218 Suite 170 Fax: (208) 658-0219 Boise, ID 83709 JOB # 19176







WEST VALLEY HUMANE SOCIETY RENOVATION

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revisions:

NO. DESCRIPTION DATE

GENERAL NOTES:

COORDINATE HVAC EQUIPMENT WITH ALL OTHER TRADES AS REQUIRED.

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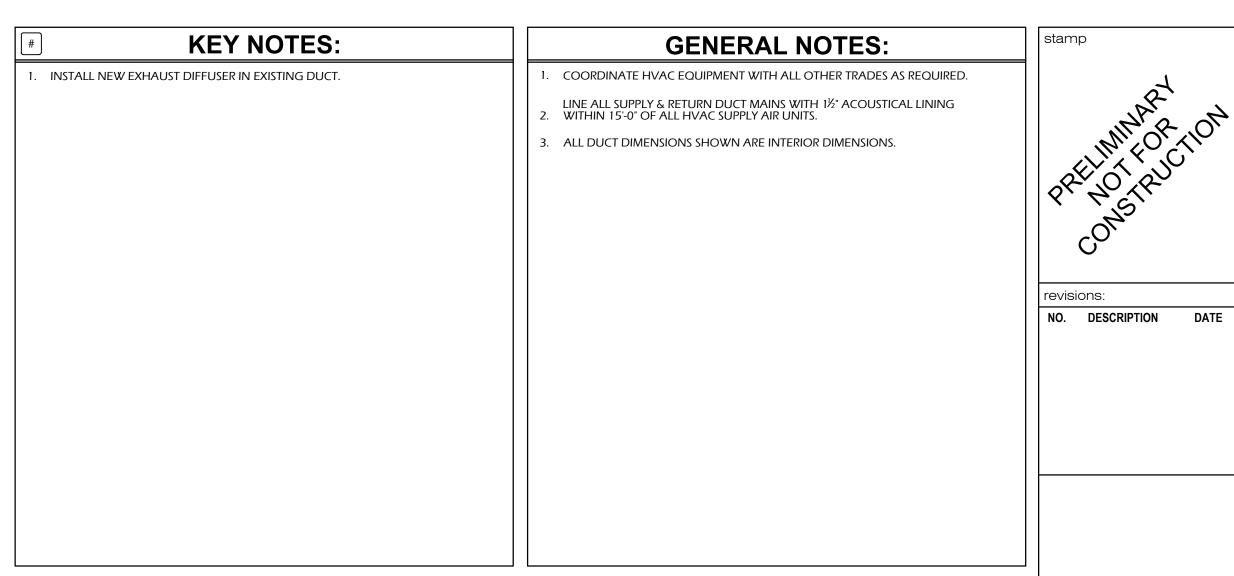
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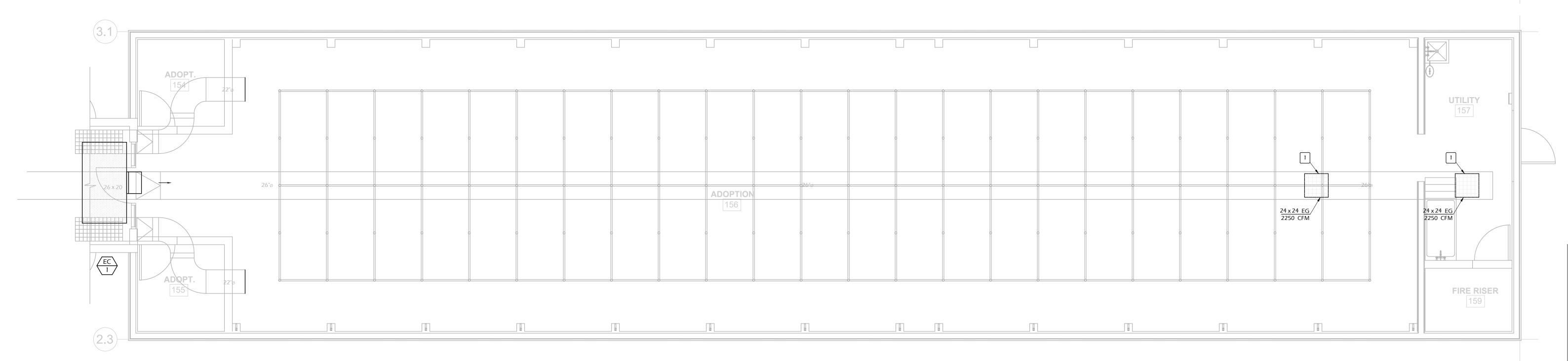
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HVAC PLAN -OVERALL

sheet number: M3.00











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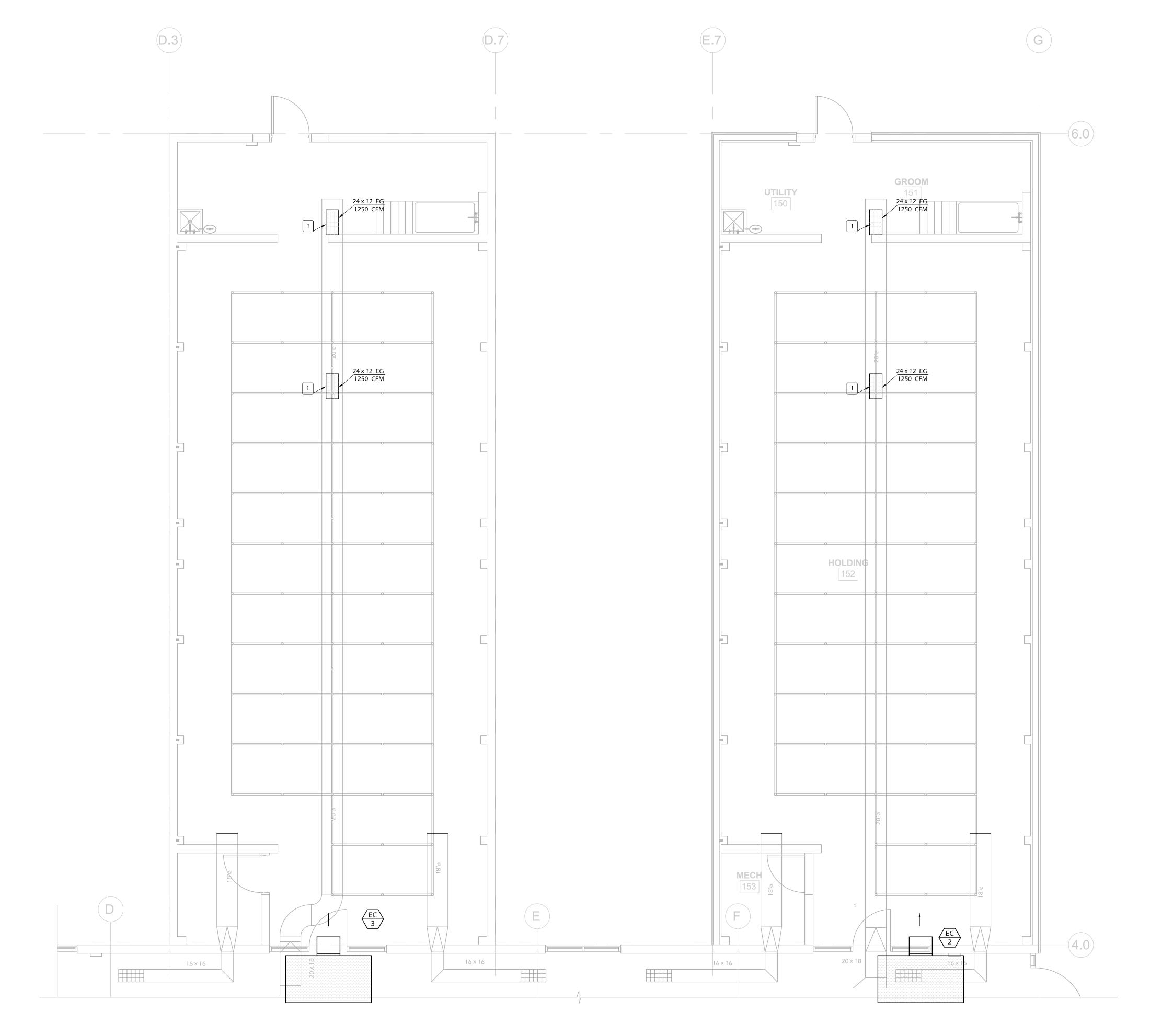
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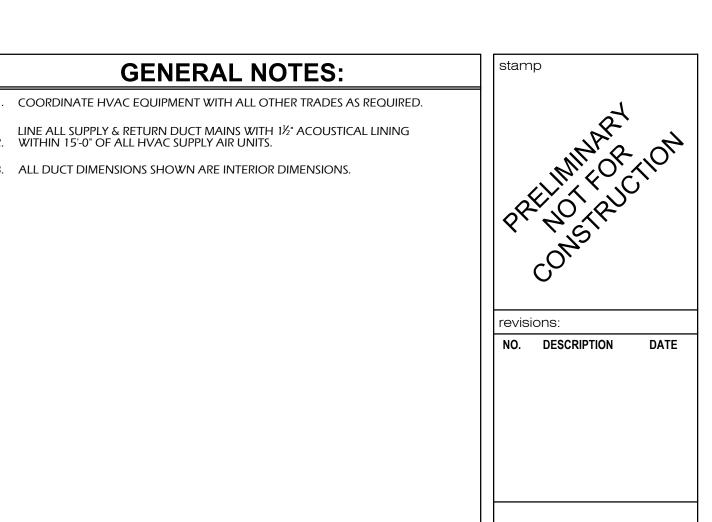
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HVAC PLAN -AREA A

sheet number: M3.10







KEY NOTES:

. INSTALL NEW EXHAUST DIFFUSER IN EXISTING DUCT.

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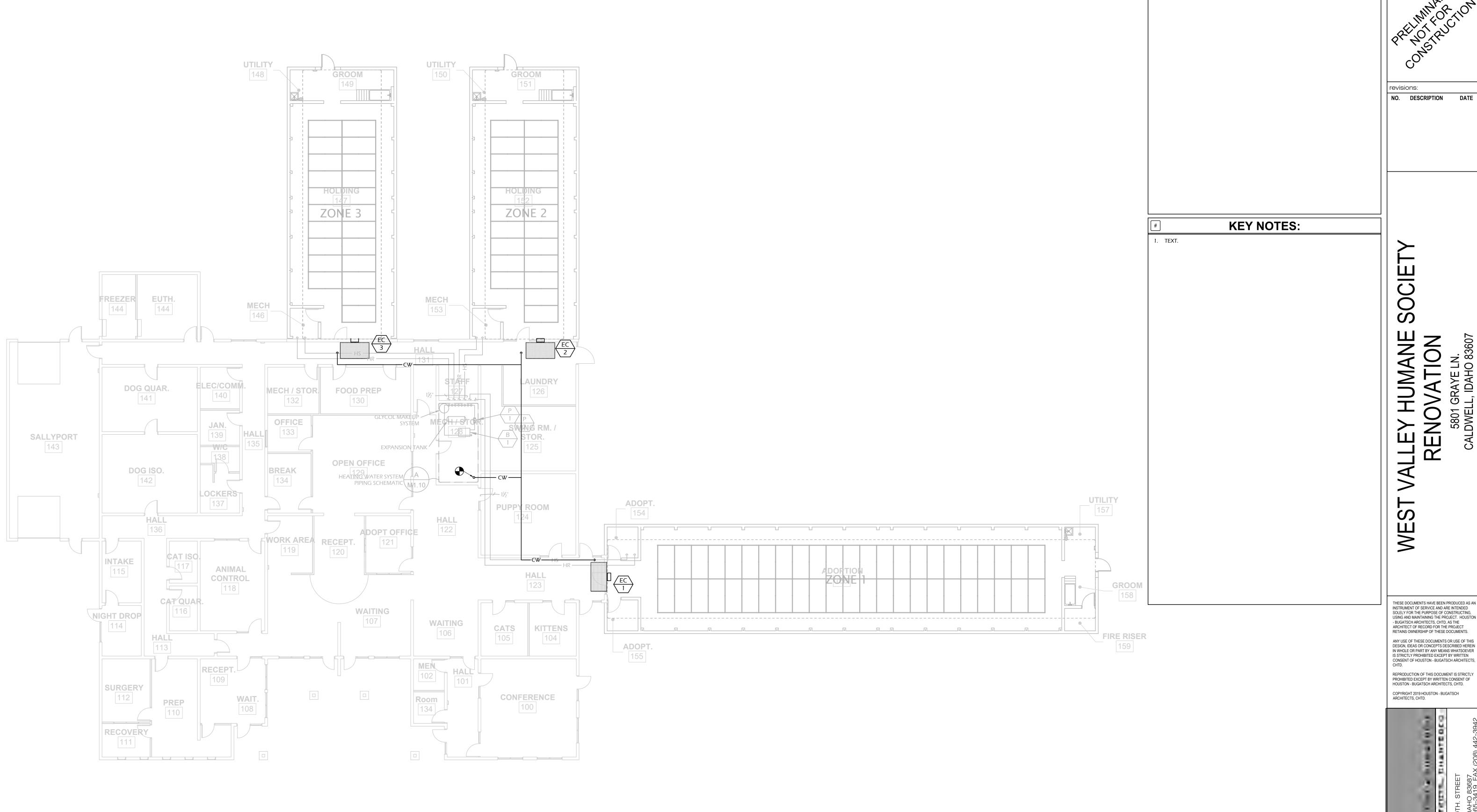
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HVAC PLAN -AREAS B & C

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GENERAL NOTES:

