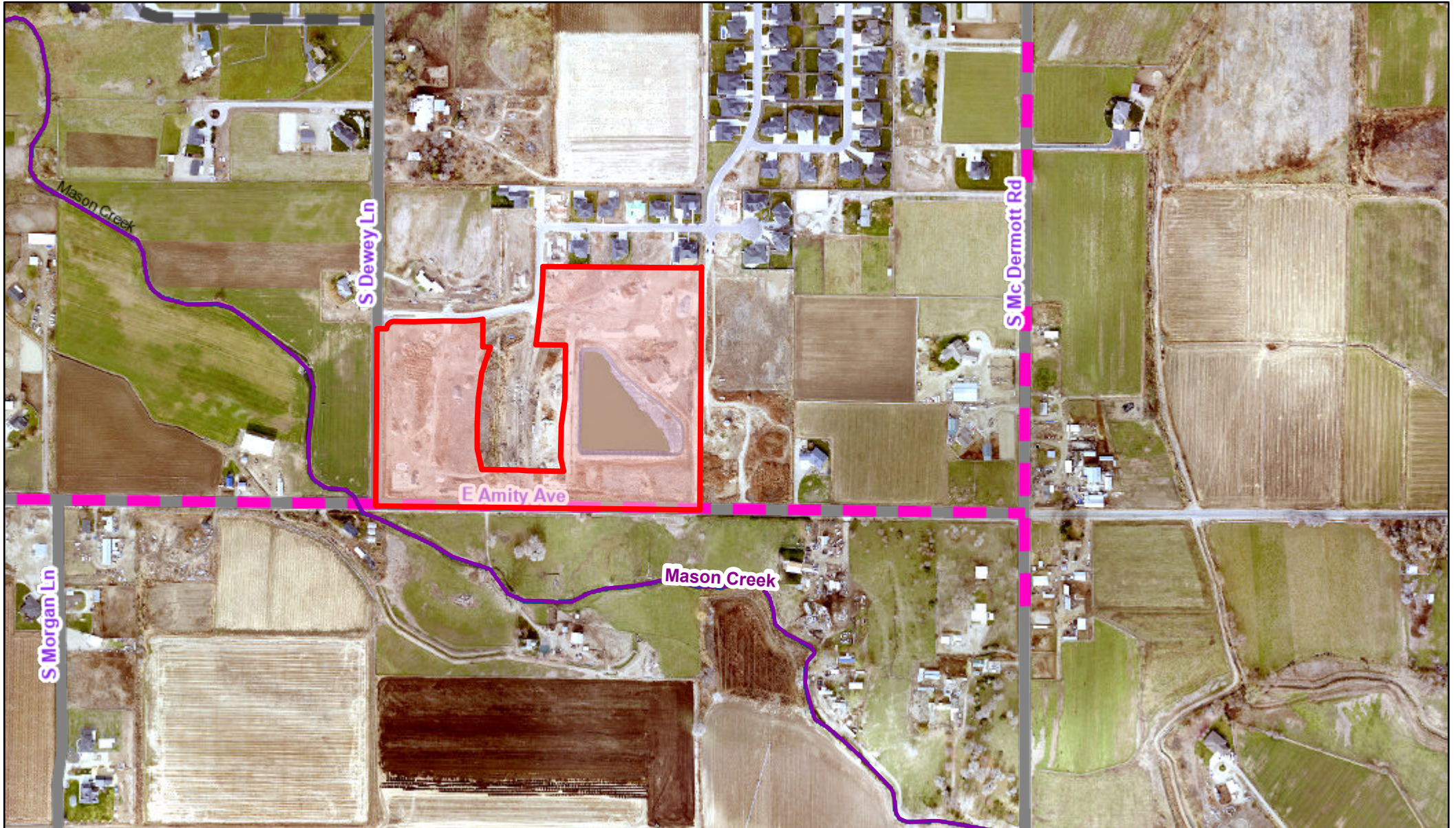









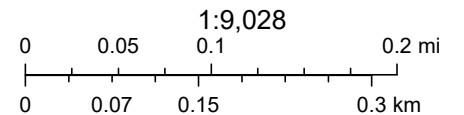


# Canyon County, ID Web Map



6/30/2023, 1:41:33 PM

- |   |  |   |
|---|--|---|
|  Multiple Parcel Search _Query result |  CanyonCountyRoads<br>Roads                               |  Red: Band_1   |
|  Hydro_NHDFlowline                    |  ITDFunctionalClassification<br>Other Principal Arterials |  Green: Band_2 |
|  Hydro_NHDFlowline                    |  |  Blue: Band_3  |
|  CC_PrivateRoads                      |  |   |



County of Ada, Bureau of Land Management, State of Oregon, State of Oregon DOT, State of Oregon GEO, Esri Canada, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

# MASTER APPLICATION

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



<b>PROPERTY OWNER</b>	OWNER NAME: <u>Brittanna Heights LLC</u>
	MAILING ADDRESS: <u>855 Broad St # 300 Boise 83702</u>
	PHONE: <u>208-850-2431</u> EMAIL: <u>jhess@hcollc.com</u>

I consent to this application and allow DSD staff / Commissioners to enter the property for site inspections. If owner(s) are a business entity, please include business documents, including those that indicate the person(s) who are eligible to sign.

Signature: \_\_\_\_\_

Date: 7/19/21

<b>(AGENT) ARCHITECT ENGINEER BUILDER</b>	CONTACT NAME: <u>Jeff Hess</u>
	COMPANY NAME: <u>Matt Munger NV5</u>
	MAILING ADDRESS: <u>690 Industry Way</u>
	PHONE: <u>208-342-5700</u> EMAIL: <u>Matt.Munger@NV5.com</u>

<b>SITE INFO</b>	STREET ADDRESS: <u>Newcastle Dr R-30658</u>
	PARCEL #: <u>No Lots</u> LOT SIZE/AREA:
	LOT: BLOCK: SUBDIVISION:
	QUARTER: <u>S1/4 of SE 1/4 of 29</u> SECTION: <u>29</u> TOWNSHIP: <u>3N</u> RANGE: <u>1W</u>
	ZONING DISTRICT: <u>R1</u> FLOODZONE (YES/NO): <u>(NO)</u>

<b>HEARING LEVEL APPS</b>	<input type="checkbox"/> CONDITIONAL USE	<input type="checkbox"/> COMP PLAN AMENDMENT	<input type="checkbox"/> CONDITIONAL REZONE
	<input type="checkbox"/> ZONING AMENDMENT (REZONE)	<input type="checkbox"/> DEV. AGREEMENT MODIFICATION	<input type="checkbox"/> VARIANCE > 33%
	<input type="checkbox"/> MINOR REPLAT	<input type="checkbox"/> VACATION	<input type="checkbox"/> APPEAL
	<input type="checkbox"/> SHORT PLAT SUBDIVISION	<input type="checkbox"/> PRELIMINARY PLAT SUBDIVISION	<input checked="" type="checkbox"/> FINAL PLAT SUBDIVISION

<b>DIRECTORS DECISION APPS</b>	<input type="checkbox"/> ADMINISTRATIVE LAND DIVISION	<input type="checkbox"/> EASEMENT REDUCTION	<input type="checkbox"/> SIGN PERMIT
	<input type="checkbox"/> PROPERTY BOUNDARY ADJUSTMENT	<input type="checkbox"/> HOME BUSINESS	<input type="checkbox"/> VARIANCE 33% >
	<input type="checkbox"/> PRIVATE ROAD NAME	<input type="checkbox"/> TEMPORARY USE	<input type="checkbox"/> DAY CARE
	<input type="checkbox"/> OTHER _____		

CASE NUMBER: <u>SD 2021-0042</u>	DATE RECEIVED: <u>7/20/21</u>
RECEIVED BY: <u>LISTER</u>	APPLICATION FEE: <u>1,220.00</u> CK MO CC CASH

1,220.00



# Development Services Department

Canyon County, 111 North 11<sup>th</sup> Avenue, Caldwell, ID 83605

(208) 454 7458 ▪ (208) 454 6633 Fax ▪ [Zoninginfo@canyonco.org](mailto:Zoninginfo@canyonco.org) ▪ [www.canyonco.org/dsd](http://www.canyonco.org/dsd)

Dear Property Owners/Applicants,

On behalf of the Canyon County Development Services Department – Planning Division, we thank you for your interest in developing in our community. Our department's number one priority is providing quality customer service. Unfortunately, due to the lack of planning staff and the current labor market conditions, we are falling short of that mission.

As of September 1, 2022, we have over 200 planning projects currently in queue. We are also working diligently on the adoption and implementation of the 2030 Canyon County Comprehensive Plan. The Planning Division has recently lost experienced planners, which has impacted application processing time. Besides myself, our division has just one (1) Planner III, whose primary focus is the 2030 Canyon County Comprehensive Plan. The rest of the division is mainly new planners and planner technicians training to get up to speed.

As our department works to get back to a normal processing time, we ask that you please be patient with our staff. They are working day in and day out to keep up with the growing needs of our county. Moving forward, we will continue to review applications in the order they are received and prioritize them accordingly. If your application has been recently filed and you want to withdraw, we will be more than happy to refund your application fee. If you wish to remain on file, please know that we will get to it as quickly as possible.

Please don't hesitate to contact us with questions or concerns.

Thanks in advance for your patience and understanding.

Sincerely,

Dan Lister  
Planning Official - Development Services Department

**Canyon County Development Services**

111 N. 11th Ave. Room 140, Caldwell, ID 83605  
(208) 454-7458

**Building Division Email:** buildinginfo@canyonco.org

**Planning Division Email:** zoninginfo@canyonco.org

**Receipt Number:** 59743

**Date:** 7/20/2021

**Date Created:** 7/20/2021

**Receipt Type:** Normal Receipt

**Status:** Active

**Customer's Name:** Brittainia Heights

**Comments:**

**CHARGES**

<b>Item Being Paid For:</b>	<b>Application Number:</b>	<b>Amount Paid:</b>	<b>Prevs Pymnts:</b>	<b>Unpaid Amnt:</b>
Planning - Final Plat Addition City Impact Area Fee	SD2021-0042	\$100.00	\$0.00	\$0.00
Planning - Final Plat	SD2021-0042	\$930.00	\$0.00	\$0.00
Planning - Final Plat Addition Per Lot Fee (Per Application)	SD2021-0042	\$190.00	\$0.00	\$0.00

**Sub Total:** \$1,220.00

**Sales Tax:** \$0.00

**Total Charges:** \$1,220.00

**PAYMENTS**

<b>Type of Payment:</b>	<b>Check/Ref Number:</b>	<b>Amount:</b>
Credit Card	97439423	\$1,220.00

**Total Payments:** \$1,220.00

**ADJUSTMENTS**

**Receipt Balance:** \$0.00



- Landscaping?  
- Amity Rd

# FINAL PLAT CHECKLIST-CANYON COUNTY

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Ave, Ste.140, Caldwell, ID 83605 [www.canyoncounty.org/dsd](http://www.canyoncounty.org/dsd) Phone: 208-454-7458 Fax: 208-454-6633

APPLICANT: \_\_\_\_\_ SUBDIVISION NAME: Brittania No 8

LAND USE CASE NUMBER: \_\_\_\_\_ SUBDIVISION CASE NUMBER: SD2021-0042

## CANYON COUNTY CODE OF ORDINANCES 07-17-13 (1-6)

The information hereinafter required as part of the final plat submitted shall be shown graphically or by note on plans, and may comprise several sheets showing various elements or required data.