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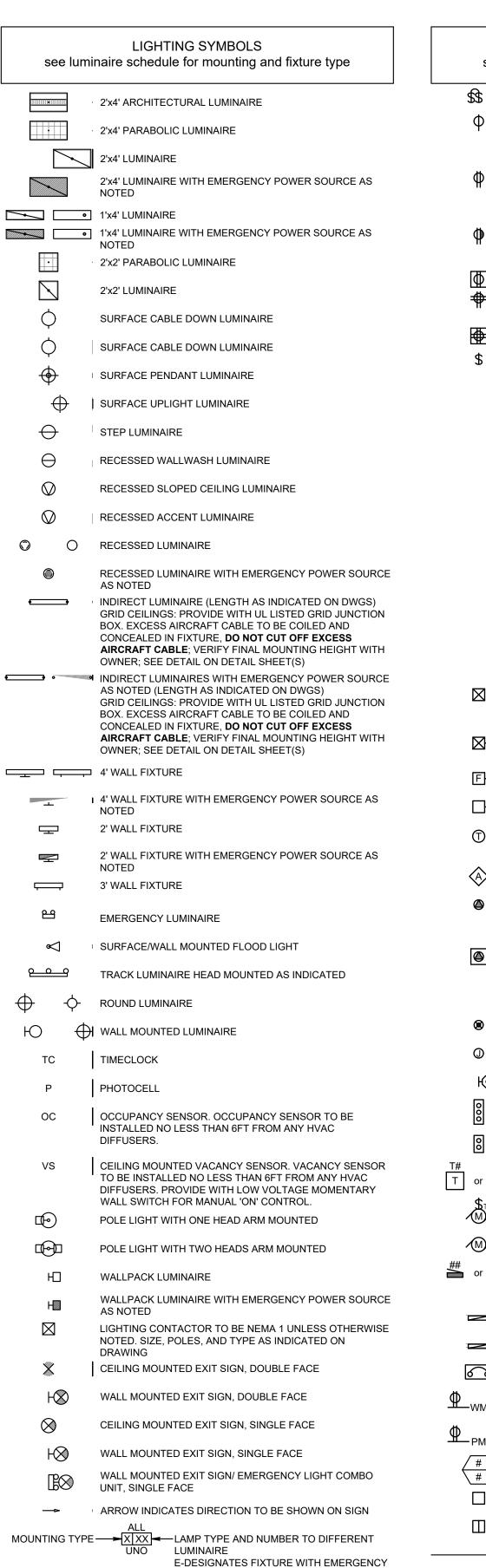
PLUMBING PLAN

sheet number: M4.00

ELECTRICAL ABBREVIATIONS AMPERES 6" ABOVE BACKSPLASH ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AMPS INTERRUPTING CAPACITY AMP TRIP AUTOMATIC TRANSFER SWITCH AMERICAN WIRE GAUGE AWG CONDUIT CIRCUIT BREAKER CIRCUIT CONDUIT ONLY, PROVIDE PULL-LINE CURRENT TRANSFORMER CTL CONTROL DIRECT CURRENT DEMO DEMOLITION DET DETAIL EMPTY/EMERGENCY EXISTING ELECTRICAL CONTRACTOR EXHAUST FAN EMERGENCY LIGHT ELECTRIC WATER COOLER EWH ELECTRIC WATER HEATER EXG EXISTING FVNR FULL VOLTAGE NON-REVERSING FYR FULL VOLTAGE REVERSING G/GND GROUND GFI GROUND FAULT INTERRUPTION HANDHOLE HIGH INTENSITY DISCHARGE HAND-OFF-AUTO HIGH PRESSURE SODIUM HPS HVAC HEATING, VENTILATING, & AIR CONDITIONING HACR HEATING, AIR CONDITIONING, REFRIGERATION INTERSYSTEM BONDING TERMINATION INTERRUPTING CAPACITY ISOLATED GROUND IPCO IDAHO POWER COMPANY J/JB JUNCTION BOX KILOAMP KILOWATT KWH KILOWATT HOUR LTE LONG TERM EVALUATION MAGNETIC CONTACTOR COIL MAIN BREAKER MECHANICAL CONTRACTOR MAIN CIRCUIT BREAKER MOTOR CONTROL CENTER MAIN LUGS ONLY MOTOR STARTER MANHOLE METAL HALIDE MOUNTING NEUTRAL NORMALLY CLOSED NATIONAL ELECTRICAL CODE NOT IN CONTRACT NORMALLY OPEN NOT TO SCALE OVERHEAD OVERLOAD os OCCUPANCY SENSOR OWNER FURNISHED CONTRACTOR INSTALLED PANEL POTENTIAL TRANSFORMER PVC POLYVINYL CHLORIDE PWR POWER PASSIVE INFARED RECEPTACLE RELOCATED SQUARE FEET **TELEPHONE** TERMINAL BOARD TO BE DETERMINED TIME CLOCK TIME DELAY RELAY **TERMINAL JUNCTION BOX** TSP TWISTED SHIELDED PAIR TELEPHONE TERMINAL BOARD TYP TYPICAL UNDERGROUND UG UNIT HEATER UNO UNLESS NOTED OTHERWISE VOLT VOLT-AMPERE WEATHER PROOF/NEMA 3R XFMR TRANSFORMER

X EXPLOSION PROOF

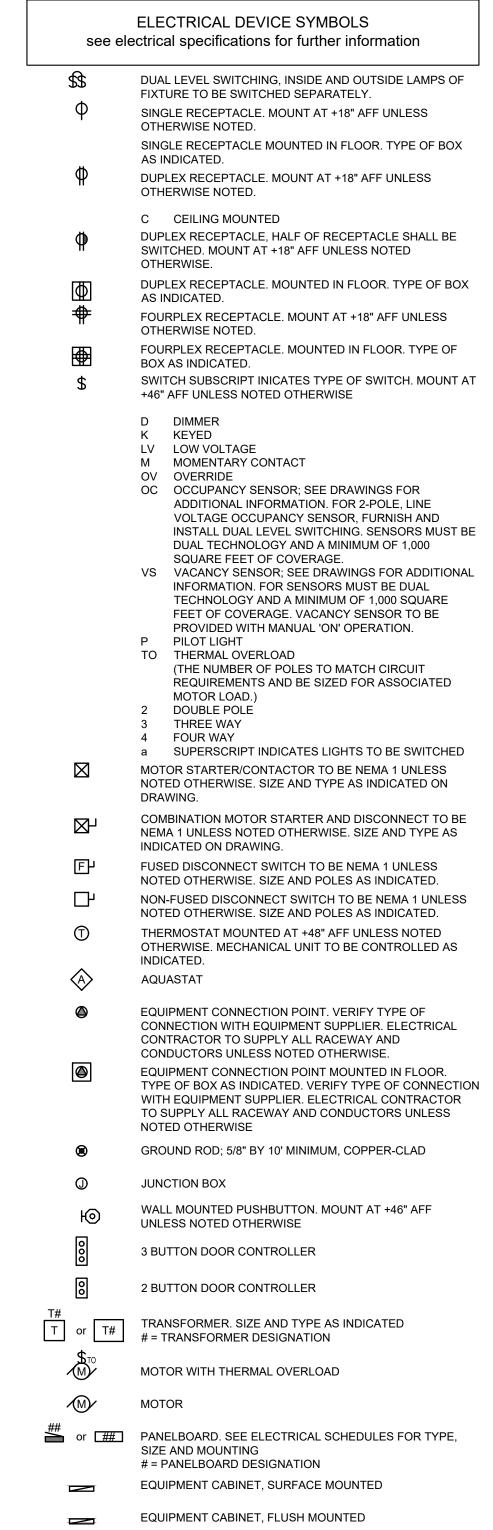
XFR TRANSFER



BATTERY FIXTURES WITH AN 'E' DESIGNATION ARE TO BE SUPPLIED WITH BODINE 90

MINUTE EMERGENCY BATTERY PACK (OR EQUAL) SUITABLE FOR THAT

FIXTURES LAMP TYPE AND TO PRODUCE 50% OF THE ORIGINAL OUTPUT.



WALL MOUNTED CIRCUITBREAKER. TYPE AND SIZE AS

RACEWAY MOUNT RECEPTACLES AS SHOWN.

MOUNTING OF RACEWAY AS INDICATED

MECHANICAL EQUIPMENT CALLOUT

TWO COMPARTMENT POWER POLE

INDICATED

POWER POLE

WIREMOLD - POWER AND DATA

PLUGMOLD - POWER ONLY

```
FIRE ALARM SYMBOLS
    see electrical specifications for further information
FIRE ALARM ABBREVIATIONS:
        SMOKE ALARM - PHOTO ELECTRIC DETECTOR WITH AUDIBLE
          SOUNDING DEVICE.
         PHOTO-ELECTRIC DETECTOR
        HEAT DETECTOR
        IN DUCT DETECTOR
        DUCT DETECTOR
         IONIZATION DETECTOR
    LG UNIT PROVIDED WITH PROTECTIVE LEXICAN SHIELD GUARD
     WG UNIT PROVIDED WITH PROTECTIVE WIRE GUARD
FIRE ALARM SYMBOLS:
            SMOKE DETECTOR, ALL DEVICES CEILING MOUNTED
            ELECTROMAGNETIC DOOR HOLDER
            FIRE/SMOKE DAMPER
            PULL STATION, +46" AFF TO CENTER OF DEVICE
            FIRE ALARM HORN, +90" AFF TO BOTTOM OF DEVICE UNO
            FIRE ALARM HORN, CEILING MOUNT
            FIRE ALARM STROBE, +80" AFF TO BOTTOM OF DEVICE
            UNO, STROBE INTENSITY INDICATED
            FIRE ALARM STROBE, CEILING MOUNTED, STROBE
            INTENSITY INDICATED
            FIRE ALARM HORN/STROBE +80" AFF TO BOTTOM OF
            DEVICE, UNO, STROBE INTENSITY INDICATED
            FIRE ALARM HORN/STROBE CEILING MOUNTED, STROBE
            INTENSITY INDICATED
            FIRE ALARM SPEAKER/STROBE CEILING MOUNTED, STROBE
            INTENSITY INDICATED
            FIRE ALARM SPEAKER/STROBE, STROBE INTENSITY
            INDICATED
            FIRE ALARM SPEAKER CEILING MOUNTED
            FIRE ALARM BELL, +80" AFF UNO
            FIRE ALARM CHIME, +80" AFF UNO
            FIRE ALARM CHIME/STROBE, +80" AFF TO BOTTOM OF
            DEVICE UNO, STROBE INTENSITY INDICATED
            END OF LINE RESISTOR
  FS
            FLOW SWITCH
  TS
            TAMPER SWITCH
  PS
            PRESSURE SWITCH
            FIRE SYSTEM ANNUNCIATOR, +60" AFF RECESSED IN WALL
            IN FINISHED AREAS
            FIRE ALARM CONTROL PANEL, +60" AFF RECESSED IN WALL
            IN FINISHED AREAS
  PIV
            POST INDICATOR VALVE
            INDICATOR LIGHT
            INDICATOR LIGHT WITH TEST SWITCH
            FAN SHUT DOWN RELAY
            MONITOR MODULE
            CONTROL MODULE
  RM
            RELAY MODULE
FIRE ALARM SYSTEM CIRCUITING REQUIREMENTS:
 1. ALL CIRCUITING FOR THE FIRE ALARM SYSTEM INCLUDING
    NOTIFICATION AND SLC OR ZONE CIRCUITS SHALL BE INSTALLED IN
    CONDUIT. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL
    INFORMATION, ALL BLANK JUNCTION BOX COVERS ASSOCIATED
    WITH THE FIRE ALARM SYSTEM SHALL BE PAINTED RED IN COLOR.
                  SECURITY SYMBOLS
```

see electrical specifications for further information

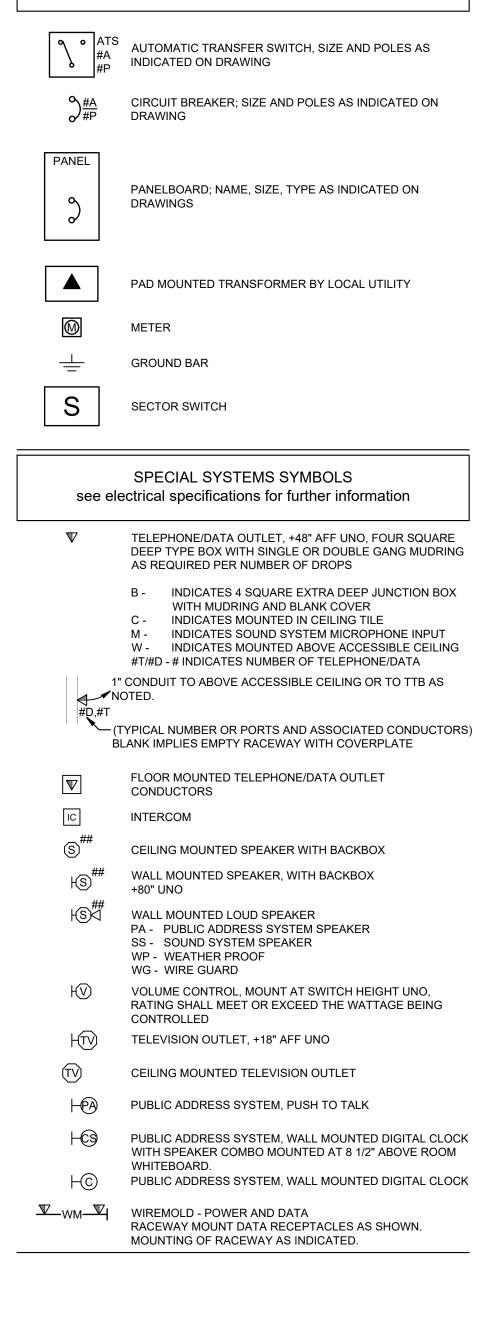
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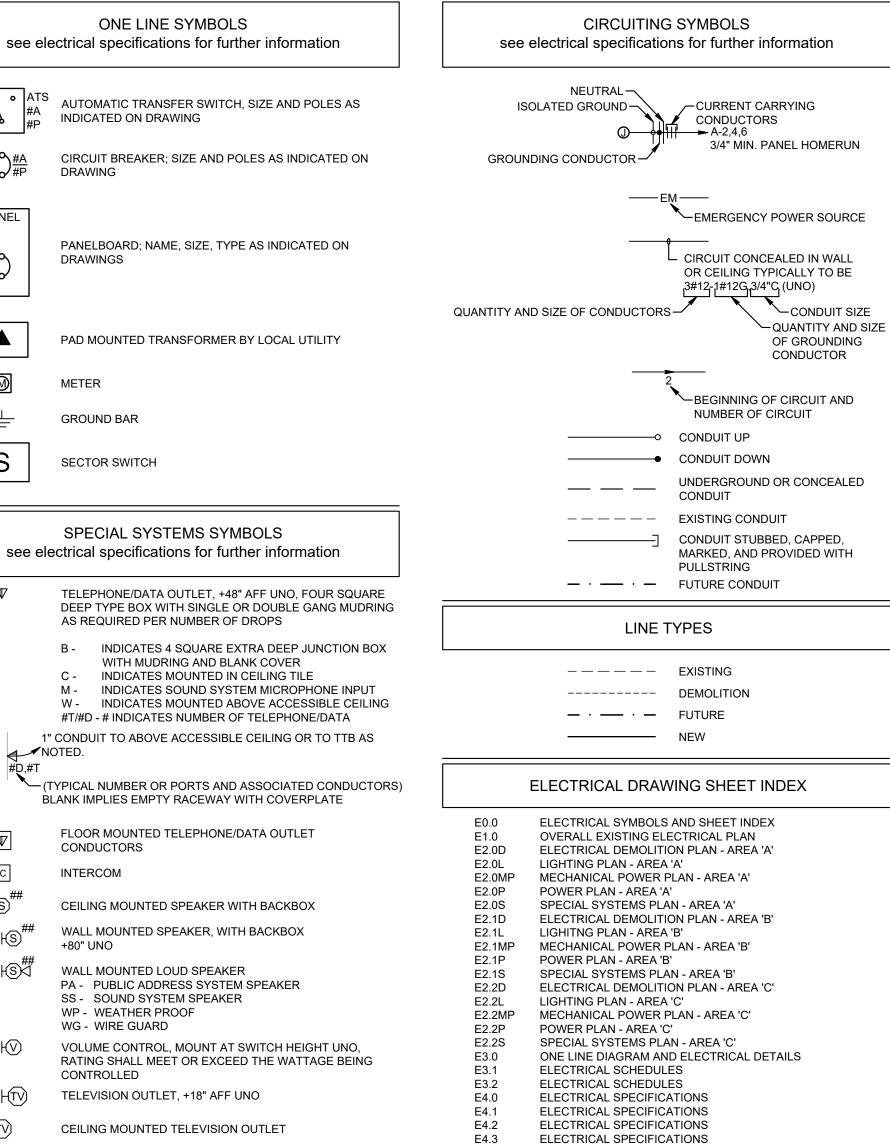
MOTION SENSOR