	APP.	DSD/SRT
<b>1. METHOD &amp; MEDIUM OF PRESENTATION:</b>		
A. All plats to be recorded shall be prepared on a drafting medium in accordance with Requirements of Idaho Code title 55, chapter 19, paragraph (1) for Records of Survey Maps	<input type="checkbox"/>	<input type="checkbox"/>
B. The plat shall be drawn to an accurate scale of not more than one hundred feet to an inch (100'=1") unless otherwise approved by DSD prior to submission.	<input type="checkbox"/>	<input type="checkbox"/>
C. The final plat drawing shall be additionally submitted in digital form approved by the Director.	<input type="checkbox"/>	<input type="checkbox"/>
<b>2. IDENTIFICATION DATA REQUIRED:</b>		
A. A title which includes the name of the subdivision and its location by number of section, township, range and county shall be placed together at one location at the top of the sheet and generally centered.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. Name, address and official seal of the surveyor preparing the plat.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
C. North arrow	<input type="checkbox"/>	<input checked="" type="checkbox"/>
D. Date of the preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
E. Revision block showing dates of any revisions subsequent to the original preparation date. the revision block shall be part of the title block which shall be placed along the right edge of the drawing.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>3. SURVEY DATA REQUIRED:</b>		
A. Boundaries of the tract to be subdivided and the interior lots are to be fully balanced and closed, showing all bearings and distances determined by an accurate survey in the field. All dimensions shall be expressed in feet and decimals thereof.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. Any excepted lots within the plat boundaries shall show all bearings and distances determined by an accurate survey in the field. All dimensions shall be expressed in feet and decimals thereof.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
C. Basis of bearing on the plat shall be referenced.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

4. DESCRIPTIVE DATA REQUIRED:	APP.	DSD/SRT
A. Name, right-of-way lines, courses, lengths, width of all private and public streets, alleys, Pedestrian ways and utility easements.	<input type="checkbox"/>	<input type="checkbox"/>
B. All drainage ways.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
C. All easements provided for public services or utilities and any limitations of the easements.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
D. All lots and blocks shall be numbered throughout the plat in accordance with Idaho Code. "Exceptions", "tracts", and "private parks" shall be so designated, lettered or named and clearly dimensioned.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
E. All sites to be dedicated to the public will be indicated and the intended use specified.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
F. All roads must be labeled as either "private" or "public" behind or beneath the road name.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
G. The area of each lot shall be stated in acres and decimals thereof.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
H. The statement from Idaho Code 22-4503 or any later amended statutory language shall appear on all final plats located in a zone where agricultural uses are allowed or permitted.	<input type="checkbox"/>	<input type="checkbox"/>
I. A note as to the type of sewage disposal facilities to be provided. <i>Community</i>	<input type="checkbox"/>	<input type="checkbox"/> <sup>15</sup> <del>13</del>
J. A note as to the type of water supply facilities to be provided. <i>City</i>	<input type="checkbox"/>	<input type="checkbox"/> <sup>14</sup>
K. Required section and quarter-section line setbacks.	<input type="checkbox"/>	<input type="checkbox"/>
<b>5. DEDICATION AND ACKNOWLEDGMENT:</b>		
A. A statement of dedication of all streets, alleys, pedestrian ways and other easements for public use by the person holding title of record and by person holding title as vendees under land contract.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. Acknowledgement of dedication: The dedication referred to in Section 07-18-17 of this Chapter shall be in the form of a certificate acknowledged in accordance with Idaho Code 50-1309.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>6. REQUIRED CERTIFICATIONS:</b> <i>The following certifications shall be placed on the signature page of the final plat.</i>		
A. Landowner's signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. Certification by a surveyor stating that the plat is correct and accurate and that the Monuments described in it have been located as described.	<input type="checkbox"/>	<input type="checkbox"/>
C. Certification of plat approval by the county surveyor.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

D. Certification of plat approval by the board

E. Approval or certification of comment by impacted agencies that may include:  
highway districts, health department, the city when the development is in an area of  
city impact, treasurer, recorder, and state and federal agencies having jurisdiction.

**DSD SUBDIVISION REVIEW TEAM USE ONLY:**

FINAL PLAT REVIEWED ON: \_\_\_\_/\_\_\_\_/\_\_\_\_.

COMPLIANCE WITH CONDITIONS OF APPROVAL:

YES       NO       N/A

VERIFICATION OF APPROVED ROAD NAMES IN ACCORDANCE WITH PRELIMINARY PLAT:

YES       NO       N/A

SRT COMMENTS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DECISION:

APPROVED       DENIED

SRT COMMENTS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If you would like to attend the Subdivision Review Team Meeting please contact our office at 208-454-7458.

If you are submitting revisions of your plat and there are items you feel were marked in error, please provide a written explanation as to why these items should not have been redlined.

# BRITTANIA HEIGHTS SUBDIVISION NO. 8

CANYON COUNTY, IDAHO  
2021

**SHEET INDEX**  
C1.0 - COVER SHEET  
C2.0 - PLAT - CONSTRUCTION COPY  
C3.0 - PLAN & PROFILE SHEET  
C3.1 - BERM PLAN  
C4.0 - DETAILS  
C5.0 - UTILITY PLAN

**NV5**  
690 Industry Way, Suite 10  
Boise, Idaho, ID 83642  
208-342-5400 www.nv5.com



**GENERAL NOTES**

- ALL WORKMANSHIP, MATERIALS, APPURTENANCES, AND TESTING SHALL CONFORM TO THE LATEST ADOPTED APPLICABLE SPECIFICATIONS AND/OR REQUIREMENTS OF THE FOLLOWING:
  - IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW, 2012) (PUBLIC AND PRIVATE IMPROVEMENTS) AND AS MODIFIED BY THE CITY OF NAMPA SUPPLEMENTAL SPECIFICATIONS TO THE ISPCW (FEB 2015) (PUBLIC IMPROVEMENTS);
  - CITY OF NAMPA DEPARTMENT OF WASTE WATER DIVISION;
  - CITY OF NAMPA DEPARTMENT OF WATERWORKS DIVISION;
  - AMERICAN WATER WORKS ASSOCIATION (AWWA);
  - AMERICANS WITH DISABILITIES ACT (ADA);
  - ALL OTHER APPLICABLE LOCAL AGENCIES.
- CONTRACTOR SHALL HAVE A COPY OF THE ABOVE ON THE JOB SITE AT ALL TIMES, INCLUDING THE APPROVED PLAN SET AND ALL APPROVED REVISIONS, IF ANY.
- WHERE A DISCREPANCY EXISTS BETWEEN THE ISPCW AND THE CITY OF NAMPA SUPPLEMENTAL SPECIFICATIONS TO THE ISPCW, THE MORE STRINGENT OF THE TWO GUIDELINES SHALL APPLY.
- CONTRACTOR SHALL OBTAIN THE APPROPRIATE PERMITS FROM THE APPROPRIATE GOVERNMENT/LOCAL AGENCIES PRIOR TO STARTING CONSTRUCTION. ALL NECESSARY PERMITS SHALL BE EXECUTED AND APPROVED 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY ENGINEERING DIVISION A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS, UTILITY COMPANY REPRESENTATIVE(S), PROJECT ENGINEER, AND THE DEVELOPER/OWNER SHALL BE PRESENT. NO CONSTRUCTION SHALL BEGIN PRIOR TO THE PRE-CONSTRUCTION CONFERENCE.
- THE CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING WORK. ANY DEVIATIONS, OMISSIONS, AND/OR ERRORS BETWEEN THE PLANS, SPECIFICATIONS, STANDARDS, OR FIELD CONDITIONS SHALL BE IMMEDIATELY PRESENTED TO THE PROJECT ENGINEER FOR RESOLUTION. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTOR CLAIM FOR ADDITIONAL COMPENSATION.
- CONTRACTOR SHALL HAVE A SITE VISIT WITH THE OWNER PRIOR TO MOVING ONTO THE SITE TO DETERMINE ANY EXISTING DAMAGE OR UNSUITABLE CONDITION. ANY DAMAGE OR UNSUITABLE CONDITION FOUND AFTER THE CONTRACTOR HAS MOVED ONTO THE SITE WILL BE CONSIDERED THE CONTRACTOR'S RESPONSIBILITY.
- ANY CHANGES TO THE PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OF NAMPA AND ENGINEER OF RECORD PRIOR TO IMPLEMENTATION OF THE CHANGE. SAID CHANGE MAY ALSO NEED TO BE SUBMITTED TO THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) FOR APPROVAL.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. CONTRACTOR SHALL COMPLY WITH IDAHO CODE, CHAPTER 22, TITLE 55 REGARDING UNDERGROUND FACILITIES DAMAGE PREVENTION. CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. CONTRACTOR SHALL CALL DIGLINE AT 342-1585 AND OTHER APPROPRIATE UTILITY PROVIDERS FOR EXACT LOCATION OF ALL BURIED UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. EACH CONTRACTOR SHALL HAVE A DESIGNATED COMPETENT INDIVIDUAL RESPONSIBLE FOR SITE SAFETY AND SHALL COORDINATE ALL SAFETY EFFORTS WITH OTHER CONTRACTORS. EACH CONTRACTOR'S SITE SAFETY SHALL ALSO INCLUDE TRAFFIC CONTROL FOR THEIR PORTION OF WORK. NO TRAFFIC CONTROL DEVICES OR OTHER SAFETY EQUIPMENT OR DEVICES MAY BE REMOVED BY A PREVIOUS CONTRACTOR UNTIL THE SUBSEQUENT CONTRACTOR'S DEVICES ARE IN PLACE AND SITE SAFETY IS MAINTAINED. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR SITE SAFETY AND SAFETY TO THE PUBLIC IN GENERAL. NO CONTRACTOR SHALL LEAVE THE SITE IN AN UNSAFE CONDITION. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR SITE SAFETY OR THE SAFE WORKING CONDITIONS OF INDIVIDUALS OTHER THAN THOSE WHO ARE EMPLOYED BY THE ENGINEER.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). A TRAFFIC CONTROL PLAN SHALL BE PROVIDED BY THE CONTRACTOR AND APPROVED BY THE CONTROLLING ROADWAY AGENCY PRIOR TO BEGINNING WORK IN ANY ROADWAY. ALL TRAFFIC CONTROL DEVICES SHALL BE IN-PLACE PRIOR TO BEGINNING WORK IN ANY ROADWAY.
- CONTRACTOR SHALL MAINTAIN SERVICE TO ANY EXISTING CUSTOMERS AFFECTED BY UTILITY EXTENSIONS OR IMPROVEMENTS TO THIS PROJECT. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO SEWER, WATER, PHONE, GAS, POWER, IRRIGATION, COMMUNICATIONS, CABLE TV, GARBAGE COLLECTION, AND MAIL SERVICE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL EFFORTS WITH THE EXISTING UTILITY COMPANIES AND SERVICES AND ASSURE THAT SERVICE IS CONTINUED THROUGHOUT THE PROJECT AND COMPLETED AND MAINTAINED SATISFACTORY PRIOR TO LEAVING THE JOB SITE.
- DURING THE COURSE OF THE WORK THE CONTRACTOR SHALL COORDINATE AND ACCOMMODATE OTHER CONTRACTORS, OPERATIONS OF THE OWNER AND LOCAL GOVERNMENT AGENCIES. CONTRACTOR SHALL COORDINATE WITH THE EXISTING UTILITY OWNERS TO OPERATE EXISTING VALVES, MAKE TIE-INS, OR ACCESS EXISTING FACILITIES.
- THE CONTRACTOR SHALL PROVIDE THE CONSTRUCTION SCHEDULE TO THE OWNER WEEK PRIOR TO BEGINNING CONSTRUCTION. THIS SCHEDULE SHALL BE UPDATED WEEKLY DURING CONSTRUCTION.
- ALL MATERIAL FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE. CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS AT THE REQUEST OF THE APPROVING AGENCY AND/OR THE DESIGN ENGINEER. A MINIMUM OF 5 COPIES OF ALL SUBMITTALS SHALL BE PROVIDED TO THE ENGINEER, OWNER, OR REVIEWING ENTITY. CONTRACTOR SHALL SUBMIT CUT SHEETS AND MATERIAL SAMPLES AS NECESSARY TO PROVIDE ASSURANCE FOR COMPLIANCE OF APPROVED MATERIALS AND SUPPLIES. ONE (1) COPY OF ALL ABOVE SHALL BE SENT TO THE CITY OF NAMPA AND/OR NAMPA COUNTY HIGHWAY DISTRICT #1.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENT ENTITY 24 HOURS IN ADVANCE OF ANY REQUIRED INSPECTION AS FOLLOWS:  
WORK DONE WITHOUT SUCH APPROVAL DOES NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
- ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACKCHARGED TO THE CONTRACTOR BY THE OWNER.
- ALL COSTS IN CORRECTING DEFICIENT WORK SHALL BE BACKCHARGED TO THE CONTRACTOR BY THE OWNER. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- ALL CONTRACTORS SHALL BE RESPONSIBLE TO PROTECT THEIR WORK UNTIL THE DEVELOPMENT OR THEIR INDIVIDUAL CONSTRUCTED ITEM IS ACCEPTED BY THE APPROPRIATE AGENCY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLANS (SWPPP) AS REQUIRED BY THE CITY OF NAMPA AND THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE ESC & SWPPP NARRATIVE PROVIDED ARE FOR REFERENCE AND THE CONTRACTOR IS RESPONSIBLE TO MODIFY AS NEEDED.
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRUBBING THE SITE, INCLUDING THE REMOVAL OF VEGETATION, RUBBISH AND ANY MATERIAL THAT IN THE OPINION OF THE ENGINEER IS NOT SUITABLE FOR FOUNDATION MATERIALS. ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
- WHERE IT IS NECESSARY FOR NON POTABLE WATER MAINLINES TO CROSS POTABLE WATER MAINS, REFER TO SANITARY SEWER NOTE 3.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE PERMANENT DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.

**IRRIGATION SYSTEM NOTES**

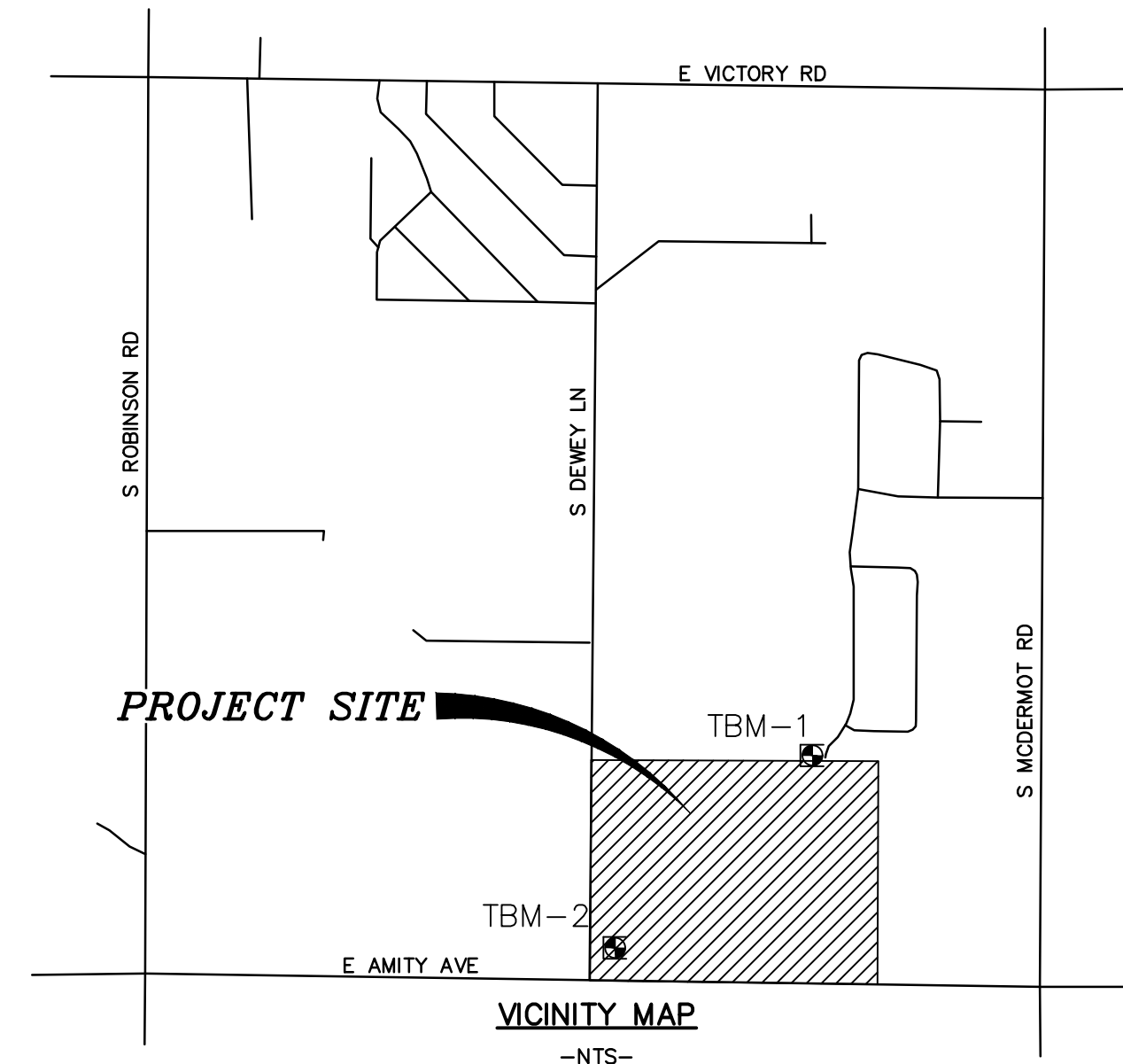
- ALL IRRIGATION SYSTEM WORKMANSHIP, MATERIALS, APPURTENANCES, AND TESTING SHALL CONFORM TO THE LATEST ADOPTED APPLICABLE SPECIFICATIONS AND/OR REQUIREMENTS OF THE FOLLOWING:
  - IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW, 2012) (PUBLIC AND PRIVATE IMPROVEMENTS) AND AS MODIFIED BY THE CITY OF NAMPA SUPPLEMENTAL SPECIFICATIONS TO THE ISPCW (FEB 2015) (PUBLIC IMPROVEMENTS);
  - CITY OF NAMPA;
  - AMERICAN WATER WORKS ASSOCIATION (AWWA);
  - UNIFORM PLUMBING CODE (UPC); AND
  - ALL OTHER APPLICABLE LOCAL AGENCIES.
- HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE PIPELINES SHALL MEET THE REQUIREMENTS OF ISPCW SECTION 405 AND ISPCW DRAWING NO. SD-407, AND SECTION 542.07 OF THE "IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS" (IDAPA 58.01.08). SEE ALSO SEWER NOTE 3.
- ALL IRRIGATION VALVES, MANHOLES AND VAULTS SHALL HAVE CONCRETE COLLARS PER CITY OF NAMPA AND/OR ISPCW STANDARDS WHICHEVER IS MORE RESTRICTIVE.
- ALL PRESSURE IRRIGATION PIPE SHALL SLOPE TO DRAINS AND/OR PUMP-OUT STATIONS AS SHOWN ON THE PLANS, AND SHALL BE INSTALLED WITH FINDER WIRE AND LOCATOR TAPE. PIPE INSTALLED IN THE RIGHT-OF-WAY SHALL BE BEDDED IN SAND MEETING DIVISION 800 OF THE ISPCW.
- IRRIGATION INSPECTIONS WILL BE BY THE OWNERS ENGINEER, USING CITY OF NAMPA STANDARDS, AND THEIR DECISION SHOULD BE CONSIDERED AS FINAL. SUCH APPROVAL DOES NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
- CONCRETE THRUST BLOCKS SHALL BE PROVIDED AT ALL TEES, CAPS, PLUGS, BENDS, AND AT OTHER LOCATIONS WHERE UNBALANCED FORCES MAY REQUIRE ANCHORAGE OR RESTRAINT AND SHALL CONFORM TO ISPCW STANDARD DRAWING SD-403.
- ALL IRRIGATION VALVE BOXES ARE TO BE LABELED AS IRRIGATION VALVES, AND ALL TERMINATIONS AND/OR FAUCETS SHALL HAVE "UNSAFE WATER" TAGS AS OUTLINED IN DIVISION 900 OF THE ISPCW.

**WATER SYSTEM NOTES**

- ALL WATER SYSTEM WORKMANSHIP, MATERIALS, APPURTENANCES, AND TESTING SHALL CONFORM TO THE LATEST ADOPTED APPLICABLE SPECIFICATIONS AND/OR REQUIREMENTS OF THE FOLLOWING:
  - IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW, 2012) (PUBLIC AND PRIVATE IMPROVEMENTS) AND AS MODIFIED BY THE CITY OF NAMPA SUPPLEMENTAL SPECIFICATIONS TO THE ISPCW (FEB 2015) (PUBLIC IMPROVEMENTS);
  - CITY OF NAMPA DEPARTMENT OF WATERWORKS DIVISION;
  - "IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS" (IDAPA 58.01.08);
  - AMERICAN WATER WORKS ASSOCIATION (AWWA);
  - UNIFORM PLUMBING CODE (UPC); AND
  - ALL OTHER APPLICABLE LOCAL AGENCIES.
- HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE PIPELINES SHALL MEET THE REQUIREMENTS OF ISPCW SECTION 405 AND ISPCW DRAWING NO. SD-407, AND SECTION 542.07 OF THE "IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS" (IDAPA 58.01.08). SEE ALSO SEWER NOTE 3.
- JOINT AND FITTING CONFIGURATION SHOWN FOR GENERAL CONFORMANCE PURPOSES ONLY. CONTRACTOR MAY CHANGE JOINT CONFIGURATION TO MEET FIELD CONDITIONS.
- CONCRETE THRUST BLOCKS SHALL BE PROVIDED AT ALL TEES, CAPS, PLUGS, BENDS, AND AT OTHER LOCATIONS WHERE UNBALANCED FORCES MAY REQUIRE ANCHORAGE OR RESTRAINT AND SHALL CONFORM TO ISPCW STANDARD DRAWING SD-403.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN CONTINUOUS WATER SERVICE TO ALL EXISTING WATER USERS AFFECTED BY CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 3 DAYS PRIOR TO STARTING INITIAL CONSTRUCTION AND SHALL ALSO REQUEST CITY OF NAMPA INSPECTION OF WATER LINES AND APPURTENANCES TWENTY-FOUR (24) HOURS IN ADVANCE OF CONSTRUCTION.
- ALL WATER VALVES WILL BE PLACED SO AS TO NOT CONFLICT WITH ANY CONCRETE CURB, GUTTER, VALLEY GUTTER AND OR SIDEWALK IMPROVEMENTS.
- THE CONTRACTOR MAY PRESSURE TEST ALL WATER LINES AFTER DISINFECTION AND FLUSHING, BUT PRIOR TO INSTALLATION OF OTHER UTILITIES. AFTER ALL UTILITIES ARE INSTALLED AND PRIOR TO PAVING THE CONTRACTOR SHALL PERFORM A FINAL PRESSURE TEST WITH NAMPA CITY ENGINEERING DIVISION PERSONNEL IN ATTENDANCE. THE CONTRACTOR SHALL FURNISH ALL PERSONNEL AND EQUIPMENT NECESSARY TO CONDUCT THE TEST.
- CONTRACTOR SHALL INSTALL FINDER WIRE AND LOCATOR TAPE PER NAMPA CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- ALL WATER VALVES SHALL HAVE CONCRETE COLLARS PER NAMPA CITY STANDARDS.
- WATER SYSTEM INSPECTIONS WILL BE BY THE CITY OF NAMPA, INSPECTIONS SHALL BE REQUESTED A MINIMUM OF 2 WORKING DAY IN ADVANCE.
- ALL WATER MAINLINES SHALL BE CLASS 165 C-900 PVC PIPE PER ANSI/ AWWA STANDARDS.
- ALL WATER MAINLINES SHALL HAVE A MINIMUM OF 48" OF COVER FROM FINISHED GRADE.

**SANITARY SEWER NOTES**

- ALL SANITARY SEWER SYSTEM WORKMANSHIP, MATERIALS, APPURTENANCES, AND TESTING SHALL CONFORM TO THE LATEST ADOPTED APPLICABLE SPECIFICATIONS AND/OR REQUIREMENTS OF THE FOLLOWING:
  - IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW, 2012) (PUBLIC AND PRIVATE IMPROVEMENTS) AND AS MODIFIED BY THE CITY OF NAMPA SUPPLEMENTAL SPECIFICATIONS TO THE ISPCW (FEB 2015) (PUBLIC IMPROVEMENTS);
  - CITY OF NAMPA DEPARTMENT OF WASTE WATER DIVISION;
  - UNIFORM PLUMBING CODE (UPC); AND
  - ALL OTHER APPLICABLE LOCAL AGENCIES.
- GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING THE PIPE LAYING AND PIPE JOINING OPERATIONS. DEWATERING, IF NECESSARY, IS PROHIBITED THROUGH THE SANITARY SEWER SYSTEM.
- WHERE IT IS NECESSARY FOR THE SEWER OR NON POTABLE WATER LINE AND WATER LINE TO CROSS EACH OTHER AND THE SEWER OR NON POTABLE LINE IS LESS THAN 18" BELOW OR ABOVE THE WATER MAIN, THE SEWER OR NON POTABLE LINE CROSSING SHALL BE PVC PRESSURE PIPE CONFORMING TO AWWA C-900 OR C-905 OR ASTM D2241 STANDARDS WITH WATER TIGHT JOINTS, OR EQUAL CONSTRUCTION, FOR A DISTANCE OF 10' ON BOTH SIDES OF THE WATER LINE IN ACCORDANCE WITH SECTION 501.01 OF THE IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS (IDAPA 58.1.08). ONE FULL LENGTH OF BOTH WATER MAIN AND SEWER OR NON POTABLE WATER LINE SHALL BE CENTERED OVER THE CROSSING POINT SO THAT ALL JOINTS WILL BE AS FAR FROM THE CROSSING AS POSSIBLE.
- APPROXIMATE LOCATIONS OF SOME KNOWN EXISTING UNDERGROUND UTILITIES ARE SHOWN HEREON. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES.
- SANITARY SEWER MANHOLE CONES SHALL BE SET TO WITHIN 1' OF THE SPECIFIED ELEVATIONS BY SEWER CONTRACTOR WHEN WORKING INSIDE AREAS TO BE PAVED. ALL REMAINING MANHOLE MATERIALS NECESSARY TO CONSTRUCT MANHOLE TO FINISHED GRADE SHALL BE FURNISHED BY THE SEWER CONTRACTOR FOR PLACEMENT AT FINISHED GRADE BY THE STREET PAVING CONTRACTOR. WHEN WORKING OUTSIDE OF AREAS TO BE PAVED, THE SEWER CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF THE SEWER MANHOLES.
- SEWER INSPECTIONS WILL BE BY THE CITY OF NAMPA, THEIR DECISIONS SHOULD BE CONSIDERED AS FINAL. SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
- THE CONTRACTOR MAY AIR TEST ALL THE SEWER LINES AFTER BACK FILLING AND SETTLING OF THE TRENCHES AND SHALL FURNISH ALL EQUIPMENT AND PERSONNEL REQUIRED TO PERFORM THE TEST. THE CONTRACTOR SHALL RE-TEST ALL SEWER LINES IN THE PRESENCE OF THE CITY OF NAMPA ENGINEERING DIVISION INSPECTOR AFTER ALL UTILITIES HAVE BEEN INSTALLED AND PRIOR TO INSTALLATION OF THE STREET SURFACING.
- CONTRACTOR SHALL NOTIFY THE CITY OF NAMPA AND OWNER'S ENGINEER THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS.
- CONTRACTOR SHALL ALSO COORDINATE CCTV INSPECTION OF SEWER LINES AND APPURTENANCES, THROUGH THE NAMPA CITY ENGINEERING DIVISION INSPECTORS, PRIOR TO STREET SURFACING.
- WHERE COMMON UTILITY TRENCH IS ENCOUNTERED, CONTRACTOR TO EXTEND SEWER SERVICES A MINIMUM OF 5.0 FT. AS NEEDED TO BE BEYOND COMMON TRENCH.
- SEWER MAINLINES SHALL BE PVC CONFORMING TO SDR-34, ASTM D 3034 PER DIVISION 500 OF THE ISPCW.
- ALL SEWER MANHOLES AND CLEANOUTS SHALL HAVE CONCRETE COLLARS PER NAMPA CITY AND/OR ISPCW STANDARDS WHICHEVER IS MORE RESTRICTIVE. SEWER MANHOLES SHALL BE 48" DIAMETER, WITH CONCENTRIC CONES AND NO STEPS, PER NAMPA CITY STANDARDS.