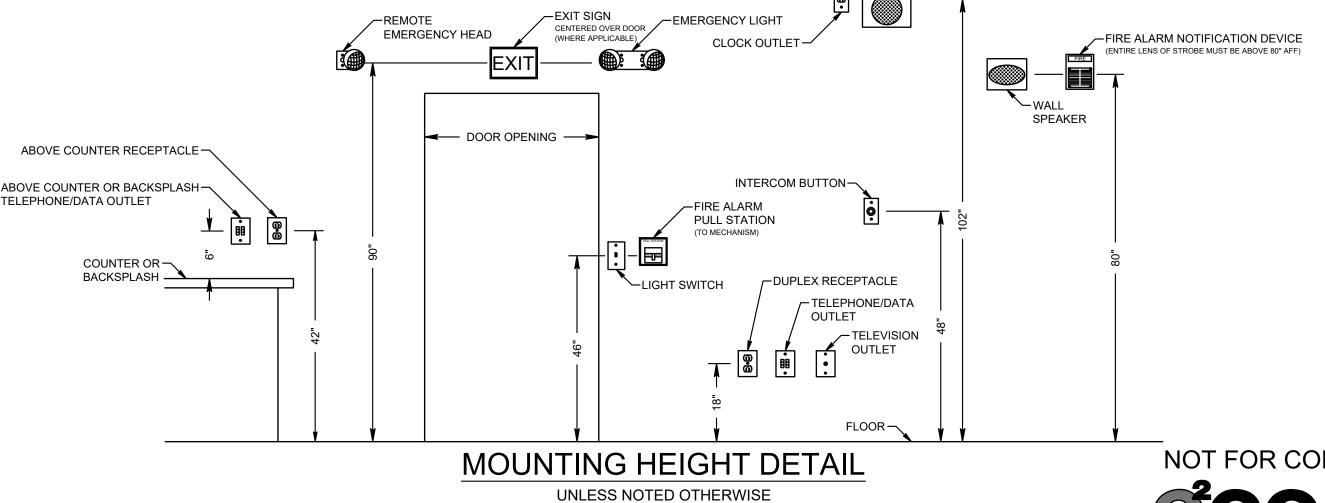
KEY PAD

CONTACT

CARD READER







DIGITAL CLOCK/ ----

SPEAKER COMBO

NOT FOR CONSTRUCTION **e**lectrical**e**ngineering**co**mpany engineering 4 tomorrow e2co project #: 19214

vorld wide web: e2co.com 800 s. industry way, suite 350 neet number: meridian, idaho 83642 phone: 208.378.4450 fax: 208.378.4451

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ELECTRICAL SYMBOLS AND SHEET INDEX



1 OVERALL EXISTING ELECTRICAL PLAN

RECOVERY 111



GENERAL NOTES:

1 ALL WORK SHALL BE COORDINATED WITH OWNER AND ARCHITECT FOR PHASING COORDINATION.

KEYED NOTES:

- 1 SEE E2.0 SERIES SHEETS FOR ALL WORK INCLUDED IN PHASE I.
- SEE E2.1 SERIES SHEETS FOR ALL WORK INCLUDED IN PHASE II.
- SEE SHEET E2.2 SERIES SHEETS FOR ALL WORK INCLUDED IN PHASE III
- 4 ELECTRICAL SERVICE ENTRANCE TO REMAIN, SHOWN FOR REFERENCE
- 5 ELECTRICAL PANEL TO REMAIN, SHOWN FOR REFERENCE ONLY.
- EXISTING FIRE ALARM CONTROL PANEL TO REMAIN, SHOWN FOR
- 7 EXISTING FIRE ALARM ANNUNCIATOR TO REMAIN, SHOWN FOR

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revisions:

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800 s. industry way, suite 350

meridian, idaho 83642

e2co project #: 19214

phone: 208.378.4450 fax: 208.378.4451

OVERALL EXISTING ELECTRICAL PLAN

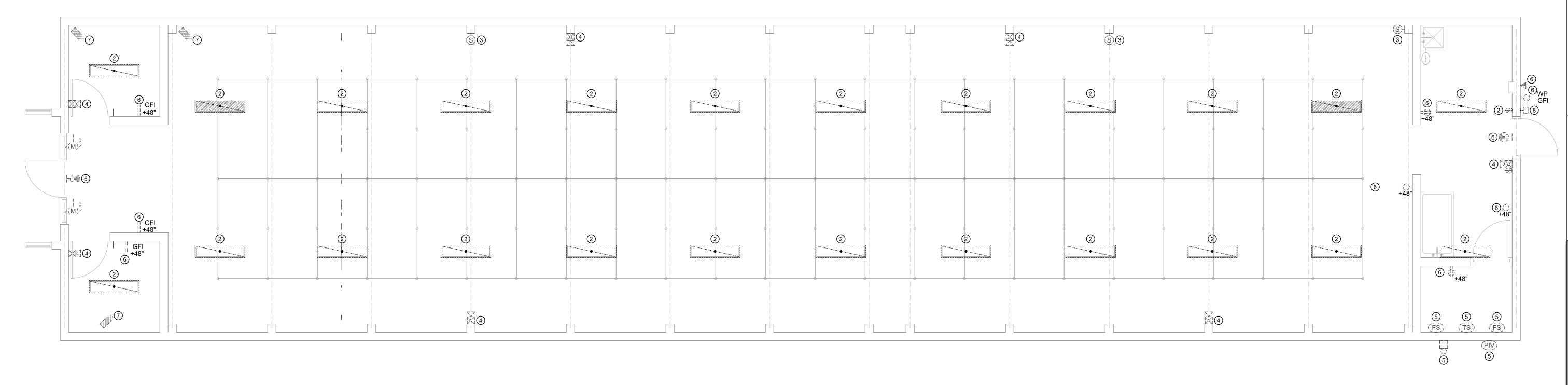
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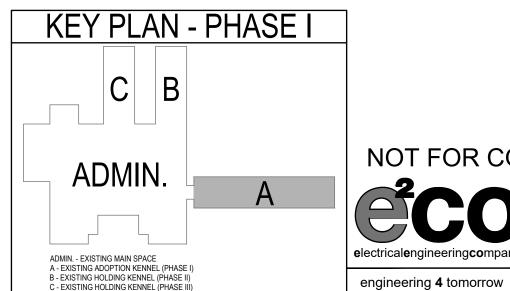
GENERAL NOTES:

- 1 ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND RESTORING; IF INTERRUPTED, ALL CONDUITS AND CONDUCTORS PASSING THROUGH RENOVATED AREAS THAT SERVE EQUIPMENT IN UNDISTURBED AREAS.
- 2 EXISTING CONDUIT MAY BE UTILIZED FOR NEW INSTALLATION IF IT IS CURRENTLY INSTALLED PER THE INSTALLATION REQUIREMENTS INDICATED IN THESE CONTRACT DOCUMENTS (DRAWING AND SPECIFICATIONS).
- PROVIDE BLANK COVERS FOR ALL JUNCTION BOXES THAT CANNOT BE REMOVED DUE TO EXISTING INSTALLATION CONDITIONS.
- 4 CONTRACTOR TO COORDINATE ALL CONSTRUCTION ACTIVITY WITH OWNER TO MINIMIZE ASSOCIATED DOWN TIME AND/OR POWER OUTAGES. ALL POWER OUTAGES ARE TO BE COORDINATED WITH OWNER IN TERMS OF LENGTH OF OUTAGE, AREA EFFECTED, AND ALTERNATIVE OPTIONS FOR TEMPORARY POWER PRIOR TO BEGINNING WORK IN THE AREA EFFECTED BY OUTAGE.
- ANY EXISTING ITEM TO BE REMOVED ON EXISTING WALLS THAT ARE TO REMAIN, SHALL BE REMOVED OR ABANDONED WHERE REMOVAL IS NOT POSSIBLE WITHOUT DAMAGE TO THOSE WALLS. ANY DAMAGE TO EXISTING REMAINING WALLS AS A RESULT OF REMOVING THE ITEM SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
- 6 ELECTRICAL CONTRACTOR TO IDENTIFY NEW SPARE CIRCUITS AS A RESULT OF REMOVAL OF ELECTRICAL EQUIPMENT AND REUSE NEW SPARE CIRCUIT BREAKERS FOR NEW CIRCUITS.
- ANY EXISTING ITEMS TO BE REMOVED AND REINSTALLED SHALL BE REMOVED WITHOUT DAMAGING THE DEVICE. ANY DAMAGE TO THE ASSOCIATED ELECTRICAL DEVICE AS A RESULT OF REMOVING AND REINSTALLATION SHALL BE REPAIRED OR REPLACED AT NO COST TO

KEYED NOTES:

- 1 DISCONNECT AND REMOVE ELECTRICAL ITEM INDICATED. REMOVE ALL ASSOCIATED CONDUIT AND CONDUCTORS BACK TO SOURCE. MAINTAIN FUNCTIONALITY TO ALL DOWN STREAM DEVICES THAT ARE TO REMAIN.
- 2 DISCONNECT POWER AND CONTROLS FROM LIGHT FIXTURE. REMOVE LIGHT FIXTURE. REMOVE ALL ASSOCIATED CONDUCTORS BACK TO SOURCE, SEE SHEET E2.0L FOR NEW BRANCH CIRCUITING REQUIREMENTS.
- 3 ALL EXISTING PUBLIC ADDRESS SPEAKERS ARE TO BE DISCONNECTED AND RE-INSTALLED. ALL EXISTING CABLING IS TO BE DISCONNECTED, PULLED BACK TO AN ACCESSIBLE LOCATION AND THEN RE-INSTALLED FOR RECONNECTION TO THE SPEAKER IN THE SAME LOCATION.
- 4 ALL EXISTING FIRE ALARM DEVICE ARE TO BE DISCONNECTED AND RE-INSTALLED. ALL EXISTING CABLING IS TO BE DISCONNECTED, PULLED BACK TO AN ACCESSIBLE LOCATION AND THEN RE-INSTALLED FOR RECONNECTION TO THE DEVICE IN THE SAME LOCATION.
- 5 EXISTING FIRE ALARM DEVICES ARE TO REMAIN, MAINTAIN CONTINUITY.
- 6 EXISTIING ELECTRICAL DEVICE TO REMAIN, MAINTAIN CONTINUITY.
- 7 ALL EXISTING SECURITY CAMERAS ARE TO BE DISCONNECTED AND RE-INSTALLED. ALL EXISTING CABLING IS TO BE DISCONNECTED, PULLED BACK TO AN ACCESSIBLE LOCATION AND THEN RE-INSTALLED FOR RECONNECTION TO THE CAMERA IN THE SAME LOCATION.
- 8 DISCONNECT POWER AND CONTROLS FROM LIGHT FIXTURE. REMOVE LIGHT FIXTURE. REMOVE ALL ASSOCIATED CONDUCTORS BACK TOWARD SOURCE TO EXPOSE UNSWITCHED LEG OF LIGHTING CIRCUIT AT ACCESSIBLE LOCATION. FROM THIS LOCATION THE UNSWITCHED LEG IS TO BE EXTENDED AND ROUTED TO NEW LIGHTING AND NEW CONTROLS AS INDICATED ON SHEET E2.0L.





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sheet title: ELECTRICAL DEMOLITION PLAN AREA 'A'

heet number:

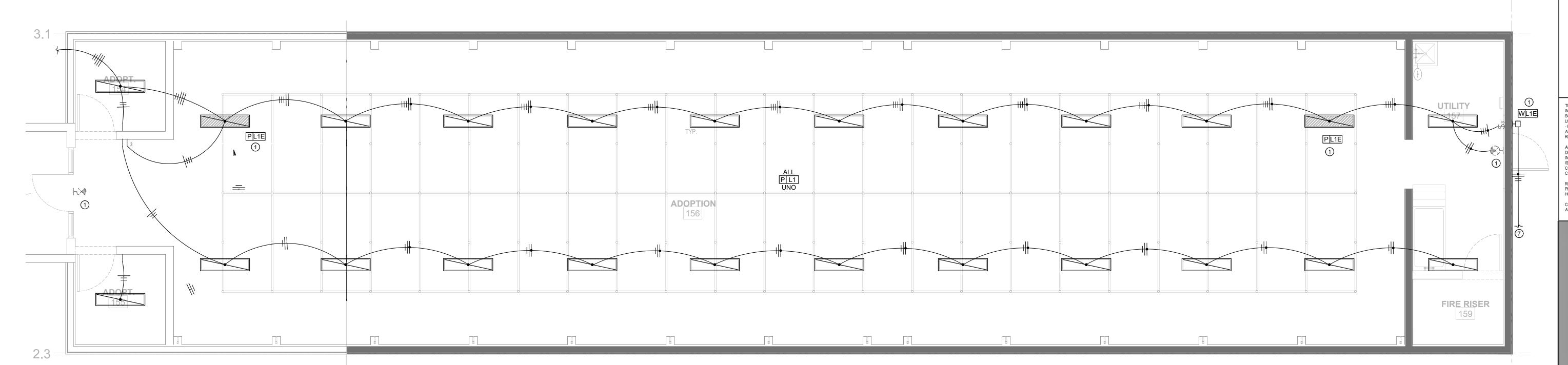
1 ELECTRICAL DEMOLITION PLAN - AREA 'A'

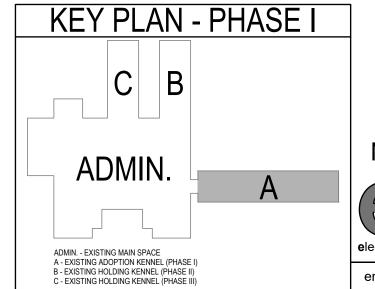
- 1 ALL EMERGENCY FIXTURES SHALL BE PROVIDED WITH AN EMERGENCY BATTERY PACK AS SPECIFIED ON THE FIXTURE SCHEDULE AND THE EMERGENCY FIXTURE SHALL BE PROVIDED WITH AND UNSWITCHED LEG THAT SHALL BE CONNECTED TO THE EMERGENCY BATTERY PACK.
- 2 ALL OCCUPANCY SENSORS THAT ARE INTERCONNECTED WITH THE HVAC CONTROL SYSTEM SHALL BE SET TO A MINIMUM OF 30 MINUTE DELAY.
- 3 ALL UNSWITCHED LEGS OF THE LIGHTING CIRCUIT SHALL BE ROUTED THROUGH OCCUPANCY SENSOR PRIOR TO ROUTING THROUGH SNAP SWITCHES TO PROVIDE UNSWITCHED POWER TO OCCUPANCY SENSOR FOR OCCUPANT INITIATION OF SENSOR.

KEYED NOTES:

- 1 CONNECT BATTERY PACK TO UNSWITCHED LEG OF LIGHTING CIRCUIT. CARRY UNSWITCHED LEG THROUGH RACEWAY SYSTEM TO EGRESS FIXTURE FOR CONTINUOUS POWER TO BATTERY.
- 2 UTILIZE EXISTING BRANCH CIRCUIT BREAKERS (B-25,27) FOR LIGHTING BRANCH CIRCUIT. PULL NEW BRANCH CIRCUITS IN FROM PANEL TO PROVIDE BRANCH CIRCUITING WITH DEDICATED NEUTRAL AND HOT WIRES FOR EACH CIRCUIT. THE EXISTING SHARED NEUTRAL IS NO LONGER ALLOWED IN THE NEC.
- 3 DAYLIGHT ZONE. SUBSCRIPT NEXT TO LIGHT FIXTURE INDICATES THE GROUP OF LIGHT FIXTURES WHICH ARE TO BE CONTROLLED.
- 4 1-POLE, LINE VOLTAGE, PIR SWITCH MOUNTED VACANCY SENSOR, LEVITON NO. ODS15-TDW OR PRE-BID APPROVED EQUAL. VACANCY SENSOR TO BE SET TO MANUAL 'ON'/AUTO 'OFF' CONTROL.
- 5 LOW VOLTAGE, DUAL-TECHNOLOGY CEILING MOUNTED VACANCY SENSOR (360 DEG./1000 SQFT COVERAGE), LEVITON NO. OSC10-MOW. UTILIZE A 120/277 VOLT POWER PACK WITH (1) 20A RELAY, LEVITON NO. OSP20-RD4; OR PRE-BID APPROVED EQUAL. VACANCY SENSOR TO PROVIDE MANUAL 'ON'/AUTO 'OFF' CONTROL VIA LOW VOLTAGE MOMENTARY SWITCH. VACANCY SENSOR TO BE INSTALLED NO LESS THAN 6 FT FROM ANY HVAC DIFFUSERS. SEE WIRING DETAIL ON E3.0.
- 6 LOW VOLTAGE, DUAL-TECHNOLOGY CEILING MOUNTED VACANCY SENSOR (360 DEG./1000 SQFT COVERAGE), LEVITON NO. OSC10-MOW; OR PRE-BID APPROVED EQUAL. SENSOR SHALL BE POWERED FROM MAIN POWER PACK. VACANCY SENSOR TO BE INSTALLED NO LESS THAN 6 FT FROM ANY HVAC DIFFUSERS. SEE WIRING DETAIL ON E3.0.
- 7 UTILIZE EXISTING EXTERIOR LIGHTING BRANCH CIRCUIT FOR NEW LIGHT FIXTURE INSTALLED IN THE SAME LOCATION AS THE ORIGINAL FIXTURE BEING REMOVED.







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job no. issued for OWNER sheet title:

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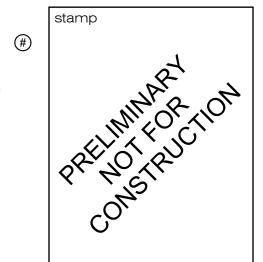
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LIGHTING PLAN -AREA 'A'

- 1 COORDINATE ALL WORK ON HVAC SYSTEMS WITH DIVISION 15.
- 2 ALL BREAKERS SUPPLYING MECHANICAL EQUIPMENT SHALL BE HACR RATED.
- 3 CONTRACTOR SHALL ROUTE ALL CONDUIT AND CONDUCTORS IN CEILING SPACE BELOW ROOF, IF CONTRACTOR ROUTES CONDUIT AND CONDUCTORS ON ROOF, CONTRACTOR SHALL BE RESPONSIBLE FOR DE-RATING CONDUCTORS PER SECTION 310.15(A)(2) OF THE 2017 NEC AND MODIFY CONDUIT SIZES AS REQUIRED.
- THERMAL OVERLOAD PROTECTION IS ONLY REQUIRED WHERE EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR DOES NOT INCORPORATE INTEGRAL THERMAL PROTECTION OF MOTOR. DIVISION 16 TO COORDINATE REQUIREMENTS WITH DIVISION 15 FOR ACTUAL EQUIPMENT SUPPLIED.

KEYED NOTES:

MOUNT DISCONNECT(S) ON UNISTRUT RACK, MAINTAIN 30" CLEARANCE SIDE TO SIDE AND 36" CLEARANCE IN FRONT OF DISCONNECT. FUSE DISCONNECT AT EQUIPMENT NAMEPLATE. PROVIDE FUSE REDUCERS WHERE REQUIRED BASED ON ACTUAL EQUIPMENT NAMEPLATE.



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sheet title: MECHANICAL POWER PLAN -AREA 'A'

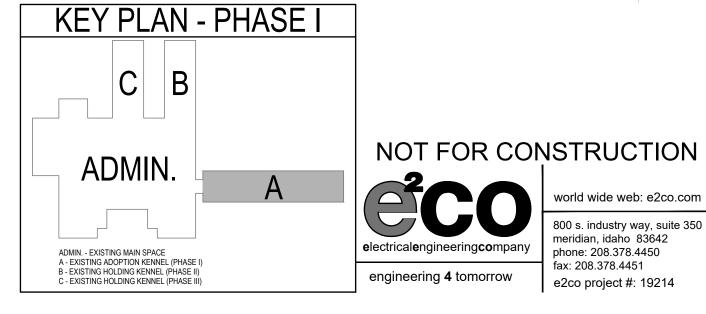
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UTILITY

157

FIRE RISER 159



TYP.

ADOPTION

156

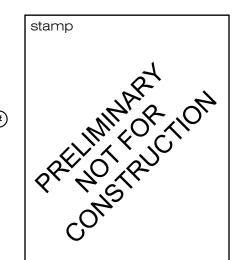
ADOPT 154

ADOPT. 155

1 VERIFY ALL MOUNTING HEIGHTS OF ELECTRICAL CONNECTIONS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.

KEYED NOTES:

- 1 EXISTING RECEPTACLE TO REMAIN, BRANCH CIRCUITING IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EXISTING CONDUIT ROUTING.
- 2 EXISTING BRANCH CIRCUITING HOME RUN TO BE LOCATED AND PROTECTED DURING CONSTRUCTION. IF CIRCUIT IS DISCONNECTED DUE TO CONSTRUCTION ACTIVITY, THE SAME CIRCUIT IS TO BE RECONNECTED AFTER DEMOLITION AND INSTALLATION OF NEW ROOF IS COMPLETE. FILED VERIFY BRANCH BREAKERS.



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POWER PLAN -AREA 'A'

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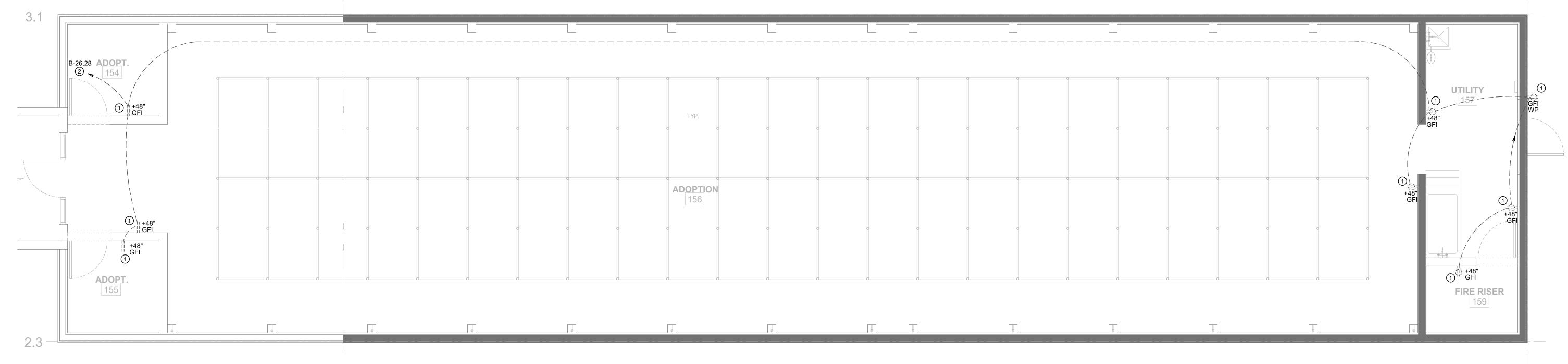
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sheet number:



1 ALL INFORMATION INDICATED AS FURNISHED AND INSTALLED BY DIVISION 16 BELOW IS REQUIRED TO MEET ALL SPECIFICATION REQUIREMENTS. ADDITIONAL ITEMS MAY BE REQUIRED FOR A COMPLETE INSTALLATION AS PER SPECIFICATIONS AND DRAWINGS.

KEYED NOTES:

KEY PLAN - PHASE I

ADMIN. - EXISTING MAIN SPACE A - EXISTING ADOPTION KENNEL (PHASE I) B - EXISTING HOLDING KENNEL (PHASE II) C - EXISTING HOLDING KENNEL (PHASE III)

- 1 RE-INSTALL EXISTING PUBLIC ADDRESS EQUIPMENT SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.0D.
- 2 RE-INSTALL EXISTING CCTV CAMERAS SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.0D.
- RE-INSTALL EXISTING FIRE ALARM NOTIFICATION DEVICE AS SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.0D.
- 4 RE-INSTALL EXISTING FIRE ALARM INITIATION DEVICE AS SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.0D.

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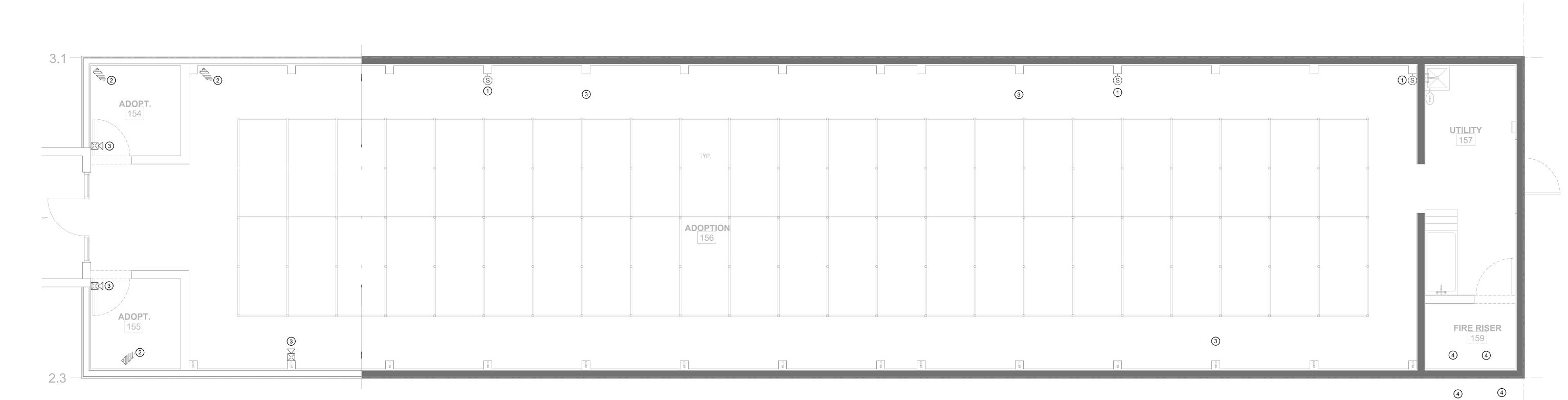
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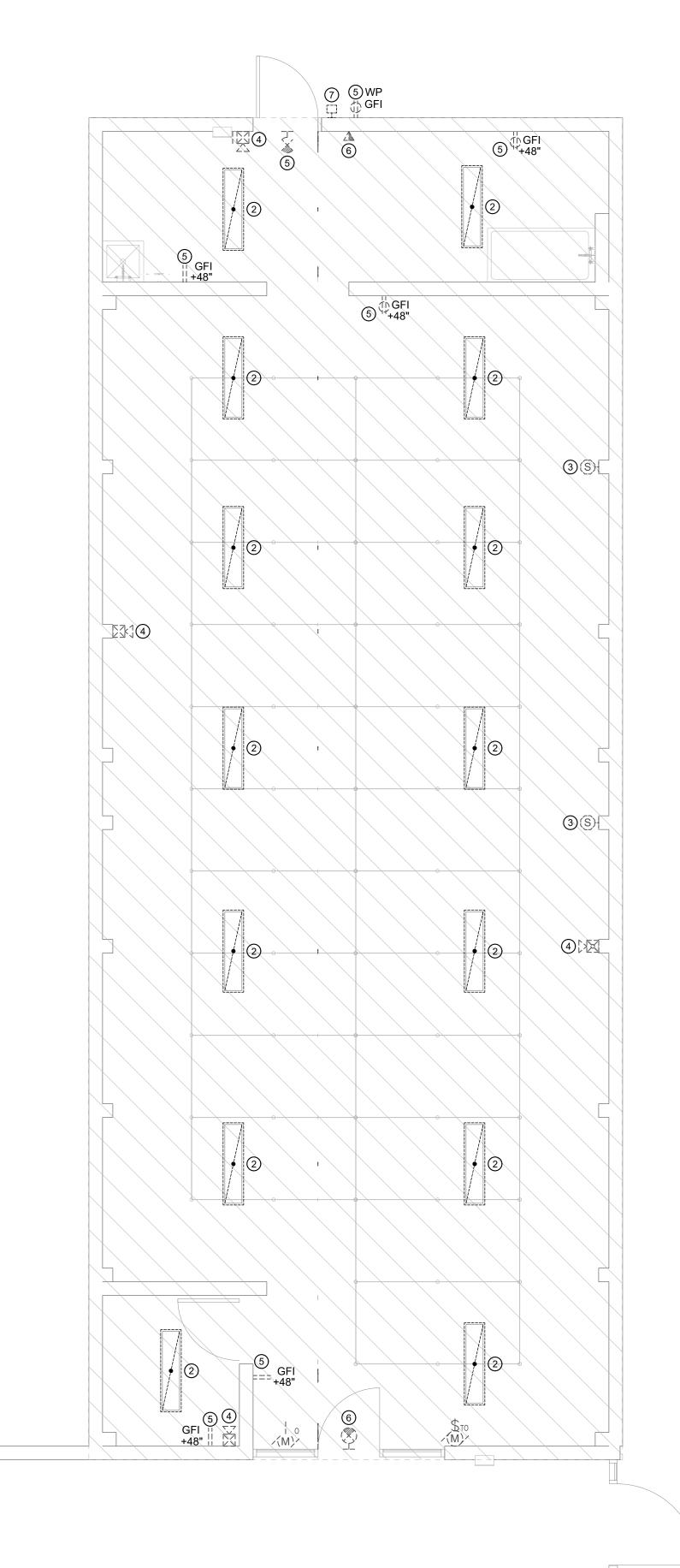
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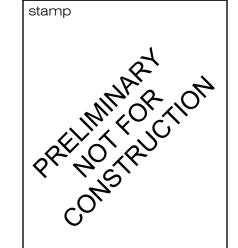




- 1 ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND RESTORING; IF INTERRUPTED, ALL CONDUITS AND CONDUCTORS PASSING THROUGH RENOVATED AREAS THAT SERVE EQUIPMENT IN UNDISTURBED
- 2 EXISTING CONDUIT MAY BE UTILIZED FOR NEW INSTALLATION IF IT IS CURRENTLY INSTALLED PER THE INSTALLATION REQUIREMENTS INDICATED IN THESE CONTRACT DOCUMENTS (DRAWING AND SPECIFICATIONS).
- PROVIDE BLANK COVERS FOR ALL JUNCTION BOXES THAT CANNOT BE REMOVED DUE TO EXISTING INSTALLATION CONDITIONS.
- 4 CONTRACTOR TO COORDINATE ALL CONSTRUCTION ACTIVITY WITH OWNER TO MINIMIZE ASSOCIATED DOWN TIME AND/OR POWER OUTAGES. ALL POWER OUTAGES ARE TO BE COORDINATED WITH OWNER IN TERMS OF LENGTH OF OUTAGE, AREA EFFECTED, AND ALTERNATIVE OPTIONS FOR TEMPORARY POWER PRIOR TO BEGINNING WORK IN THE AREA EFFECTED BY OUTAGE.
- ANY EXISTING ITEM TO BE REMOVED ON EXISTING WALLS THAT ARE TO REMAIN, SHALL BE REMOVED OR ABANDONED WHERE REMOVAL IS NOT POSSIBLE WITHOUT DAMAGE TO THOSE WALLS. ANY DAMAGE TO EXISTING REMAINING WALLS AS A RESULT OF REMOVING THE ITEM SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
- 6 ELECTRICAL CONTRACTOR TO IDENTIFY NEW SPARE CIRCUITS AS A RESULT OF REMOVAL OF ELECTRICAL EQUIPMENT AND REUSE NEW SPARE CIRCUIT BREAKERS FOR NEW CIRCUITS.
- ANY EXISTING ITEMS TO BE REMOVED AND REINSTALLED SHALL BE REMOVED WITHOUT DAMAGING THE DEVICE. ANY DAMAGE TO THE ASSOCIATED ELECTRICAL DEVICE AS A RESULT OF REMOVING AND REINSTALLATION SHALL BE REPAIRED OR REPLACED AT NO COST TO

KEYED NOTES:

- 1 DISCONNECT AND REMOVE ELECTRICAL ITEM INDICATED. REMOVE ALL ASSOCIATED CONDUIT AND CONDUCTORS BACK TO SOURCE. MAINTAIN FUNCTIONALITY TO ALL DOWN STREAM DEVICES THAT ARE TO REMAIN.
- 2 DISCONNECT POWER AND CONTROLS FROM LIGHT FIXTURE. REMOVE LIGHT FIXTURE. REMOVE ALL ASSOCIATED CONDUCTORS BACK TO SOURCE, SEE SHEET E2.1L FOR NEW BRANCH CIRCUITING REQUIREMENTS.
- 3 ALL EXISTING PUBLIC ADDRESS SPEAKERS ARE TO BE DISCONNECTED AND RE-INSTALLED. ALL EXISTING CABLING IS TO BE DISCONNECTED, PULLED BACK TO AN ACCESSIBLE LOCATION AND THEN RE-INSTALLED FOR RECONNECTION TO THE SPEAKER IN THE SAME LOCATION.
- 4 ALL EXISTING FIRE ALARM DEVICE ARE TO BE DISCONNECTED AND RE-INSTALLED. ALL EXISTING CABLING IS TO BE DISCONNECTED, PULLED BACK TO AN ACCESSIBLE LOCATION AND THEN RE-INSTALLED FOR RECONNECTION TO THE DEVICE IN THE SAME LOCATION.
- 5 EXISTIING ELECTRICAL DEVICE TO REMAIN, MAINTAIN CONTINUITY.
- ALL EXISTING SECURITY CAMERAS ARE TO BE DISCONNECTED AND RE-INSTALLED. ALL EXISTING CABLING IS TO BE DISCONNECTED, PULLED BACK TO AN ACCESSIBLE LOCATION AND THEN RE-INSTALLED FOR RECONNECTION TO THE CAMERA IN THE SAME LOCATION.
- 7 DISCONNECT POWER AND CONTROLS FROM LIGHT FIXTURE. REMOVE LIGHT FIXTURE. NEW LIGHT FIXTURE IS TO BE INSTALLED IN THE SAME LOCATION SEE SHEET E2.1L FOR ADDITIONAL INFORMATION.