**BENCH MARKS:**  
 TBM #1, 1/2" REBAR W/ RED PLASTIC CAP  
 EL = 2594.85  
 N: 692843.12  
 E: 2431989.50  
 LOCATED IN LOT 17 BLOCK 1  
 TBM #2, 1/2" REBAR W/ RED PLASTIC CAP  
 EL = 2595.43  
 N: 691612.92  
 E: 2430748.94  
 LOCATED NEAR SEWER TREATMENT PLANT  
 ELEVATIONS SHOWN ARE: NAVD88

**DEVELOPER**  
BRITTANIA HEIGHTS, INC  
855 Broad Street, Ste 300  
Boise, Idaho 83702  
CONTACT: JEFF HESS  
PHONE: 208-850-2431



REVISIONS		NO.	BY	DATE	REMARKS

SHEET INFO		DESIGNED	DRAWN	CHECKED	APPROVED	LAST EDIT	PLOT DATE	SUBMITTAL

**COVER SHEET**  
BRITTANIA HEIGHTS LLC  
BRITTANIA HEIGHTS SUBDIVISION NO. 8  
PROJECT NUMBER: B00000  
DRAWING FILE NAME: C-CS\_P18  
SCALE: AS NOTED

SHEET NUMBER  
**C1.0**

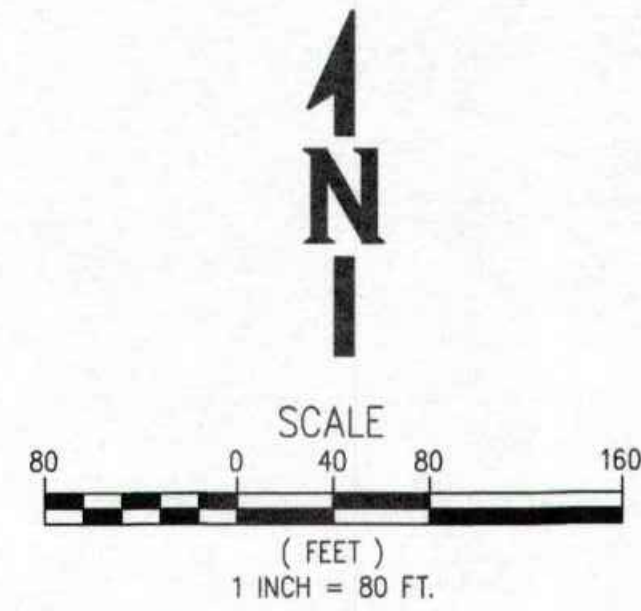
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# PLAT OF BRITTANIA HEIGHTS SUBDIVISION NO. 8

A PARCEL OF LAND BEING A PORTION OF THE SW 1/4 OF THE SE 1/4 OF  
SECTION 29, T. 3 N., R. 1 W., BOISE MERIDIAN,  
CANYON COUNTY, IDAHO  
2021

BOOK \_\_\_\_\_, PAGE \_\_\_\_\_



BASIS OF BEARING IS GRID NORTH, IDAHO STATE PLANE  
COORDINATE SYSTEM, WEST ZONE,  
NORTH 00°56'15" EAST BETWEEN THE SOUTH 1/4 CORNER AND  
THE CENTER 1/4 OF SECTION 29

CURVE TABLE					
CURVE #	DELTA	RADIUS	LENGTH	CH. BEARING	CH. DIST.
C1	90°21'28"	30.00	47.31	N46°07'00"E	42.56
C2	10°46'10"	517.00	97.18	N85°54'40"E	97.03
C3	90°47'24"	20.00	31.69	S45°53'34"E	28.48
C4	29°13'52"	182.50	93.11	S15°33'11"W	92.10
C5	29°13'52"	217.50	110.96	S15°33'11"W	109.76
C6	57°51'34"	20.00	20.20	S29°52'02"W	19.35
C7	29°13'52"	50.50	260.65	S89°04'05"E	53.72
C8	57°52'15"	20.00	20.20	N27°59'52"W	19.35
C9	29°13'52"	182.50	93.11	N15°33'11"E	92.10
C10	29°13'52"	217.50	110.96	N15°33'11"E	109.76
C11	90°21'30"	20.00	31.54	N46°07'00"E	28.37
C12	75°31'21"	20.00	26.36	N53°31'35"W	24.49
C13	15°16'03"	20.00	5.33	N80°53'53"W	5.31
C14	3°08'52"	182.50	10.03	N2°30'41"E	10.02
C15	26°05'01"	182.50	83.08	N17°07'37"E	82.37
C16	1°28'07"	217.50	5.58	N29°26'04"E	5.58
C17	23°11'49"	217.50	88.06	N17°06'05"E	87.46
C18	4°33'56"	217.50	17.33	N31°13'15"E	17.33
C19	41°02'53"	20.00	14.33	N21°27'42"E	14.02
C20	16°48'40"	20.00	5.87	N50°23'29"E	5.85

CURVE TABLE					
CURVE #	DELTA	RADIUS	LENGTH	CH. BEARING	CH. DIST.
C21	82°50'49"	50.50	73.02	N17°22'24"E	66.82
C22	53°11'46"	50.50	46.89	N50°38'53"W	45.22
C23	22°50'33"	50.50	20.13	N88°40'02"W	20.00
C24	53°11'01"	50.50	46.88	S53°19'11"W	45.21
C25	83°39'40"	50.50	73.74	S15°06'09"E	67.36
C26	17°13'45"	20.00	6.01	S48°19'07"E	5.99
C27	40°38'30"	20.00	14.19	S19°23'00"E	13.89
C28	5°26'37"	182.50	17.34	S3°39'34"W	17.33
C29	23°47'15"	182.50	75.77	S18°16'30"W	75.23
C30	3°37'08"	217.50	13.74	S28°21'33"W	13.74
C31	22°58'16"	217.50	87.20	S15°03'51"W	86.62
C32	2°38'27"	217.50	10.02	S2°15'28"W	10.02

LINE TABLE		
LINE #	BEARING	DIST.
L1	S89°03'45"E	40.00
L2	S88°42'15"E	31.72
L3	S88°42'44"W	21.29
L4	N88°42'15"W	54.83
L5	N46°07'01"E	21.28
L7	N89°03'45"W	25.00
L8	N89°03'45"W	15.00
L9	S63°16'19"E	37.87
L10	N17°06'06"E	30.00
L11	N17°06'06"E	15.00
L12	N17°06'06"E	15.00

REFERENCE MONUMENT TABLE		
Line #	Length	Direction
RM2	1.00	S01°17'45"W
RM4	1.00	S00°00'15"W
RM6	1.00	S01°17'45"W
RM8	1.00	S12°54'36"E

### REFERENCES

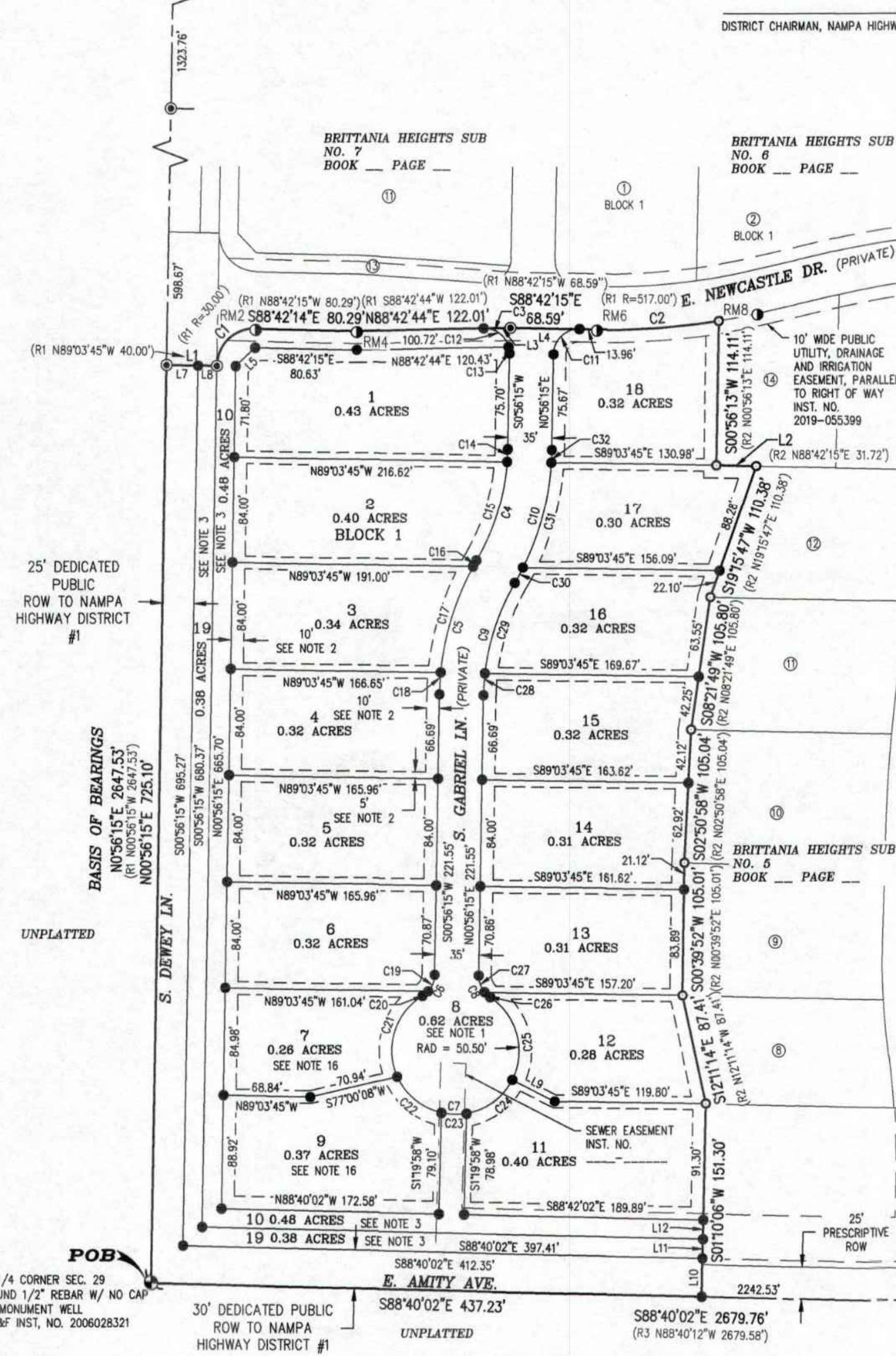
- R1) PLAT OF BRITTANIA HEIGHTS SUBDIVISION NO. 4, BOOK 49, PAGE 26, RECORDS OF CANYON COUNTY, IDAHO.
- R2) PLAT OF BRITTANIA HEIGHTS SUBDIVISION NO. 5, BOOK \_\_\_\_\_, PAGE \_\_\_\_\_, RECORDS OF CANYON COUNTY, IDAHO.
- R3) RECORD OF SURVEY NO. 1997004844, RECORDS OF CANYON COUNTY, IDAHO.
- R4) RECORD OF SURVEY NO. 1997007403, RECORDS OF CANYON COUNTY, IDAHO.
- R5) RECORD OF SURVEY NO. 1998000440, RECORDS OF CANYON COUNTY, IDAHO.

REVISIONS			
NO.	BY	DATE	REMARKS
1			
2			
3			
4			

### SHEET INDEX

- SHEET 1 - PLAT, LINE AND CURVE TABLE
- SHEET 2 - CERTIFICATE OF OWNERS AND PLAT NOTES
- SHEET 3 - CERTIFICATES AND APPROVALS

CEN. 1/4 CORNER SEC. 29  
FOUND 3/4" BRASS CAP  
CP&F INST. NO. 200358051



### APPROVAL OF NAMPA HIGHWAY DISTRICT NO. 1

NAMPA HIGHWAY DISTRICT NO. 1 DOES HEREBY ACCEPT THIS PLAT, AND THE DEDICATED PUBLIC STREETS, HIGHWAYS AND RIGHTS-OF-WAY AS ARE DEPICTED ON THIS PLAT, IN ACCORDANCE WITH THE PROVISIONS OF I.C. § 50-1312. PRIVATE STREETS DEPICTED ON THIS PLAT ARE NOT MAINTAINED BY OR UNDER THE JURISDICTION OF THE HIGHWAY DISTRICT. THERE IS NO LEGAL OBLIGATION OR ASSURANCE THAT THE PRIVATE STREETS WILL BE ACCEPTED AS PUBLIC STREETS IN THE FUTURE.

DISTRICT CHAIRMAN, NAMPA HIGHWAY DISTRICT NO. 1 \_\_\_\_\_ DATE \_\_\_\_\_

### LEGEND

- FOUND PLSS CORNER AS NOTED
- FOUND 5/8" REBAR W/ YELLOW PLASTIC CAP MARKED "WHPACIFIC PLS 10729"
- FOUND 5/8" REBAR WITH ORANGE PLASTIC CAP MARKED "NV5 PLS 17216"
- FOUND 5/8" REBAR W/ YELLOW PLASTIC CAP MARKED "WHPACIFIC PLS 10729" REFERENCE MONUMENT PER PLAT FOR BRITTANIA HEIGHTS NO. 4
- SET 5/8" REBAR W/ ORANGE PLASTIC CAP MARKED "NV5 PLS 17216"
- SECTION LINE
- SUBDIVISION BOUNDARY LINE
- INTERIOR LOT LINE
- EXISTING LOT LINE
- EASEMENT LINE
- EXISTING EASEMENT LINE AS NOTED
- POINT OF BEGINNING

### SURVEYOR'S NARRATIVE

THIS SUBDIVISION IS BEING PLATTED AT THE REQUEST OF THE OWNER, BRITTANIA HEIGHTS, LLC. THIS SUBDIVISION IS ANOTHER PHASE OF THE OVERALL MASTERPLAN DEVELOPMENT. IT IS BORDERED ON THE NORTH BY THE SOUTHERLY LINE OF LOT 9, BLOCK 1, BRITTANIA HEIGHTS SUBDIVISION NO. 4, ON THE EAST BY THE WESTERLY LINE OF BRITTANIA HEIGHTS SUBDIVISION NO. 5, ON THE WEST BY THE WESTERLY LINE OF THE SE 1/4 OF SECTION 29, AND ON THE SOUTH BY THE SOUTHERLY LINE OF SECTION 29. THE BOUNDARIES WERE ALL DETERMINED FROM LOCATED MONUMENTATION AND RECORD INFORMATION FROM SAID SUBDIVISIONS AND RECORDS OF SURVEY.

THE REMAINDER OF THE PLAT AS SHOWN WAS DEVELOPED IN COLLABORATION WITH SAID OWNER AND THE ENGINEERING DESIGN TEAM AT NV5.



# NV5

690 Industry Way, Suite 10  
Meridian, ID 83642  
208-342-5400 www.nv5.com

SHEET 1 OF 3

[DATE: 6/7/2021 4:09 PM] [AUTHOR: kmassey] [PLOTTER: DWG TO PDF.pc3] [STYLE: WHP-Standard\_Land.ctb]  
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PLAT - CONSTRUCTION COPY

BRITTANIA HEIGHTS, LLC  
BRITTANIA HEIGHTS SUBDIVISION NO. 8

PROJECT NUMBER B00000 DRAWING FILE NAME PW-V-PT-PH8 SCALE AS NOTED

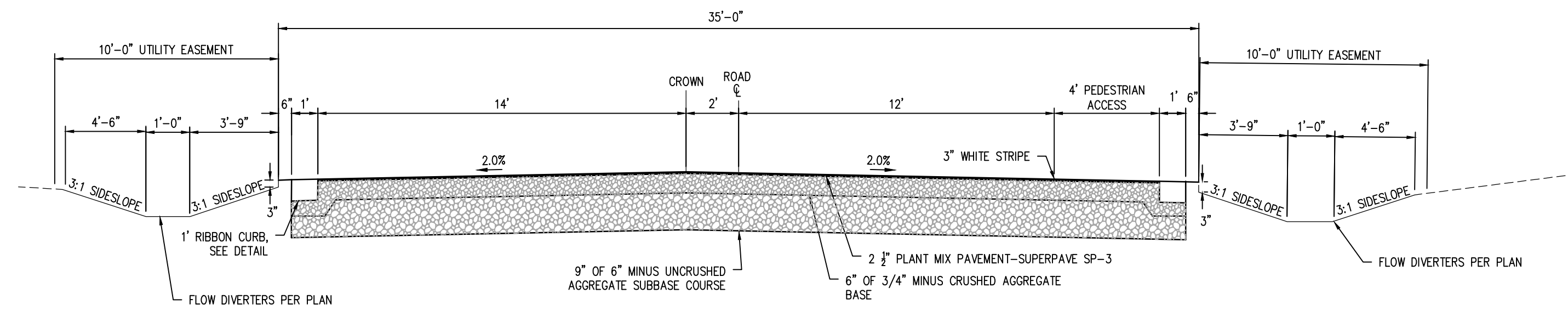
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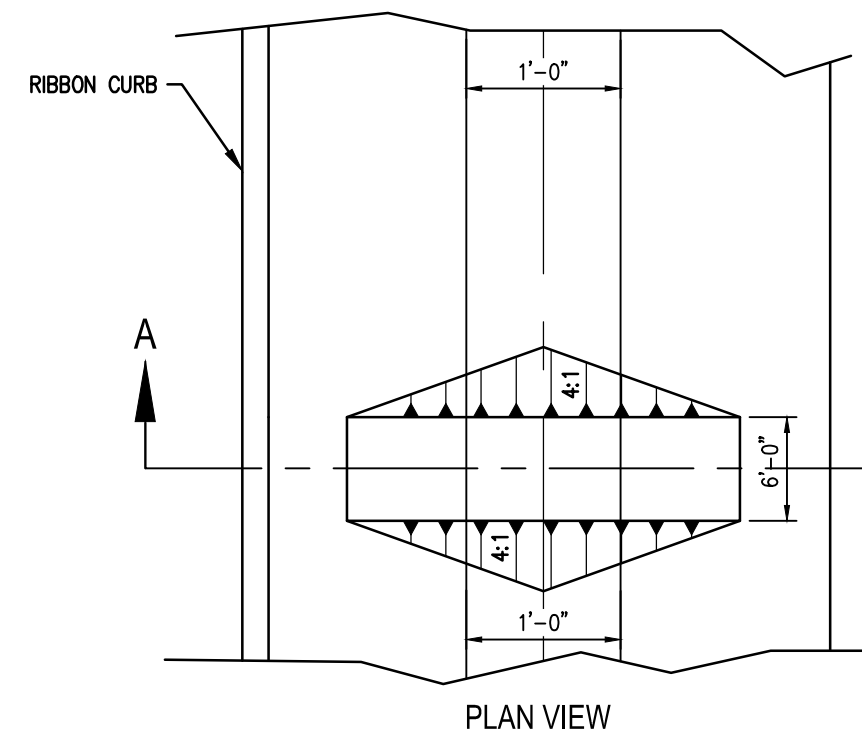




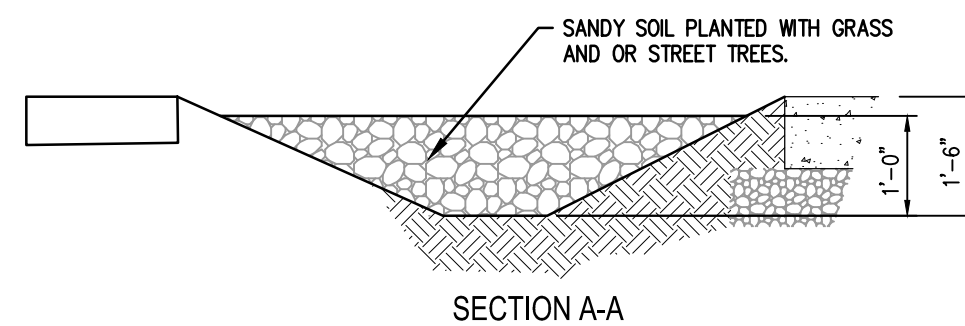
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**TYPICAL 35' SECTION**  
 STA 10+58.87 TO STA 15+60.55  
 -NTS-



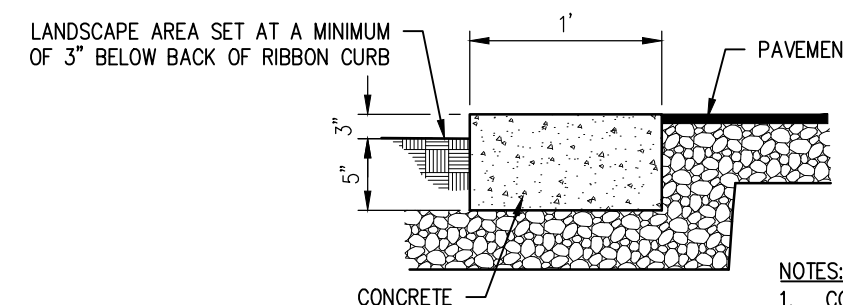
PLAN VIEW



SECTION A-A

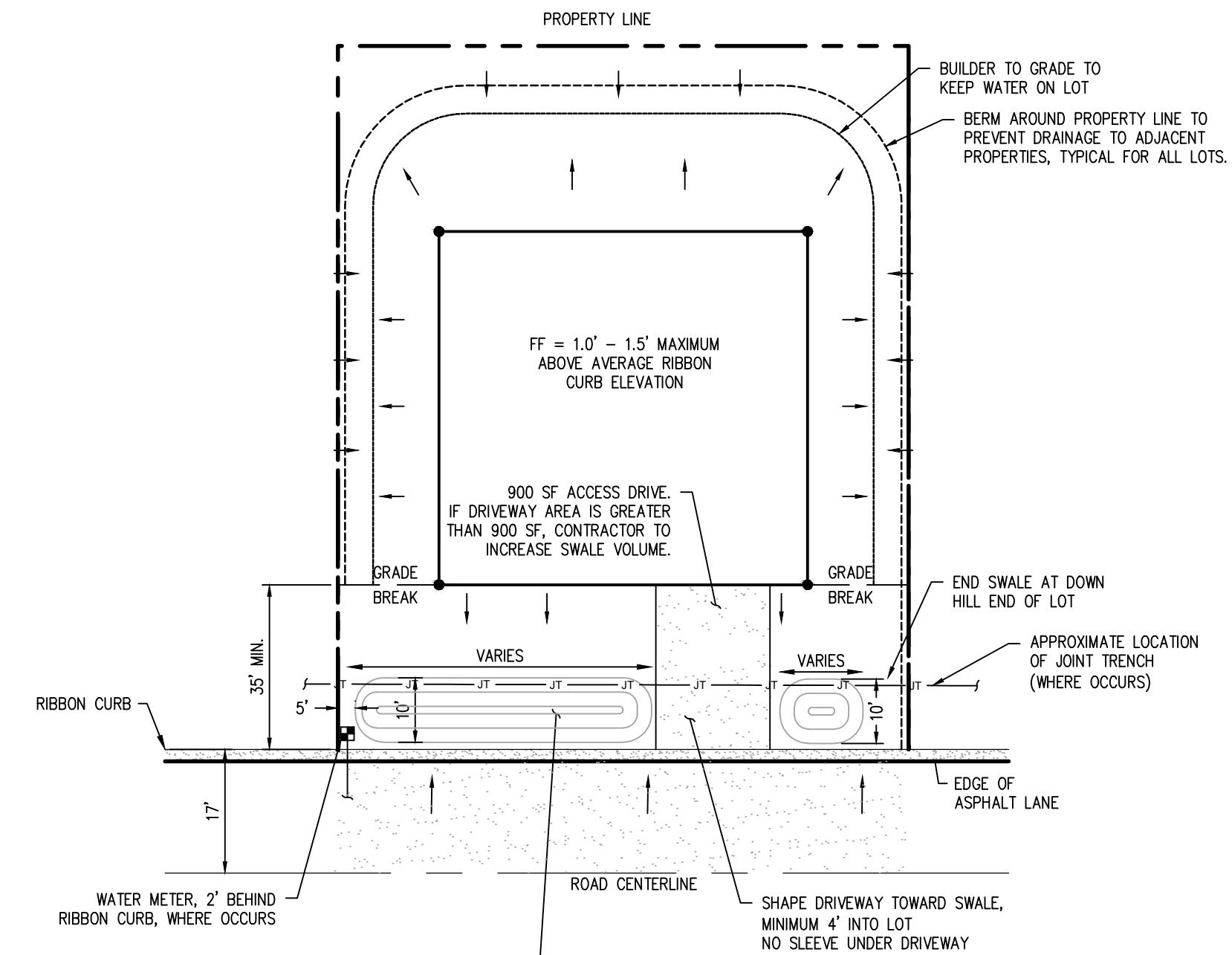
- NOTES:**  
 1. STORAGE DELINEATORS ARE TO BE INSTALLED IN THE ROADSIDE RETENTION AREA AT 23' INTERVALS.