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sheet title: ELECTRICAL DEMOLITION PLAN

AREA 'B' heet number:

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KEY PLAN - PHASE II

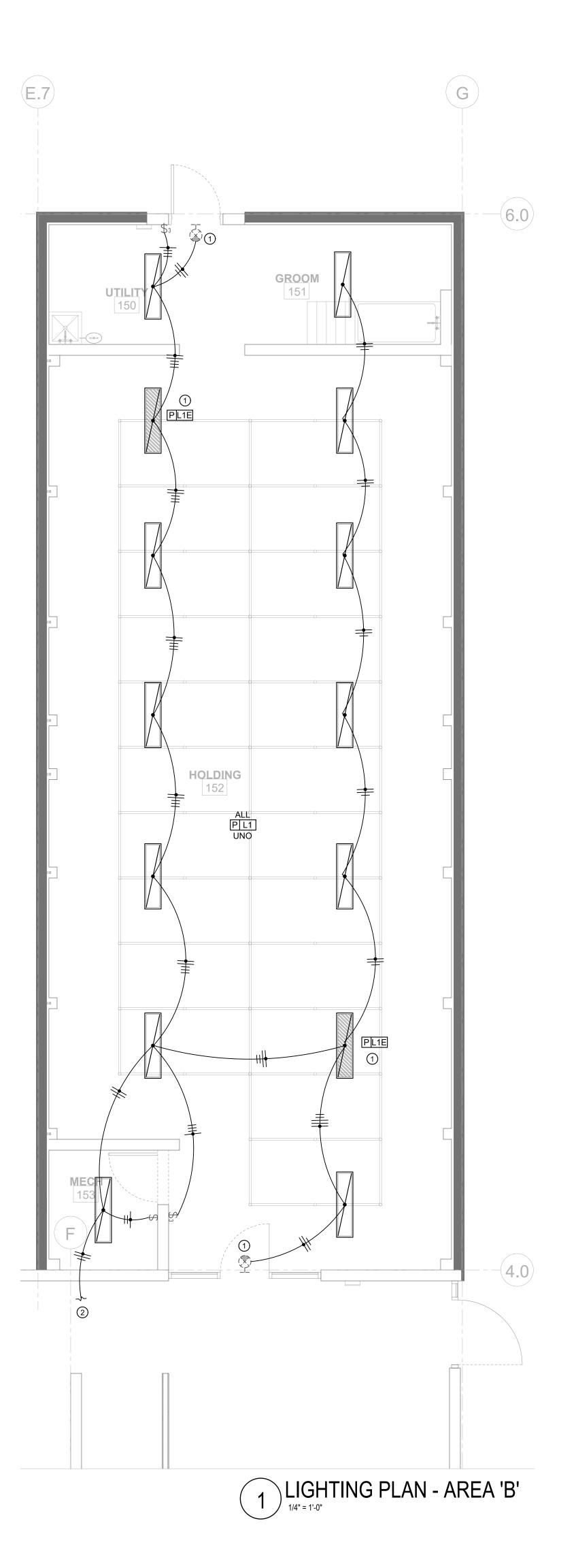
ADMIN. - EXISTING MAIN SPACE

ADMIN: - EXISTING MAIN SPACE

A - EXISTING ADOPTION KENNEL (PHASE I)

B - EXISTING HOLDING KENNEL (PHASE II)

C - EXISTING HOLDING KENNEL (PHASE III)

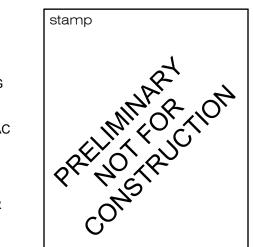




- ALL EMERGENCY FIXTURES SHALL BE PROVIDED WITH AN EMERGENCY BATTERY PACK AS SPECIFIED ON THE FIXTURE SCHEDULE AND THE EMERGENCY FIXTURE SHALL BE PROVIDED WITH AND UNSWITCHED LEG THAT SHALL BE CONNECTED TO THE EMERGENCY BATTERY PACK.
- 2 ALL OCCUPANCY SENSORS THAT ARE INTERCONNECTED WITH THE HVAC CONTROL SYSTEM SHALL BE SET TO A MINIMUM OF 30 MINUTE DELAY.
- 3 ALL UNSWITCHED LEGS OF THE LIGHTING CIRCUIT SHALL BE ROUTED THROUGH OCCUPANCY SENSOR PRIOR TO ROUTING THROUGH SNAP SWITCHES TO PROVIDE UNSWITCHED POWER TO OCCUPANCY SENSOR FOR OCCUPANT INITIATION OF SENSOR.

KEYED NOTES:

- 1 CONNECT BATTERY PACK TO UNSWITCHED LEG OF LIGHTING CIRCUIT.
 CARRY UNSWITCHED LEG THROUGH RACEWAY SYSTEM TO EGRESS
 FIXTURE FOR CONTINUOUS POWER TO BATTERY.
- 2 UTILIZE EXISTING BRANCH CIRCUIT BREAKERS (B-25,27) FOR LIGHTING BRANCH CIRCUIT. PULL NEW BRANCH CIRCUITS IN FROM PANEL TO PROVIDE BRANCH CIRCUITING WITH DEDICATED NEUTRAL AND HOT WIRES FOR EACH CIRCUIT. THE EXISTING SHARED NEUTRAL IS NO LONGER ALLOWED IN THE NEC.
- 3 DAYLIGHT ZONE. SUBSCRIPT NEXT TO LIGHT FIXTURE INDICATES THE GROUP OF LIGHT FIXTURES WHICH ARE TO BE CONTROLLED.
- 4 1-POLE, LINE VOLTAGE, PIR SWITCH MOUNTED VACANCY SENSOR, LEVITON NO. ODS15-TDW OR PRE-BID APPROVED EQUAL. VACANCY SENSOR TO BE SET TO MANUAL 'ON'/AUTO 'OFF' CONTROL.
- LOW VOLTAGE, DUAL-TECHNOLOGY CEILING MOUNTED VACANCY SENSOR (360 DEG./1000 SQFT COVERAGE), LEVITON NO. OSC10-MOW. UTILIZE A 120/277 VOLT POWER PACK WITH (1) 20A RELAY, LEVITON NO. OSP20-RD4; OR PRE-BID APPROVED EQUAL. VACANCY SENSOR TO PROVIDE MANUAL 'ON'/AUTO 'OFF' CONTROL VIA LOW VOLTAGE MOMENTARY SWITCH. VACANCY SENSOR TO BE INSTALLED NO LESS THAN 6 FT FROM ANY HVAC DIFFUSERS. SEE WIRING DETAIL ON E3.0.
- 6 LOW VOLTAGE, DUAL-TECHNOLOGY CEILING MOUNTED VACANCY SENSOR (360 DEG./1000 SQFT COVERAGE), LEVITON NO. OSC10-MOW; OR PRE-BID APPROVED EQUAL. SENSOR SHALL BE POWERED FROM MAIN POWER PACK. VACANCY SENSOR TO BE INSTALLED NO LESS THAN 6 FT FROM ANY HVAC DIFFUSERS. SEE WIRING DETAIL ON E3.0.
- 7 UTILIZE EXISTING EXTERIOR LIGHTING BRANCH CIRCUIT FOR NEW LIGHT FIXTURE INSTALLED IN THE SAME LOCATION AS THE ORIGINAL FIXTURE BEING REMOVED.



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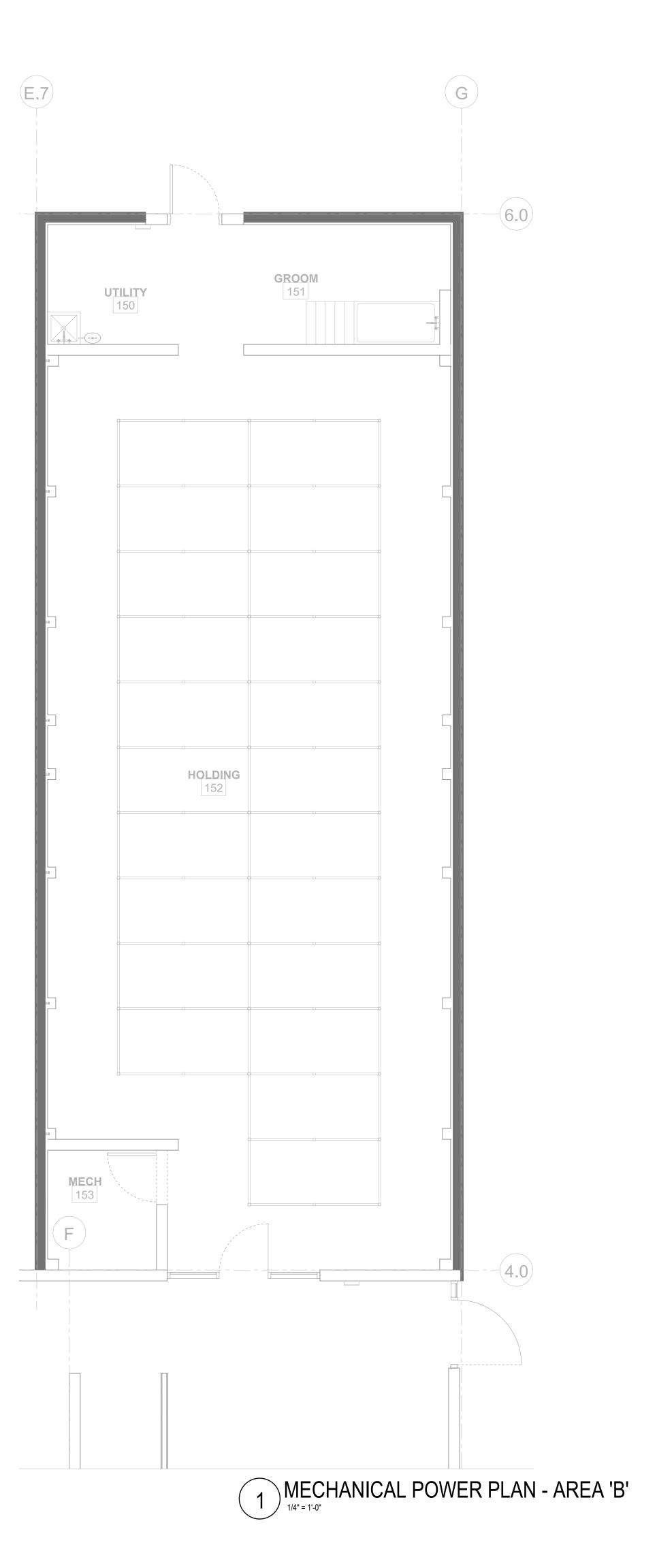
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job no. 19057

sheet title:

LIGHTING PLAN AREA 'B'

sheet number:

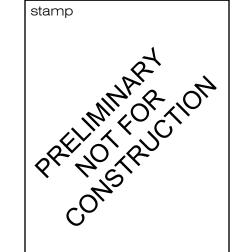




- 1 COORDINATE ALL WORK ON HVAC SYSTEMS WITH DIVISION 15.
- 2 ALL BREAKERS SUPPLYING MECHANICAL EQUIPMENT SHALL BE HACR RATED.
- 3 CONTRACTOR SHALL ROUTE ALL CONDUIT AND CONDUCTORS IN CEILING SPACE BELOW ROOF, IF CONTRACTOR ROUTES CONDUIT AND CONDUCTORS ON ROOF, CONTRACTOR SHALL BE RESPONSIBLE FOR DE-RATING CONDUCTORS PER SECTION 310.15(A)(2) OF THE 2017 NEC AND MODIFY CONDUIT SIZES AS REQUIRED.
- THERMAL OVERLOAD PROTECTION IS ONLY REQUIRED WHERE EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR DOES NOT INCORPORATE INTEGRAL THERMAL PROTECTION OF MOTOR. DIVISION 16 TO COORDINATE REQUIREMENTS WITH DIVISION 15 FOR ACTUAL EQUIPMENT SUPPLIED.

KEYED NOTES:

1 MOUNT DISCONNECT(S) ON UNISTRUT RACK, MAINTAIN 30" CLEARANCE SIDE TO SIDE AND 36" CLEARANCE IN FRONT OF DISCONNECT. FUSE DISCONNECT AT EQUIPMENT NAMEPLATE. PROVIDE FUSE REDUCERS WHERE REQUIRED BASED ON ACTUAL EQUIPMENT NAMEPLATE.