**FLOW DIVERTERS**  
 -NTS-



**RIBBON CURB**  
 -NTS-

- NOTES:**  
 1. CONSTRUCT CURB AND INSTALL 1/2" MASTIC EXPANSION JOINTS, A.S.T.M. D-1751, PER M.A.G. SEC. 340 AND 729.  
 2. BROOM FINISH ALL SURFACES.  
 3. RIBBON CURB SHALL MATCH CROSS SLOPE OF ROAD UNLESS INDICATED OTHERWISE ON PLANS.  
 4. CONTRACTION JOINT SPACING 10' MAXIMUM.



CONSTRUCT SWALE AT FRONT OF LOT FOR ROADWAY AND FRONT LOT DRAINAGE. PROPOSED SWALE TO HAVE AN AVERAGE 1"-5" DEPTH, SET BELOW RIBBON CURB. SWALE SHALL HAVE A 4.85' WIDE BOTTOM WITH 3:1 SIDE SLOPES.

WHERE ROAD HAS A CONSIDERABLE RUNNING SLOPE, SWALES SHALL BE A MAXIMUM OF 23' IN LENGTH, SEPARATED BY FLOW DIVERTERS (SEE PLAN FOR APPROXIMATE FLOW DIVERTER LOCATIONS.)

MAINTAIN CONSTANT ELEVATION AT BOTTOM OF SWALE TO PREVENT RUNOFF TO ADJACENT PROPERTY.

**TYPICAL LOT DETAIL**  
 -NTS-

**NV5**

690 Industry Way, Suite 10  
 Marietta, GA 30067  
 208-342-5400 www.nv5.com



REVISIONS  
 NO. BY DATE

SHEET INFO	DESIGNED	RC	RC	CHECKED	KMM	APPROVED	MMM	LAST EDIT	6/16/2021	PLOT DATE	6/16/2021	SUBMITTAL
DRAWN												

**DETAILS**  
 BRITANIA HEIGHTS LLC  
 BRITANIA HEIGHTS SUBDIVISION NO.5  
 PROJECT NUMBER B00000  
 DRAWING FILE NAME C-DT-PH8  
 SCALE AS NOTED

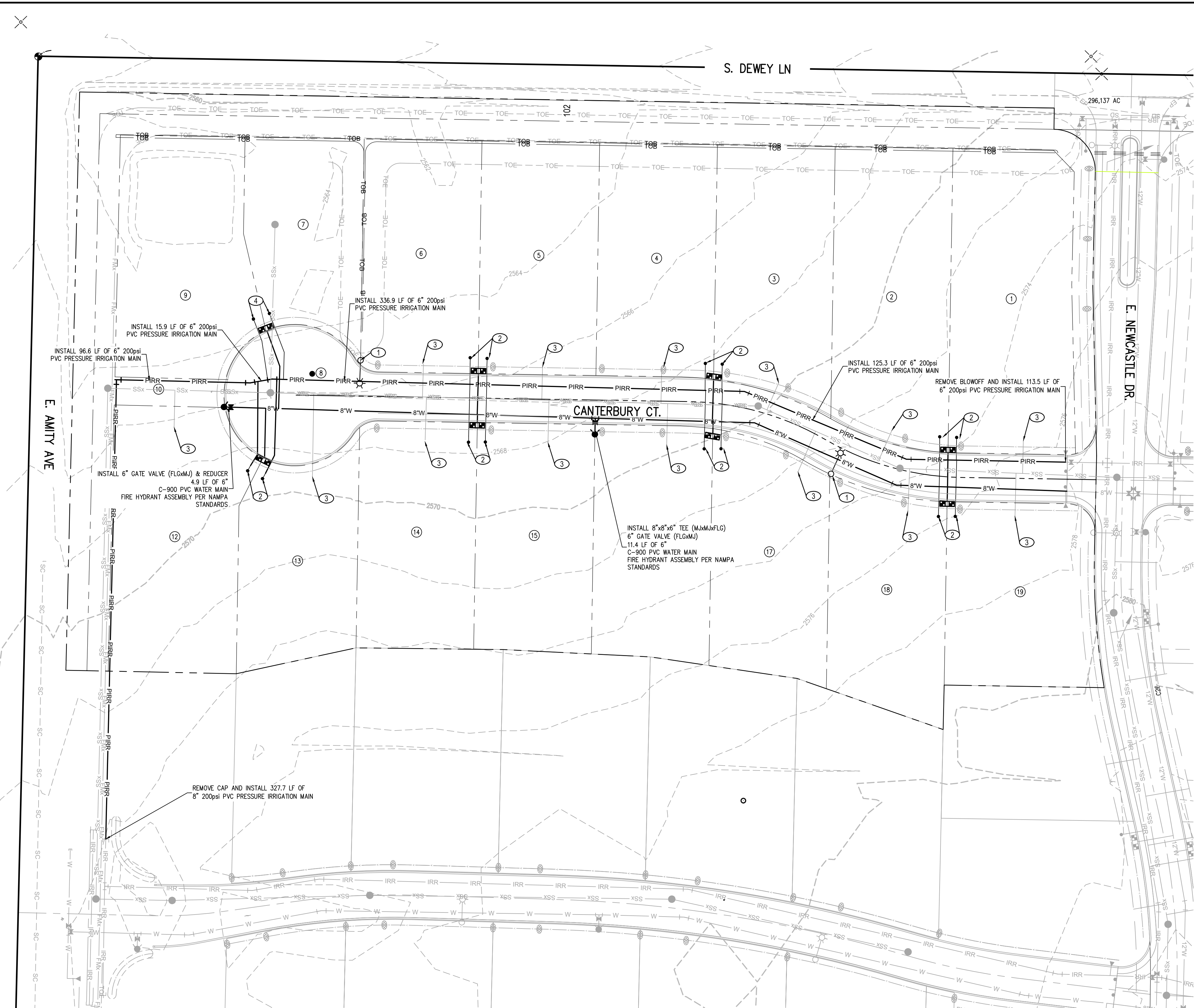
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Know what's below.  
 Call before you dig.

[DATE: 6/3/2021 8:25 AM] [AUTHOR: kmassey] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb]  
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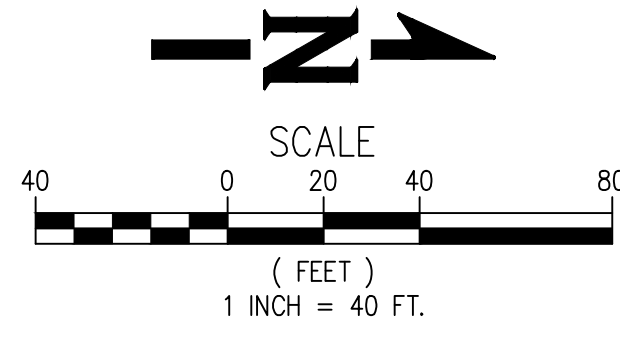
S. DEWEY LN

296,137 AC

E. NEWCASTLE DR.

E. AMITY AVE

CANTERBURY CT.



**LEGEND**

- PROPERTY BOUNDARY
- SECTION LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING ROAD CENTERLINE
- EXISTING LOT NUMBER
- APPROX. LOCATION OF EXISTING SEWER FORCE MAIN
- EXISTING SEWER LINE W/ MANHOLE
- EXISTING WATER MAIN W/ GATE VALVE
- EXISTING PIRR W/ SERVICE
- EXISTING STREETLIGHT
- EXIST. RIBBON CURB W/ STRIPED SIDEWALK
- ROAD CENTERLINE
- ROAD RIGHT OF WAY
- INTERIOR LOT LINE
- BLOCK 5** --- BLOCK AND LOT NUMBER
- STANDARD STREETLIGHT
- CONSTRUCT SEWER W/ MANHOLE
- CONSTRUCT C-900 WATER MAIN (SIZE AS SHOWN)
- INSTALL FIRE HYDRANT W/ VALVE PER CITY STANDARD
- INSTALL 2" BLOWOFF ASSEMBLY PER NAMPA STANDARD DRAWING N-405A
- CONSTRUCT WATER SERVICES PER NAMPA STANDARD DRAWINGS N-407 AND N-402, DOUBLE SERVICES TO HAVE TWO (2) 1" SERVICE TAPS TO MAIN
- CONSTRUCT PRESSURE IRRIGATION LINE W/SERVICE

**KEYNOTES:**

- ① INSTALL STANDARD STREETLIGHT PER CITY OF NAMPA STANDARD
- ② INSTALL LOT PRESSURE IRRIGATION SERVICE PER NAMPA STANDARD DRAWING N-308C, EXTEND 10' BEYOND CURB TO ALLOW FOR SWALE
- ③ EXISTING SEWER SERVICE, PROTECT IN PLACE

NV5

660 Industry Way, Suite 10  
 Broomfield, CO 80642  
 208-342-5400 www.nv5.com

PROFESSIONAL ENGINEER  
 8625  
 STATE OF COLORADO  
 MATT M. MUNGER

REVISIONS		NO.	BY	DATE	REMARKS

SHEET INFO		DESIGNED	RC	RC	CHECKED	KMM	APPROVED	MMM	LAST EDIT	6/3/2021	PLOT DATE	6/3/2021	SUBMITTAL

UTILITY PLAN

BRITANNIA HEIGHTS, LLC

BRITANNIA HEIGHTS SUBDIVISION NO. 8

SCALE AS NOTED

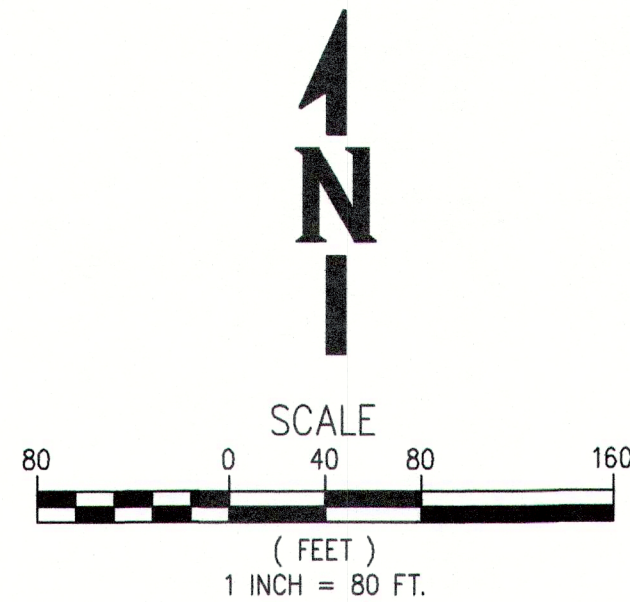
PROJECT NUMBER B00000

DRAWING FILE NAME C-UT-PHB

SHEET NUMBER C5.0

PLAT OF  
**BRITANNIA HEIGHTS SUBDIVISION NO. 8**  
A PARCEL OF LAND BEING A PORTION OF THE SW 1/4 OF THE SE 1/4 OF  
SECTION 29, T. 3 N., R. 1 W., BOISE MERIDIAN,  
CANYON COUNTY, IDAHO  
2021