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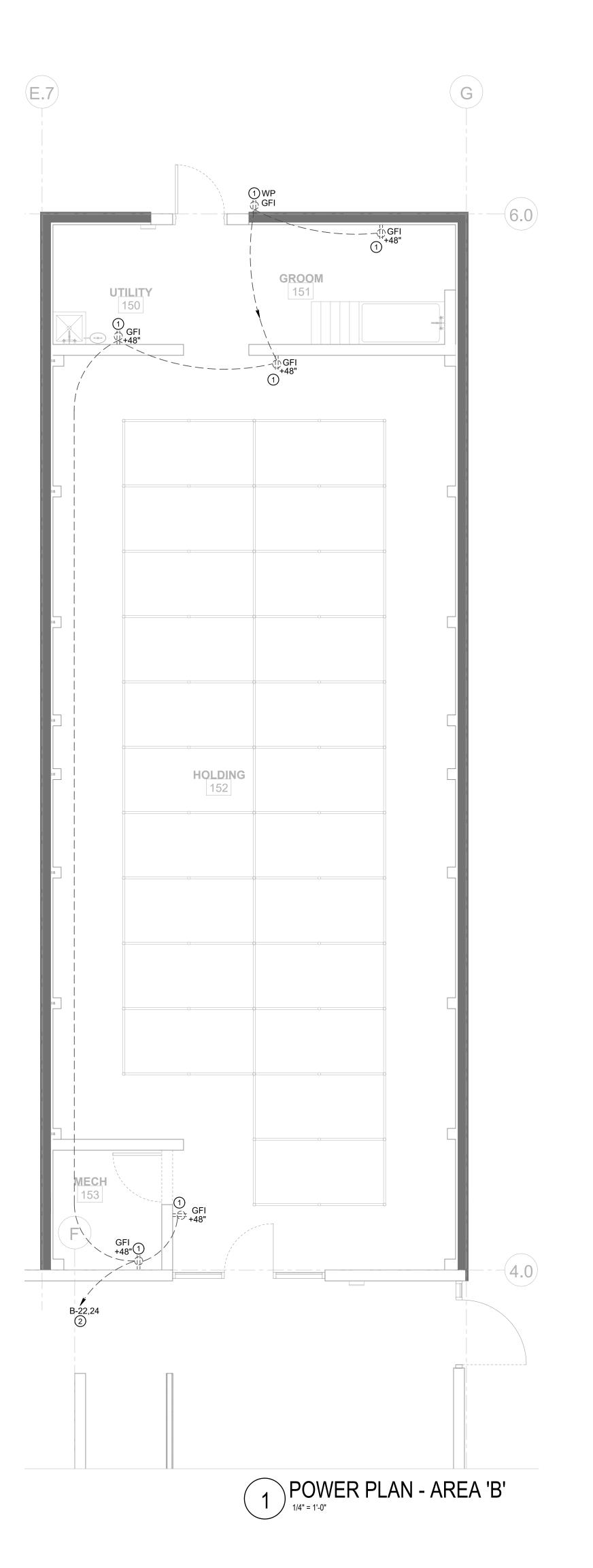
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issued for OWNER sheet title: MECHANICAL POWER PLAN -

AREA 'B' heet number:

NOT FOR CONSTRUCTION 800 s. industry way, suite 350 meridian, idaho 83642 ADMIN. - EXISTING MAIN SPACE A - EXISTING ADOPTION KENNEL (PHASE I) B - EXISTING HOLDING KENNEL (PHASE II) C - EXISTING HOLDING KENNEL (PHASE III) **e**lectrical**e**ngineering**co**mpany phone: 208.378.4450 fax: 208.378.4451 engineering 4 tomorrow e2co project #: 19214

KEY PLAN - PHASE II

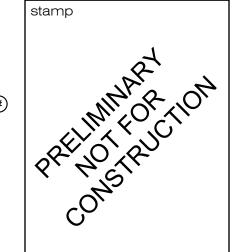




1 VERIFY ALL MOUNTING HEIGHTS OF ELECTRICAL CONNECTIONS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.

KEYED NOTES:

- 1 EXISTING RECEPTACLE TO REMAIN, BRANCH CIRCUITING IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EXISTING CONDUIT ROUTING.
- 2 EXISTING BRANCH CIRCUITING HOME RUN TO BE LOCATED AND PROTECTED DURING CONSTRUCTION. IF CIRCUIT IS DISCONNECTED DUE TO CONSTRUCTION ACTIVITY, THE SAME CIRCUIT IS TO BE RECONNECTED AFTER DEMOLITION AND INSTALLATION OF NEW ROOF IS COMPLETE. FILED VERIFY BRANCH BREAKERS.



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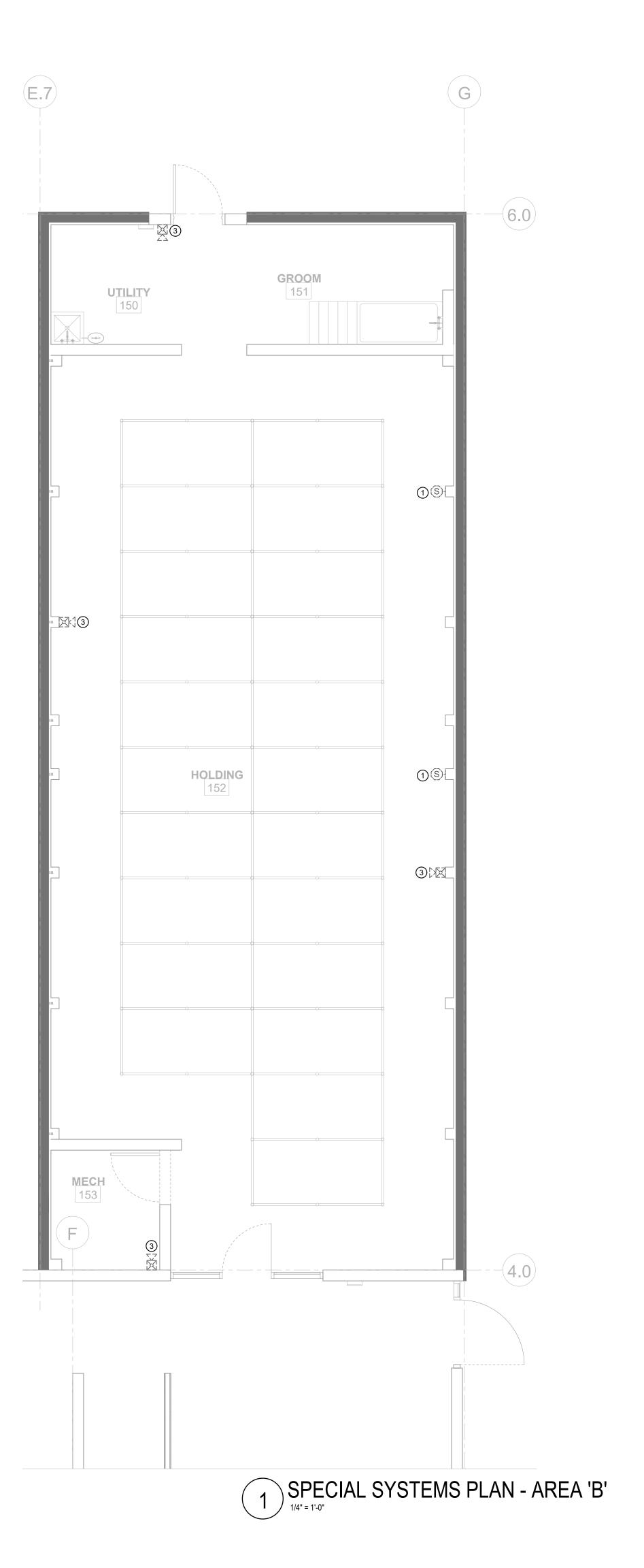
issued for OWNER sheet title: POWER PLAN -AREA 'B'

sheet number:

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NOT FOR CONSTRUCTION **e**lectrical**e**ngineering**co**mpany engineering 4 tomorrow

KEY PLAN - PHASE II

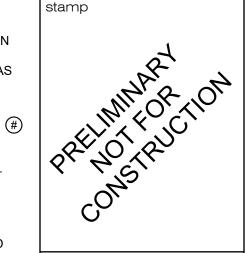




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ADDITIONAL ITEMS MAY BE REQUIRED FOR A COMPLETE INSTALLATION AS PER SPECIFICATIONS AND DRAWINGS.

KEYED NOTES:

- 1 RE-INSTALL EXISTING PUBLIC ADDRESS EQUIPMENT SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.1D.
- 2 RE-INSTALL EXISTING CCTV CAMERAS SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.1D.
- RE-INSTALL EXISTING FIRE ALARM NOTIFICATION DEVICE AS SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.1D.



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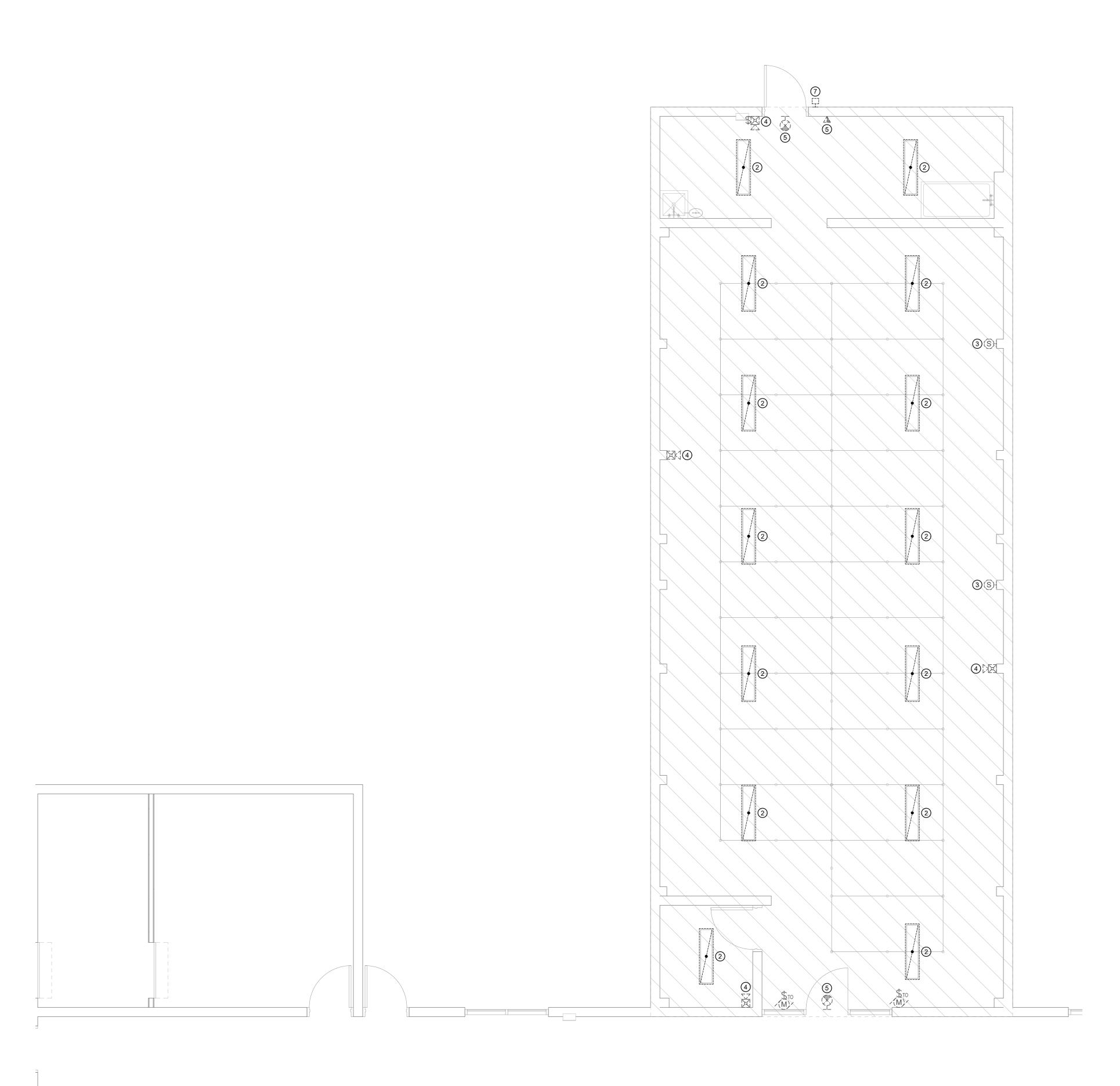
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sheet title: SPECIAL SYSTEMS PLAN - AREA 'B'

sheet number:



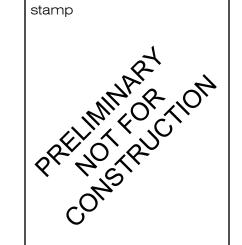




- 1 ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND RESTORING; IF INTERRUPTED, ALL CONDUITS AND CONDUCTORS PASSING THROUGH RENOVATED AREAS THAT SERVE EQUIPMENT IN UNDISTURBED AREAS.
- 2 EXISTING CONDUIT MAY BE UTILIZED FOR NEW INSTALLATION IF IT IS CURRENTLY INSTALLED PER THE INSTALLATION REQUIREMENTS INDICATED IN THESE CONTRACT DOCUMENTS (DRAWING AND SPECIFICATIONS).
- 3 PROVIDE BLANK COVERS FOR ALL JUNCTION BOXES THAT CANNOT BE REMOVED DUE TO EXISTING INSTALLATION CONDITIONS.
- 4 CONTRACTOR TO COORDINATE ALL CONSTRUCTION ACTIVITY WITH OWNER TO MINIMIZE ASSOCIATED DOWN TIME AND/OR POWER OUTAGES. ALL POWER OUTAGES ARE TO BE COORDINATED WITH OWNER IN TERMS OF LENGTH OF OUTAGE, AREA EFFECTED, AND ALTERNATIVE OPTIONS FOR TEMPORARY POWER PRIOR TO BEGINNING WORK IN THE AREA EFFECTED BY OUTAGE.
- ANY EXISTING ITEM TO BE REMOVED ON EXISTING WALLS THAT ARE TO REMAIN, SHALL BE REMOVED OR ABANDONED WHERE REMOVAL IS NOT POSSIBLE WITHOUT DAMAGE TO THOSE WALLS. ANY DAMAGE TO EXISTING REMAINING WALLS AS A RESULT OF REMOVING THE ITEM SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
- 6 ELECTRICAL CONTRACTOR TO IDENTIFY NEW SPARE CIRCUITS AS A RESULT OF REMOVAL OF ELECTRICAL EQUIPMENT AND REUSE NEW SPARE CIRCUIT BREAKERS FOR NEW CIRCUITS.
- 7 ANY EXISTING ITEMS TO BE REMOVED AND REINSTALLED SHALL BE REMOVED WITHOUT DAMAGING THE DEVICE. ANY DAMAGE TO THE ASSOCIATED ELECTRICAL DEVICE AS A RESULT OF REMOVING AND REINSTALLATION SHALL BE REPAIRED OR REPLACED AT NO COST TO OWNER.

KEYED NOTES:

- 1 DISCONNECT AND REMOVE ELECTRICAL ITEM INDICATED. REMOVE ALL ASSOCIATED CONDUIT AND CONDUCTORS BACK TO SOURCE. MAINTAIN FUNCTIONALITY TO ALL DOWN STREAM DEVICES THAT ARE TO REMAIN.
- DISCONNECT POWER AND CONTROLS FROM LIGHT FIXTURE. REMOVE LIGHT FIXTURE. REMOVE ALL ASSOCIATED CONDUCTORS BACK TO SOURCE, SEE SHEET E2.1L FOR NEW BRANCH CIRCUITING REQUIREMENTS.
- 3 ALL EXISTING PUBLIC ADDRESS SPEAKERS ARE TO BE DISCONNECTED AND RE-INSTALLED. ALL EXISTING CABLING IS TO BE DISCONNECTED, PULLED BACK TO AN ACCESSIBLE LOCATION AND THEN RE-INSTALLED FOR RECONNECTION TO THE SPEAKER IN THE SAME LOCATION.
- 4 ALL EXISTING FIRE ALARM DEVICE ARE TO BE DISCONNECTED AND RE-INSTALLED. ALL EXISTING CABLING IS TO BE DISCONNECTED, PULLED BACK TO AN ACCESSIBLE LOCATION AND THEN RE-INSTALLED FOR RECONNECTION TO THE DEVICE IN THE SAME LOCATION.
- 5 EXISTIING ELECTRICAL DEVICE TO REMAIN, MAINTAIN CONTINUITY.
- 6 ALL EXISTING SECURITY CAMERAS ARE TO BE DISCONNECTED AND RE-INSTALLED. ALL EXISTING CABLING IS TO BE DISCONNECTED, PULLED BACK TO AN ACCESSIBLE LOCATION AND THEN RE-INSTALLED FOR RECONNECTION TO THE CAMERA IN THE SAME LOCATION.
- 7 DISCONNECT POWER AND CONTROLS FROM LIGHT FIXTURE. REMOVE LIGHT FIXTURE. NEW LIGHT FIXTURE IS TO BE INSTALLED IN THE SAME LOCATION SEE SHEET E2.1L FOR ADDITIONAL INFORMATION.



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date 1/13/2019
drawn JWVS
job no. 19057
issued for OWNER

sheet title: ELECTRICAL DEMOLITION PLAN AREA 'C'

sheet number: E2.2D

ADMIN.

ADMIN. - EXISTING MAIN SPACE
A - EXISTING ADOPTION KENNEL (PHASE I)
B - EXISTING HOLDING KENNEL (PHASE II)
C - EXISTING HOLDING KENNEL (PHASE III)

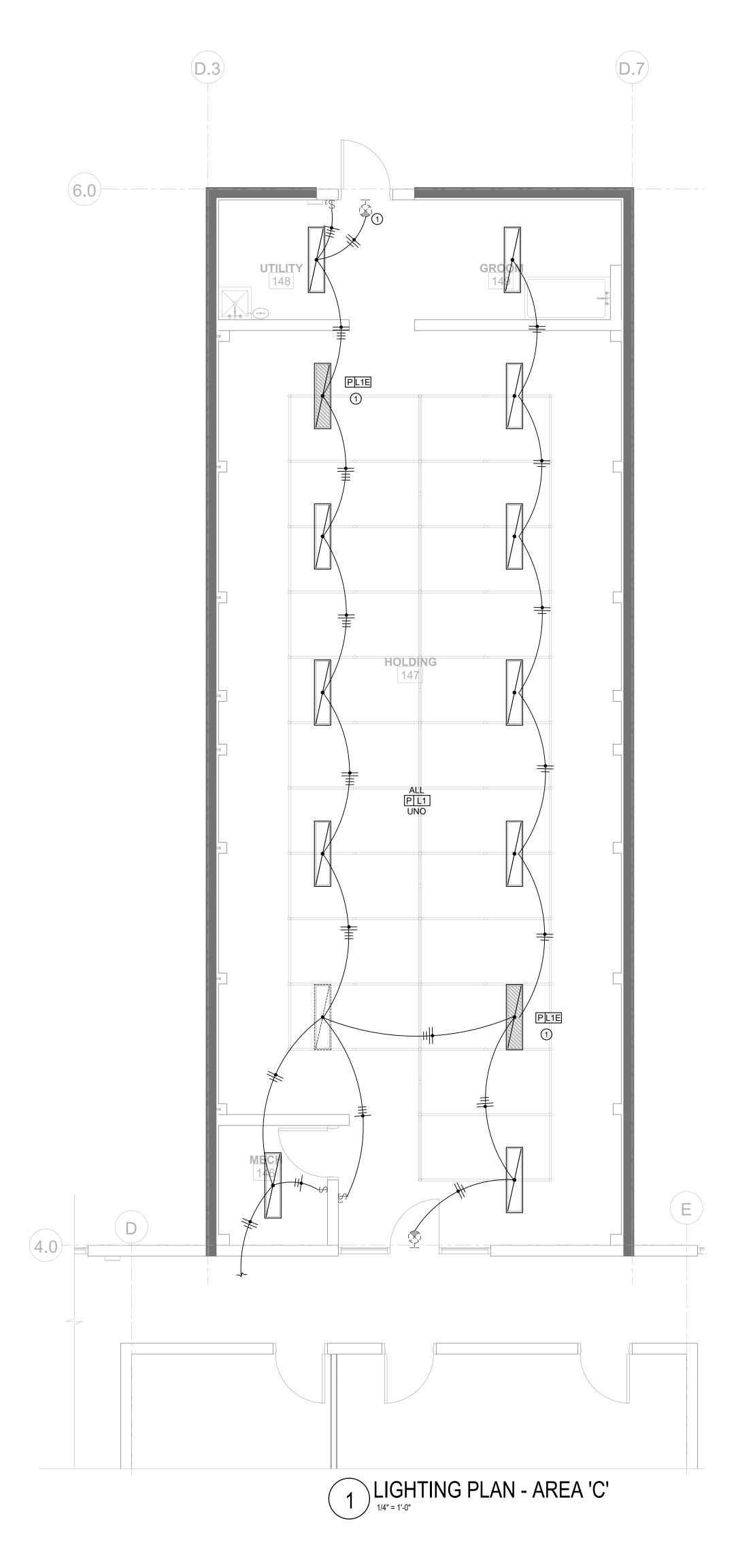
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world wide web: e2co.com

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phone: 208.378.4450
fax: 208.378.4451
e2co project #: 19214

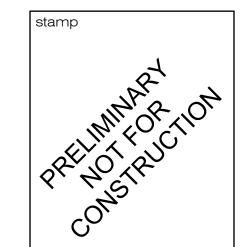




- 1 ALL EMERGENCY FIXTURES SHALL BE PROVIDED WITH AN EMERGENCY BATTERY PACK AS SPECIFIED ON THE FIXTURE SCHEDULE AND THE EMERGENCY FIXTURE SHALL BE PROVIDED WITH AND UNSWITCHED LEG THAT SHALL BE CONNECTED TO THE EMERGENCY BATTERY PACK.
- 2 ALL OCCUPANCY SENSORS THAT ARE INTERCONNECTED WITH THE HVAC CONTROL SYSTEM SHALL BE SET TO A MINIMUM OF 30 MINUTE DELAY.
- 3 ALL UNSWITCHED LEGS OF THE LIGHTING CIRCUIT SHALL BE ROUTED THROUGH OCCUPANCY SENSOR PRIOR TO ROUTING THROUGH SNAP SWITCHES TO PROVIDE UNSWITCHED POWER TO OCCUPANCY SENSOR FOR OCCUPANT INITIATION OF SENSOR.

KEYED NOTES:

- 1 CONNECT BATTERY PACK TO UNSWITCHED LEG OF LIGHTING CIRCUIT. CARRY UNSWITCHED LEG THROUGH RACEWAY SYSTEM TO EGRESS FIXTURE FOR CONTINUOUS POWER TO BATTERY.
- 2 UTILIZE EXISTING BRANCH CIRCUIT BREAKERS (B-25,27) FOR LIGHTING BRANCH CIRCUIT. PULL NEW BRANCH CIRCUITS IN FROM PANEL TO PROVIDE BRANCH CIRCUITING WITH DEDICATED NEUTRAL AND HOT WIRES FOR EACH CIRCUIT. THE EXISTING SHARED NEUTRAL IS NO LONGER ALLOWED IN THE NEC.
- 3 DAYLIGHT ZONE. SUBSCRIPT NEXT TO LIGHT FIXTURE INDICATES THE GROUP OF LIGHT FIXTURES WHICH ARE TO BE CONTROLLED.
- 4 1-POLE, LINE VOLTAGE, PIR SWITCH MOUNTED VACANCY SENSOR, LEVITON NO. ODS15-TDW OR PRE-BID APPROVED EQUAL. VACANCY SENSOR TO BE SET TO MANUAL 'ON'/AUTO 'OFF' CONTROL.
- 5 LOW VOLTAGE, DUAL-TECHNOLOGY CEILING MOUNTED VACANCY SENSOR (360 DEG./1000 SQFT COVERAGE), LEVITON NO. OSC10-MOW. UTILIZE A 120/277 VOLT POWER PACK WITH (1) 20A RELAY, LEVITON NO. OSP20-RD4; OR PRE-BID APPROVED EQUAL. VACANCY SENSOR TO PROVIDE MANUAL 'ON'/AUTO 'OFF' CONTROL VIA LOW VOLTAGE MOMENTARY SWITCH. VACANCY SENSOR TO BE INSTALLED NO LESS THAN 6 FT FROM ANY HVAC DIFFUSERS. SEE WIRING DETAIL ON E3.0.
- 6 LOW VOLTAGE, DUAL-TECHNOLOGY CEILING MOUNTED VACANCY SENSOR (360 DEG./1000 SQFT COVERAGE), LEVITON NO. OSC10-MOW; OR PRE-BID APPROVED EQUAL. SENSOR SHALL BE POWERED FROM MAIN POWER PACK. VACANCY SENSOR TO BE INSTALLED NO LESS THAN 6 FT FROM ANY HVAC DIFFUSERS. SEE WIRING DETAIL ON E3.0.
- 7 UTILIZE EXISTING EXTERIOR LIGHTING BRANCH CIRCUIT FOR NEW LIGHT FIXTURE INSTALLED IN THE SAME LOCATION AS THE ORIGINAL FIXTURE BEING REMOVED.



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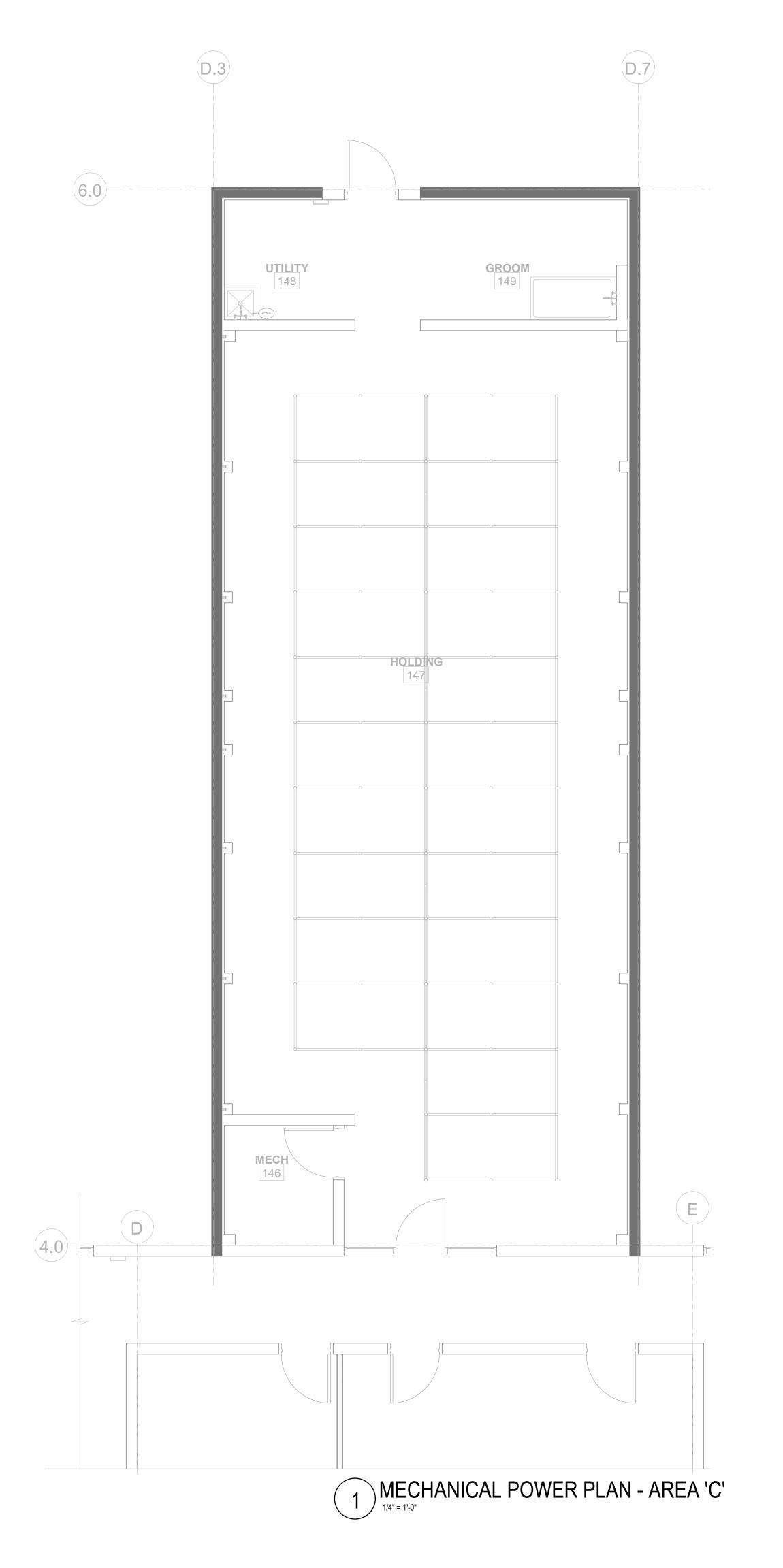
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sheet title: LIGHTING PLAN -AREA 'C'

sheet number:





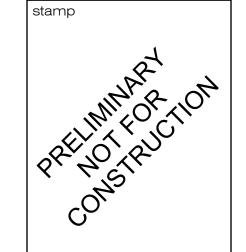
- 1 COORDINATE ALL WORK ON HVAC SYSTEMS WITH DIVISION 15.
- 2 ALL BREAKERS SUPPLYING MECHANICAL EQUIPMENT SHALL BE HACR RATED.
- 3 CONTRACTOR SHALL ROUTE ALL CONDUIT AND CONDUCTORS IN CEILING SPACE BELOW ROOF, IF CONTRACTOR ROUTES CONDUIT AND CONDUCTORS ON ROOF, CONTRACTOR SHALL BE RESPONSIBLE FOR DE-RATING CONDUCTORS PER SECTION 310.15(A)(2) OF THE 2017 NEC AND MODIFY CONDUIT SIZES AS REQUIRED.
- THERMAL OVERLOAD PROTECTION IS ONLY REQUIRED WHERE EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR DOES NOT INCORPORATE INTEGRAL THERMAL PROTECTION OF MOTOR. DIVISION 16 TO COORDINATE REQUIREMENTS WITH DIVISION 15 FOR ACTUAL EQUIPMENT SUPPLIED.

KEYED NOTES:

KEY PLAN - PHASE III

ADMIN. - EXISTING MAIN SPACE A - EXISTING ADOPTION KENNEL (PHASE I) B - EXISTING HOLDING KENNEL (PHASE II) C - EXISTING HOLDING KENNEL (PHASE III)

1 MOUNT DISCONNECT(S) ON UNISTRUT RACK, MAINTAIN 30" CLEARANCE SIDE TO SIDE AND 36" CLEARANCE IN FRONT OF DISCONNECT. FUSE DISCONNECT AT EQUIPMENT NAMEPLATE. PROVIDE FUSE REDUCERS WHERE REQUIRED BASED ON ACTUAL EQUIPMENT NAMEPLATE.