BOOK \_\_\_\_\_, PAGE \_\_\_\_\_



BASIS OF BEARING IS GRID NORTH, IDAHO STATE PLANE  
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CURVE TABLE					
CURVE #	DELTA	RADIUS	LENGTH	CH. BEARING	CH. DIST.
C21	82°50'49"	50.50	73.02	N17°22'24"E	66.82
C22	53°11'46"	50.50	46.89	N50°38'53"W	45.22
C23	22°50'33"	50.50	20.13	N88°40'02"W	20.00
C24	53°11'01"	50.50	46.88	S53°19'11"W	45.21
C25	83°39'40"	50.50	73.74	S15°06'09"E	67.36
C26	17°13'45"	20.00	6.01	S48°19'07"E	5.99
C27	40°38'30"	20.00	14.19	S19°23'00"E	13.89
C28	5°26'37"	182.50	17.34	S3°39'34"W	17.33
C29	23°47'15"	182.50	75.77	S18°16'30"W	75.23
C30	3°37'08"	217.50	13.74	S28°21'33"W	13.74
C31	22°58'18"	217.50	87.20	S15°03'51"W	86.62
C32	2°38'27"	217.50	10.02	S2°15'28"W	10.02

LINE TABLE		
LINE #	BEARING	DIST.
L1	S89°03'45"E	40.00
L2	S88°42'15"E	31.72
L3	S88°42'44"W	21.29
L4	N88°42'15"W	54.63
L5	N46°07'01"E	21.28
L7	N89°03'45"W	25.00
L8	N89°03'45"W	15.00
L9	S63°16'19"E	37.87
L10	N1°10'06"E	30.00
L11	N1°10'06"E	15.00
L12	N1°10'06"E	15.00

REFERENCE MONUMENT TABLE		
Line #	Length	Direction
RM2	1.00	S01°17'45"W
RM4	1.00	S00°00'15"W
RM6	1.00	S01°17'45"W
RMB	1.00	S12°54'36"E

**REFERENCES**

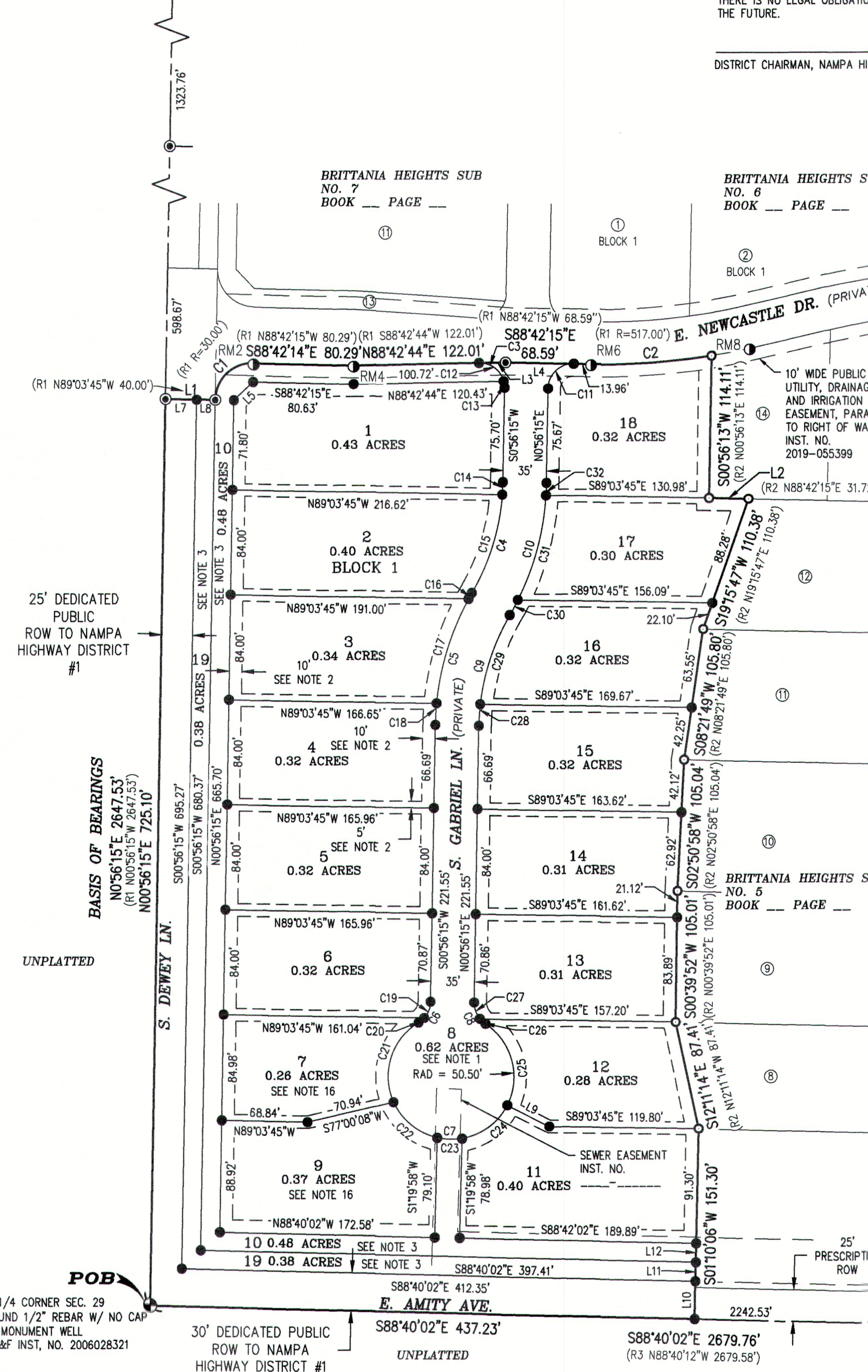
- R1) PLAT OF BRITANNIA HEIGHTS SUBDIVISION NO. 4, BOOK 49, PAGE 26, RECORDS OF CANYON COUNTY, IDAHO.
- R2) PLAT OF BRITANNIA HEIGHTS SUBDIVISION NO. 5, BOOK \_\_\_\_\_, PAGE \_\_\_\_\_, RECORDS OF CANYON COUNTY, IDAHO.
- R3) RECORD OF SURVEY NO. 1997004844, RECORDS OF CANYON COUNTY, IDAHO.
- R4) RECORD OF SURVEY NO. 1997007403, RECORDS OF CANYON COUNTY, IDAHO.
- R5) RECORD OF SURVEY NO. 1998000440, RECORDS OF CANYON COUNTY, IDAHO.

REVISIONS			
NO.	BY	DATE	REMARKS
1			
2			
3			
4			

**SHEET INDEX**

- SHEET 1 - PLAT, LINE AND CURVE TABLE
- SHEET 2 - CERTIFICATE OF OWNERS AND PLAT NOTES
- SHEET 3 - CERTIFICATES AND APPROVALS

CEN. 1/4 CORNER SEC. 29  
FOUND 3.5" BRASS CAP  
CP&F INST. NO. 200358051



**APPROVAL OF NAMPA HIGHWAY DISTRICT NO. 1**

NAMPA HIGHWAY DISTRICT NO. 1 DOES HEREBY ACCEPT THIS PLAT, AND THE DEDICATED PUBLIC STREETS, HIGHWAYS AND RIGHTS-OF-WAY AS ARE DEPICTED ON THIS PLAT, IN ACCORDANCE WITH THE PROVISIONS OF I.C. § 50-1312. PRIVATE STREETS DEPICTED ON THIS PLAT ARE NOT MAINTAINED BY OR UNDER THE JURISDICTION OF THE HIGHWAY DISTRICT. THERE IS NO LEGAL OBLIGATION OR ASSURANCES THAT THE PRIVATE STREETS WILL BE ACCEPTED AS PUBLIC STREETS IN THE FUTURE.

DISTRICT CHAIRMAN, NAMPA HIGHWAY DISTRICT NO. 1

DATE

**LEGEND**

- FOUND PLSS CORNER AS NOTED
- FOUND 5/8" REBAR W/ YELLOW PLASTIC CAP MARKED "WHPACIFIC PLS 10729"
- FOUND 5/8" REBAR WITH ORANGE PLASTIC CAP MARKED "NV5 PLS 17216"
- FOUND 5/8" REBAR W/ YELLOW PLASTIC CAP MARKED "WHPACIFIC PLS 10729" REFERENCE MONUMENT PER PLAT FOR BRITANNIA HEIGHTS NO. 4
- SET 5/8" REBAR W/ ORANGE PLASTIC CAP MARKED "NV5 PLS 17216"
- SECTION LINE
- SUBDIVISION BOUNDARY LINE
- INTERIOR LOT LINE
- EXISTING LOT LINE
- EASEMENT LINE
- EXISTING EASEMENT LINE AS NOTED
- POINT OF BEGINNING

**SURVEYOR'S NARRATIVE**

THIS SUBDIVISION IS BEING PLATTED AT THE REQUEST OF THE OWNER, BRITANNIA HEIGHTS, LLC. THIS SUBDIVISION IS ANOTHER PHASE OF THE OVERALL MASTERPLAN DEVELOPMENT. IT IS BORDERED ON THE NORTH BY THE SOUTHERLY LINE OF LOT 9, BLOCK 1, BRITANNIA HEIGHTS SUBDIVISION NO. 4, ON THE EAST BY THE WESTERLY LINE OF BRITANNIA HEIGHTS SUBDIVISION NO. 5, ON THE WEST BY THE WESTERLY LINE OF THE SE 1/4 OF SECTION 29, AND ON THE SOUTH BY THE SOUTHERLY LINE OF SECTION 29. THE BOUNDARIES WERE ALL DETERMINED FROM LOCATED MONUMENTATION AND RECORD INFORMATION FROM SAID SUBDIVISIONS AND RECORDS OF SURVEY.

THE REMAINDER OF THE PLAT AS SHOWN WAS DEVELOPED IN COLLABORATION WITH SAID OWNER AND THE ENGINEERING DESIGN TEAM AT NV5.



**NV5**

690 Industry Way, Suite 10  
Meridan, ID 83642  
208-342-5400 www.NV5.com

# PLAT OF BRITTANIA HEIGHTS SUBDIVISION NO. 8

## CERTIFICATE OF OWNERS

KNOW ALL MEN BY THIS PRESENTS: THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY DESCRIBED AS FOLLOWS AND INTEND TO INCLUDE SAID PROPERTY IN THIS PLAT: A PARCEL OF LAND BEING A PORTION OF THE SW 1/4 OF THE SE 1/4 OF SECTION 29, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE BOISE MERIDIAN, CANYON COUNTY, IDAHO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 29, MONUMENTED BY A 1/2" REBAR WITH NO CAP IN A MONUMENT WELL (CORNER RECORD NO. 2006-028321) FROM WHICH THE CENTER 1/4 CORNER OF SAID SECTION 29, MONUMENTED BY A 3.5" BRASS CAP (CORNER RECORD NO. 200358051), BEARS NORTH 00°56'15" EAST, A DISTANCE OF 2,647.53 FEET, ALSO BEING THE POINT OF BEGINNING;

THENCE NORTH 00°56'15" EAST, COINCIDENT WITH THE NORTH-SOUTH CENTER SECTION LINE OF SAID SECTION 29, A DISTANCE OF 725.10 FEET, TO THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DEDICATED TO NAMPA HIGHWAY DISTRICT NO. 1 ON THE PLAT FOR BRITTANIA HEIGHTS NO. 4 RECORDED IN BOOK 49, PAGE 26, IN THE RECORDS OF CANYON COUNTY, IDAHO;

THENCE SOUTH 89°03'45" EAST, COINCIDENT WITH THE SOUTHERLY LINE OF SAID PARCEL OF DEDICATED LAND, A DISTANCE OF 40.00' TO THE SOUTHWEST CORNER OF LOT 9, BLOCK 1 AS SHOWN ON SAID PLAT;

THENCE COINCIDENT WITH THE SOUTHERLY LINE OF SAID LOT 9 FOR THE FOLLOWING FIVE (5) CALLS:

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, A DISTANCE OF 47.31 FEET, SAID CURVE HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 90°21'28", AND A CHORD BEARING OF NORTH 46°07'00" EAST, A DISTANCE OF 42.56 FEET;

THENCE SOUTH 88°42'44" EAST, A DISTANCE OF 80.29 FEET;

THENCE NORTH 88°42'44" EAST, A DISTANCE OF 122.01 FEET;

THENCE SOUTH 88°42'15" EAST, A DISTANCE OF 68.59 FEET, TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT;

THENCE ALONG THE ARC OF SAID TANGENT CURVE TO THE LEFT, A DISTANCE OF 97.18 FEET, SAID CURVE HAVING A RADIUS OF 517.00 FEET, A CENTRAL ANGLE OF 10°46'10", AND A CHORD BEARING OF NORTH 85°54'40" EAST, A DISTANCE OF 97.03 FEET, TO THE NORTHWEST CORNER OF LOT 14, BLOCK 1 AS SHOWN ON THE PLAT FOR BRITTANIA HEIGHTS NO. 5, AS RECORDED IN BOOK \_\_\_\_ PAGE \_\_\_\_ IN THE RECORDS OF CANYON COUNTY, IDAHO;

THENCE COINCIDENT WITH THE WESTERLY BOUNDARY OF SAID BRITTANIA HEIGHTS NO. 5 SUBDIVISION FOR THE FOLLOWING SEVEN (7) CALLS:

THENCE SOUTH 00°56'13" WEST, A DISTANCE OF 114.11 FEET;

THENCE SOUTH 88°42'15" EAST, A DISTANCE OF 31.72 FEET;

THENCE SOUTH 19°15'47" WEST, A DISTANCE OF 110.38 FEET;

THENCE SOUTH 08°21'49" WEST, A DISTANCE OF 105.80 FEET;

THENCE SOUTH 02°50'58" WEST, A DISTANCE OF 105.04 FEET;

THENCE SOUTH 00°39'54" WEST, A DISTANCE OF 105.01 FEET;

THENCE SOUTH 12°11'14" EAST, A DISTANCE OF 87.41 FEET;

THENCE SOUTH 01°10'06" WEST, A DISTANCE OF 151.30, TO A POINT ON THE SOUTH LINE OF SAID SECTION 29;

THENCE NORTH 88°40'02" WEST, COINCIDENT WITH SAID SOUTH LINE, A DISTANCE OF 437.23 FEET, TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 326,454 SQUARE FEET, OR 7.49 ACRES, MORE OR LESS.

THE EASEMENTS AND PRIVATE ROADS INDICATED ON SAID PLAT ARE NOT DEDICATED TO THE PUBLIC. HOWEVER, THE RIGHT TO USE SAID EASEMENTS ARE PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND FOR SUCH OTHER USES AS DESIGNATED HEREON AND NO PERMANENT STRUCTURE OTHER THAN FOR SUCH UTILITY PURPOSES ARE TO BE ERRECTED WITHIN THE LIMITS OF SAID EASEMENTS. ALL OF THE LOTS IN THIS SUBDIVISION WILL RECEIVE WATER SERVICE FROM THE CITY OF NAMPA WHICH HAS AGREED IN WRITING TO SERVE ALL LOTS. IRRIGATION WATER HAS BEEN PROVIDED BY NAMPA & MERIDIAN IRRIGATION DISTRICT IN COMPLIANCE WITH IDAHO CODE 31-3805(1)(b). LOTS WITHIN THE SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS, AND WILL BE OBLIGATED FOR ASSESSMENTS FROM NAMPA & MERIDIAN IRRIGATION DISTRICT.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BRITTANIA HEIGHTS, LLC

JEFFERY L. HESS, MANAGER

## NOTES

- 1) LOT 8, BLOCK 1 IS A COMMON LOT DEDICATED TO THE BRITTANIA HEIGHTS SUBDIVISION HOMEOWNER'S ASSOCIATION FOR THE PURPOSE OF OWNING AND MAINTAINING A PRIVATE ROADWAY FOR ACCESS PURPOSES.
- 2) ALL LOT LINES COMMON TO THE PRIVATE ROADWAY HAVE A TEN FOOT (10') WIDE PERMANENT PUBLIC UTILITIES, PROPERTY DRAINAGE, AND IRRIGATION EASEMENT (P.U.D.I.), UNLESS OTHERWISE DIMENSIONED. THE EXTERIOR BOUNDARY HAS A (10') WIDE PERMANENT PUBLIC UTILITIES, PROPERTY DRAINAGE, IRRIGATION AND LANDSCAPE EASEMENT UNLESS OTHERWISE DIMENSIONED. ALL INTERIOR LOTS ARE HEREBY DESIGNATED AS HAVING A FIVE FOOT (5') PERMANENT EASEMENT ON EACH SIDE OF THE SIDE LOT LINES, AND A TEN (10') FOOT PERMANENT EASEMENT CONTIGUOUS TO ALL REAR LOT LINES, FOR PUBLIC UTILITIES, IRRIGATION LOT DRAINAGE AND LANDSCAPING.
- 3) LOT 10, BLOCK 1 IS DESIGNATED AS A COMMON LOT AND IS TO BE OWNED BY BRITTANIA HEIGHTS LLC AND MAINTAINED BY THE BRITTANIA HEIGHTS SUBDIVISION HOMEOWNERS ASSOCIATION, OR ITS ASSIGNS, AND SHALL HAVE A BLANKET EASEMENT FOR LANDSCAPE, PRESSURIZED IRRIGATION, AND HOMEOWNERS PEDESTRIAN ACCESS. LOT 19, BLOCK 1 IS DESIGNATED AS A NON-BUILDABLE LOT.
- 4) THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF IDAHO CODE, KNOWN AS THE RIGHT TO FARM ACT, WHICH STATES "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
- 5) IRRIGATION WATER HAS BEEN PROVIDED BY NAMPA MERIDIAN IRRIGATION DISTRICT IN COMPLIANCE WITH IDAHO CODE 31-3805(b). LOTS WITHIN THE SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ALL IRRIGATION ASSESSMENTS, FROM NAMPA MERIDIAN IRRIGATION DISTRICT. PRESSURIZED IRRIGATION IS OWNED AND OPERATED BY THE GRANTOR UNTIL ALL PHASES OF PRELIMINARY PLAT ARE COMPLETED AT WHICH TIME IT SHALL BE DEDICATED TO THE HOA UNDER THE CCR'S AT THE TIME OF DEDICATION.
- 6) ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
- 7) MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH CANYON COUNTY REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR THE CC&R'S WHICHEVER IS MORE RESTRICTIVE OR AS SPECIFICALLY APPROVED AND/OR REQUIRED. ALSO NO PERMANENT STRUCTURES SHALL BE LOCATED CLOSER THAN SEVENTY FEET TO ANY SECTION LINE UNLESS THE HIGHWAY DISTRICT WAIVES THE SEVENTY FEET SETBACK REQUIREMENT.
- 8) MAINTENANCE OF ANY IRRIGATION OR DRAINAGE PIPE OR DITCH CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY OR THE HOME OWNERS ASSOCIATION.
- 9) ALL LOTS WILL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE MASTER DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, AND AMENDMENTS OR MODIFICATIONS THAT PERTAIN TO THIS DEVELOPMENT, TO BE FILED AND RECORDED IN THE OFFICE OF THE RECORDER, CANYON COUNTY.
- 10) LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
- 11) NO ADDITIONAL POTABLE DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
- 12) STORM DRAINAGE FACILITIES OUTSIDE THE PUBLIC RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER AND IF THE HOMEOWNER FAILS TO MAINTAIN THEN THE HOA SHALL MAINTAIN AT THE HOMEOWNER'S EXPENSE. RESPONSIBILITY FOR STORM DRAINAGE FACILITIES INCLUDES ALL MAINTENANCE BOTH ROUTINE AND NON-ROUTINE.
- 13) NO NEW DEVELOPMENT OR REDEVELOPMENT OF LAND MAY DISCHARGE STORM WATER ONTO HIGHWAY DISTRICT RIGHT-OF-WAY OR INTO THE DISTRICT'S MUNICIPAL SEPARATE STORM SEWER SYSTEM.
- 14) POTABLE WATER IS SUPPLIED BY THE CITY OF NAMPA AND SHALL BE OWNED AND MAINTAINED BY THE CITY OF NAMPA.
- 15) ALL BUILDABLE LOTS WILL BE SERVICED BY A COMMUNITY WASTE WATER FACILITY APPROVED BY IDEQ.
- 16) NO CONSTRUCTION SHALL BE ALLOWED LOTS 7 AND 9, BLOCK 1, OF ANY BUILDING, DWELLING OR SHELTER WHICH NECESSITATES THE SUPPLYING OF WATER OR SEWAGE FACILITIES FOR PERSONS USING SUCH PREMISES UNTIL SANITARY RESTRICTION REQUIREMENTS ARE SATISFIED AND SUCH RESTRICTIONS ARE LIFTED BY DEQ.
- 17) NO ACCESS SHALL BE ALLOWED TO THE LAND IN A PLATTED SUBDIVISION OTHER THAN BY INTERNAL SUBDIVISION STREETS OR AS OTHERWISE SHOWN ON THIS PLAT.
- 18) RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS WITH REFERENCE TO RECORD DOCUMENTS LIST IN REFERENCES TABLE.

## ACKNOWLEDGMENT

STATE OF IDAHO }  
COUNTY OF CANYON } SS

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR \_\_\_\_\_, BEFORE

ME \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED JEFFERY L. HESS, KNOWN OR IDENTIFIED TO ME TO BE THE MANAGER OF BRITTANIA HEIGHTS LLC, AN IDAHO LIMITED LIABILITY COMPANY THAT EXECUTED THE INSTRUMENT OR THE PERSON WHO EXECUTED THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

\_\_\_\_\_  
NOTARY PUBLIC FOR IDAHO

RESIDING AT \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

## CERTIFICATE OF SURVEYOR

I, ROBERT GROMATZKY, AM A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO, AND DO HEREBY CERTIFY THAT THIS PLAT, AS DESCRIBED IN THE "CERTIFICATE OF OWNERS", WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, IN CONFORMITY WITH THE STATE OF IDAHO CODES RELATING TO PLATS, SURVEYS AND THE CORNER PERPETUATION AND FILING ACT, IDAHO CODE 55-1601 THROUGH 55-1612.



# N|V|5

690 Industry Way, Suite 10  
Meridan, ID 83642  
208-342-5400 www.NV5.com

PLAT OF  
**BRITANIA HEIGHTS SUBDIVISION NO. 8**

CERTIFICATE OF COUNTY SURVEYOR

I, the undersigned, Professional Land Surveyor for Canyon County, Idaho, do hereby certify that I have checked this plat and find that it complies with the State of Idaho Code relating to Plats and Surveys.

\_\_\_\_\_  
Canyon County Surveyor

\_\_\_\_\_  
Date

APPROVAL OF CANYON COUNTY COMMISSIONERS

Accepted and Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2021 by the Canyon County Commissioners, Canyon County, Idaho.

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Clerk

SANITARY RESTRICTIONS

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied based on the Department of Environmental Quality (DEQ) approval of the design plans and specifications and the conditions and the conditions imposed on the developer for continued satisfaction of the sanitary restrictions. Buyer is cautioned that at the time of this approval, no drinking water or sewer/septic facilities were constructed. Building construction can be allowed with appropriate building permits if drinking water or sewer facilities have been constructed or if the developer is simultaneously constructing those facilities. If the developer fails to construct facilities or meet other conditions of DEQ, then sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval, and no construction of any building or shelter requiring drinking water or sewer/septic facilities shall be allowed.

\_\_\_\_\_  
Southwest District Health Department, EHS

\_\_\_\_\_  
Date

APPROVAL OF CITY ENGINEER

I, the undersigned, City Engineer, in and for the City of Nampa, Canyon County, Idaho, do hereby approve this plat of Britania Heights Subdivision No. 7.

\_\_\_\_\_  
Nampa City Engineer

\_\_\_\_\_  
Date

CERTIFICATE OF THE CANYON COUNTY TREASURER

I, the undersigned, County Treasurer in and for the County of Canyon, State of Idaho, per the requirements of Idaho Code, Title 50, Chapter 13, Section 50-1308, do hereby certify that any and all current and/or delinquent County Property Taxes for the property included in this development have been paid in full. This certification is valid for the next thirty (30) days only.

\_\_\_\_\_  
Canyon County Treasurer

\_\_\_\_\_  
Date

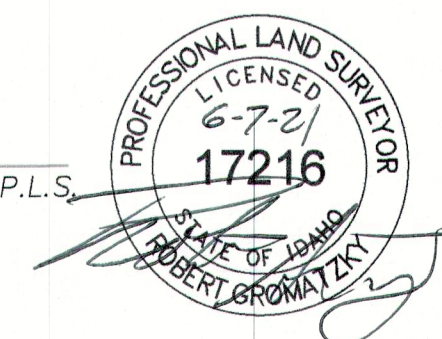
APPROVAL OF NAMPA HIGHWAY DISTRICT NO. 1

NAMPA HIGHWAY DISTRICT NO. 1 DOES HEREBY ACCEPT THIS PLAT, AND THE DEDICATED PUBLIC STREETS, HIGHWAYS AND RIGHTS-OF-WAY AS ARE DEPICTED ON THIS PLAT, IN ACCORDANCE WITH THE PROVISIONS OF I.C. § 50-1312. PRIVATE STREETS DEPICTED ON THIS PLAT ARE NOT MAINTAINED BY OR UNDER THE JURISDICTION OF THE HIGHWAY DISTRICT. THERE IS NO LEGAL OBLIGATION OR ASSURANCES THAT THE PRIVATE STREETS WILL BE ACCEPTED AS PUBLIC STREETS IN THE FUTURE.

\_\_\_\_\_  
DISTRICT CHAIRMAN, NAMPA HIGHWAY DISTRICT NO. 1

\_\_\_\_\_  
DATE

ROBERT GROMATZKY, P.L.S.



IDAHO NO. 17216

**NV5**

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SHEET 3 OF 3