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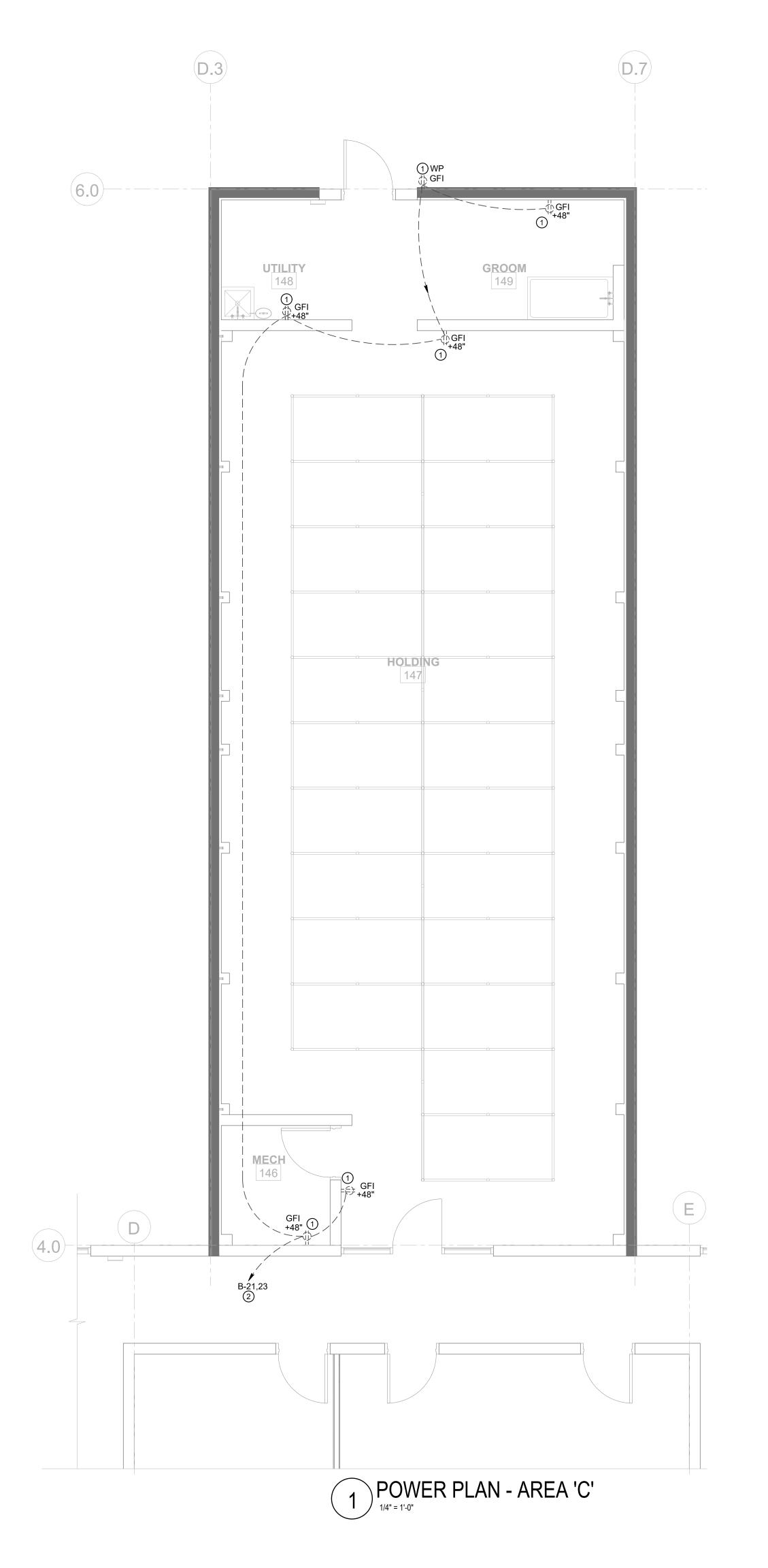
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issued for OWNER sheet title: MECHANICAL POWER PLAN -

AREA 'C' neet number:

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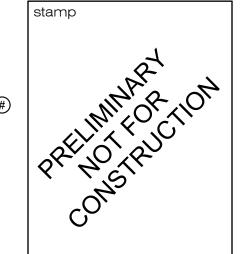




1 VERIFY ALL MOUNTING HEIGHTS OF ELECTRICAL CONNECTIONS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.

KEYED NOTES:

- 1 EXISTING RECEPTACLE TO REMAIN, BRANCH CIRCUITING IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EXISTING CONDUIT ROUTING.
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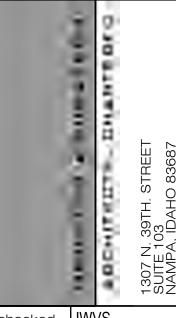
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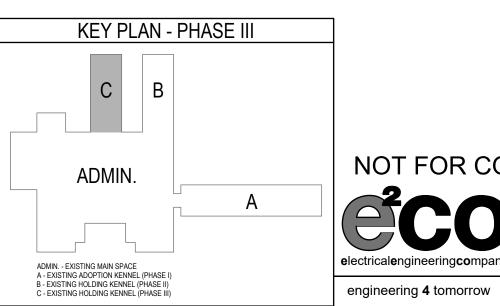


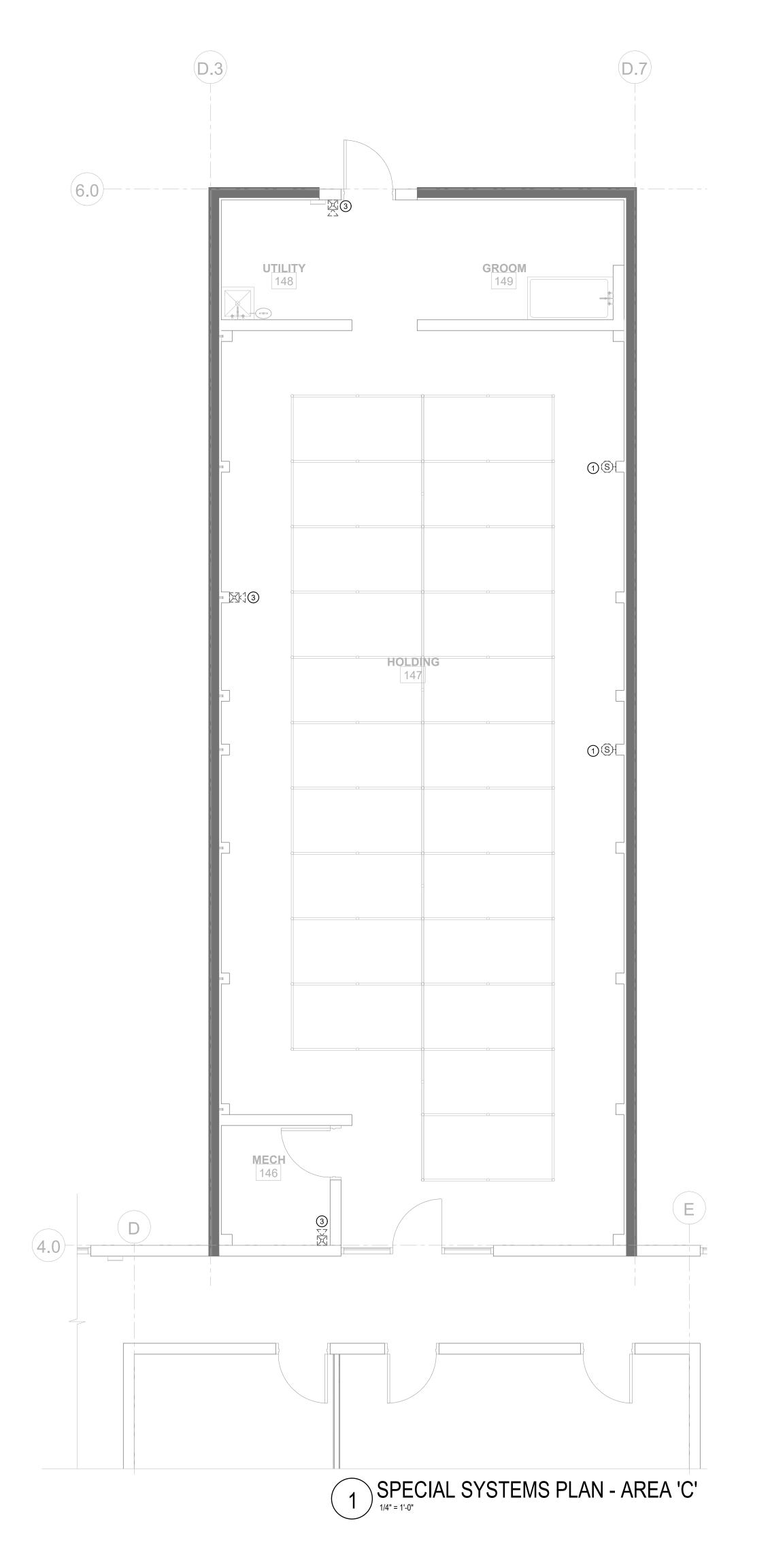
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sheet title: POWER PLAN -AREA 'C'

sheet number:





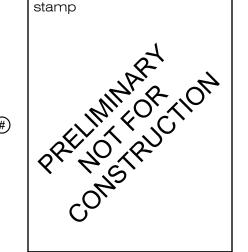




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- 1 RE-INSTALL EXISTING PUBLIC ADDRESS EQUIPMENT SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.2D.
- 2 RE-INSTALL EXISTING CCTV CAMERAS SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.2D.
- RE-INSTALL EXISTING FIRE ALARM NOTIFICATION DEVICE AS SHOWN AND RECONNECT TO EXISTING CONDUCTORS AS INDICATED ON SHEET E2.2D.



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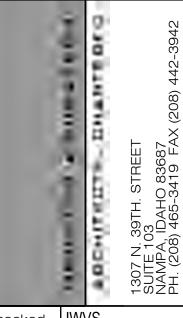
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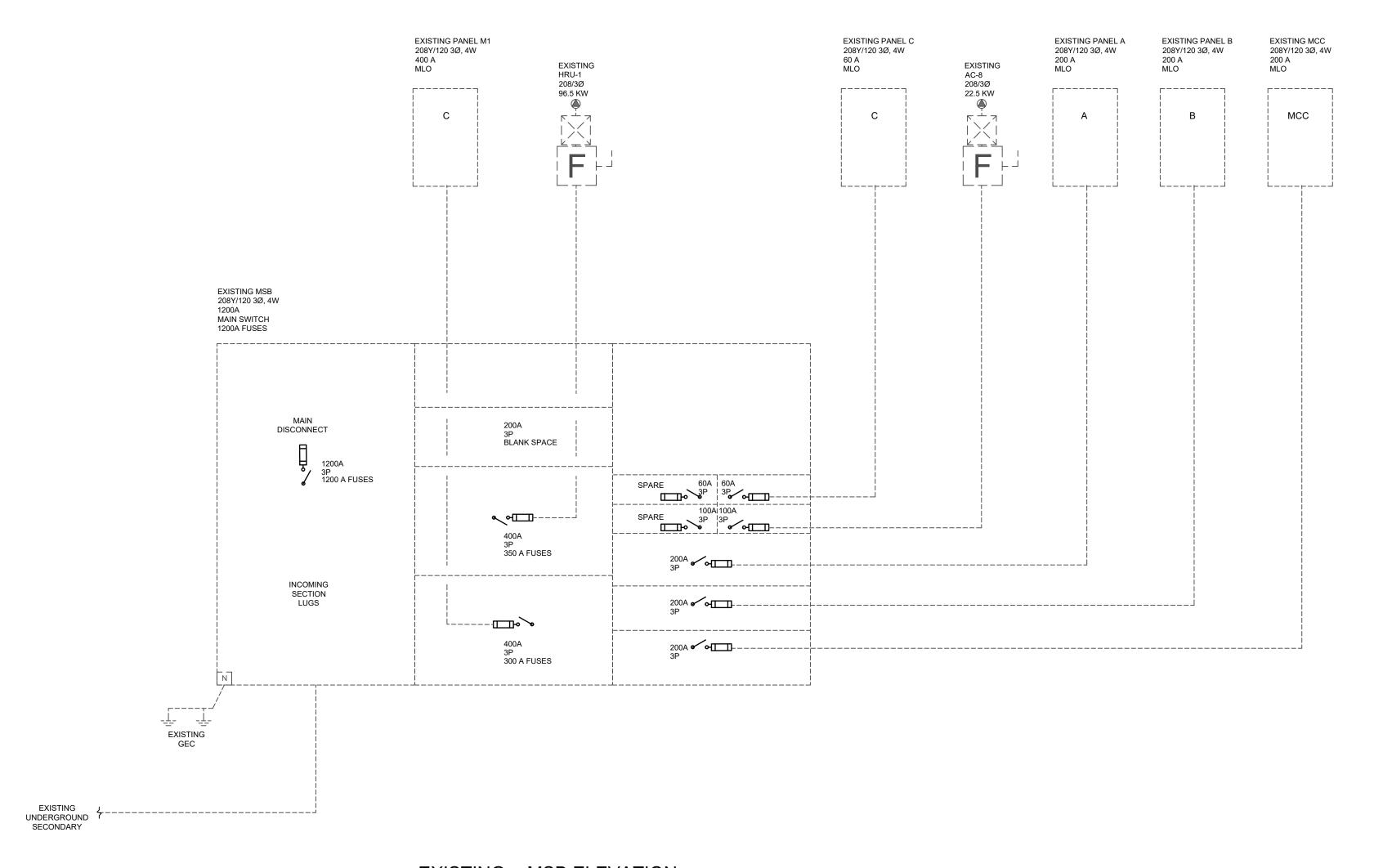
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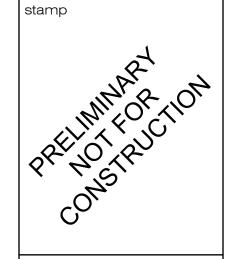
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job no. 19057

issued for OWNER
sheet title:
ONE LINE DIAGRAM
AND ELECTRICAL

DETAILS
sheet number:

ATTACHMENT C

RFQ CHECKLIST

As provided in Section V, above, the County intends to preliminarily rank the SOQs it receives to determine both responsiveness to the RFQ requirements and perceived congruence between each prospective Design/Build team's qualifications and the County's needs. The County intends to then arrange supplemental interviews with several of the highest preliminarily ranked firms, if deemed necessary by the County, to further distinguish between the Design/Build teams and establish a final top ranking. If the County is unable to come to terms with the highest ranked firm at that time, it intends to negotiate with the next highest ranked firm, and so on.

Although the County intends to rely in part on objective measurements where possible, by submitting a SOQ interested Design/Build teams acknowledge that the ranking and selection process will necessarily turn in large part on purely subjective standards.

The RFQs will be ranked based on the points noted in parentheses assigned to each item listed below. If "does not meet this requirement" is acknowledged, proposer may include an explanation as to why such requirement in not applicable. Inclusion of an explanation does not obligate the County to credit proposer for responding to the item.

1.	Proposer has provided an executed Attachment D, the Design/Builder Form. (2.5 pts)
Subi	mittal meets this requirement: does not meet this requirement:
Grad	der comment:
2.	Proposer affirms that it is prepared to comply with contractual requirements detailed in Section VI. (2.5 pts)
Subi	mittal meets this requirement: does not meet this requirement:
Grad	der comment:

3.	Proposer has included Section IV. A. Cover letter. (2.5 pts)
Subm	ittal meets this requirement: does not meet this requirement:
Grade	er comment:
4.	Proposer has included Section IV. B. Table of Contents. (2.5 pts)
Subm	ittal meets this requirement: does not meet this requirement:
Grade	er comment:
5.	Proposer has included Section IV. C. Overview of Firm. (2.5 pts)
Subm	ittal meets this requirement: does not meet this requirement:
Grade	er comment:
6.	Proposer has included Section IV. D. Design/Builder Financial Report. (2.5 pts)
Subm	ittal meets this requirement: does not meet this requirement:
Grade	er comment:
7.	Proposer has included Section IV. E. Experience. (5 pts)
Subm	ittal meets this requirement: does not meet this requirement:
Grade	er comment:

8.	Proposer has included Section IV F. List of Similar Projects. (5 pts)
Subm	ittal meets this requirement: does not meet this requirement:
Grade	er comment:
9.	Proposer has included Section IV. G. Customer Reference List. (5 pts)
Subm	ittal meets this requirement: does not meet this requirement:
Grade	er comment:
Serio	reservations, maybe would use again (3pts) us concerns, would not use again (0pts) er comment:
10.	Proposer has included Section IV. H. Proposed Design/Builders Staff. (5 pts)
Subm	ittal meets this requirement: does not meet this requirement:
Grade	er comment:

11.	Proposer has included Section IV. I. Proposed Sub-Design/Builders. (5 pts)
Subm	nittal meets this requirement: does not meet this requirement:
Grade	er comment:
12.	Proposer has included Section IV. J. Statement of Approach. (5 pts)
Subm	nittal meets this requirement: does not meet this requirement:
Grade	er comment:
13.	Perceived congruence between satisfaction of above-enumerated criteria and the aty's needs in executing the Canyon County Fair Expo Building Project. (50 pts)
Subm	nittal meets this requirement: does not meet this requirement:
Grade	er comment:
Point	Total:/ 100
Prelir	minary Ranking: /

Additional Grader Comments:				