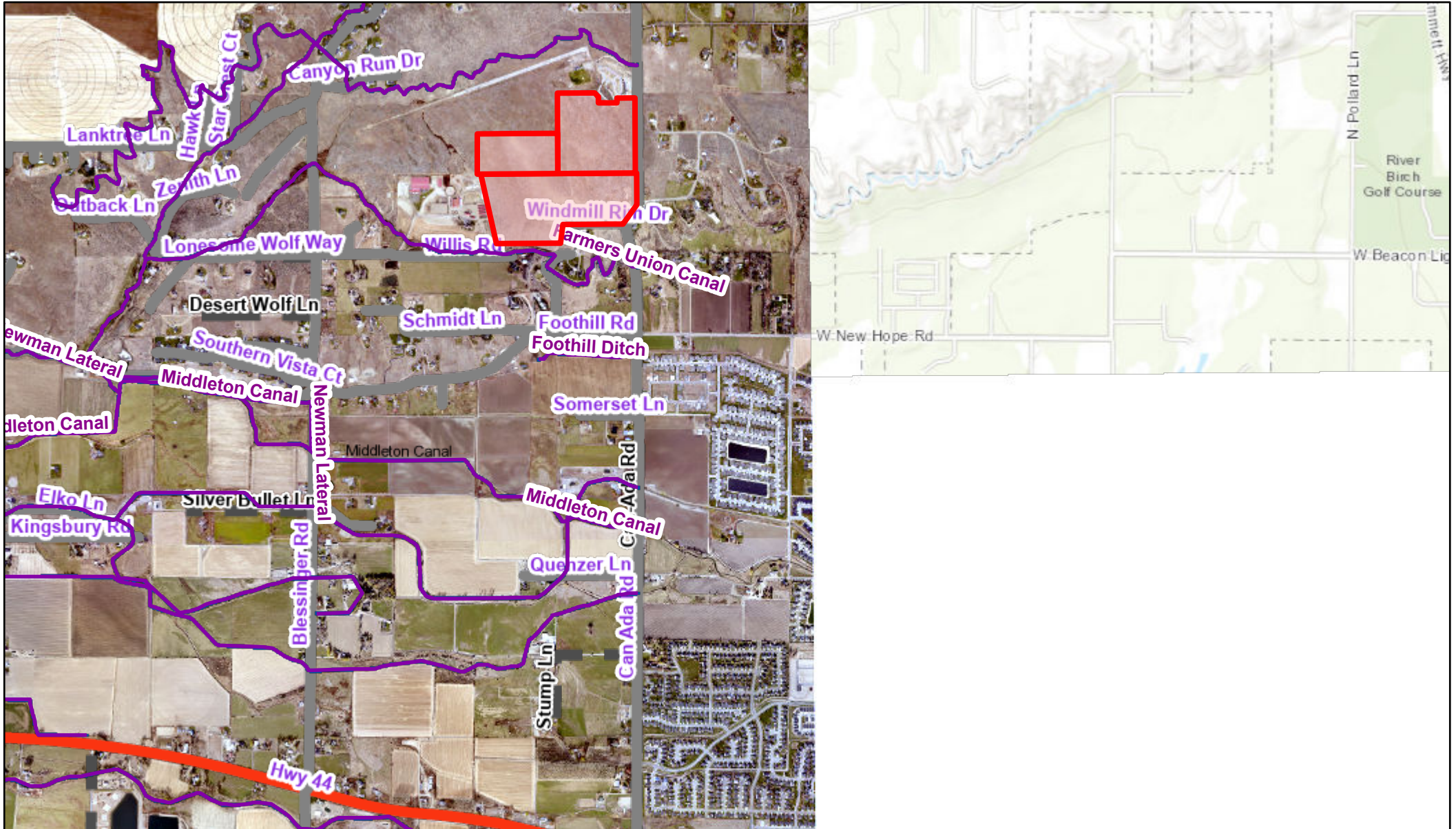










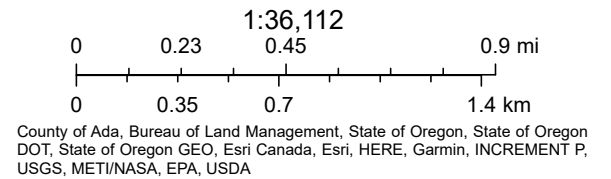


# Canyon County, ID Web Map



6/30/2023, 1:29:41 PM

- |  |                                      |   |                   |   |               |
|--|--------------------------------------|---|-------------------|---|---------------|
|  | Multiple Parcel Search _Query result |  | CC_PrivateRoads   | Canyon County Imagery_2019  |               |
|  | Hydro_NHDFlowline                    |  | CanyonCountyRoads |  | Red: Band_1   |
|  | Hydro_NHDFlowline                    |  | Hwy               |  | Green: Band_2 |
|  |                                      |  | Roads             |  | Blue: Band_3  |



# MASTER APPLICATION

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



<b>PROPERTY OWNER</b>	OWNER NAME: Skyline Homes and Development
	MAILING ADDRESS: 3516 Black Butte Court Nampa, ID 83687
	PHONE: 208.440.6751                      EMAIL: hmhconstructioncorp@gmail.com

I consent to this application and allow DSD staff / Commissioners to enter the property for site inspections. If owner(s) are a business entity, please include business documents, including those that indicate the person(s) who are eligible to sign.

Signature: [Handwritten Signature] Date: 7/2/21

<b>(AGENT) ARCHITECT ENGINEER BUILDER</b>	CONTACT NAME: Thomas Hawksworth, PE
	COMPANY NAME: Blue Peak Engineering
	MAILING ADDRESS: 3313 W Cherry Lane, #507
	PHONE: 208.918.0928                      EMAIL: ThomasH@bluepeakeng.com

<b>SITE INFO</b>	STREET ADDRESS: NWC of Can Ada Road and Windmill Rim Drive
	PARCEL #: R3762901300, R3762900000      LOT SIZE/AREA: 112 ac +/- & R3762901200
	LOT:                      BLOCK:                      SUBDIVISION: undeveloped land
	QUARTER:                      SECTION: 36                      TOWNSHIP: 5N                      RANGE: 2W
	ZONING DISTRICT: R-R                      FLOODZONE (YES/NO):

<b>HEARING LEVEL APPS</b>	<input type="checkbox"/> CONDITIONAL USE <input type="checkbox"/> COMP PLAN AMENDMENT <input type="checkbox"/> CONDITIONAL REZONE
	<input type="checkbox"/> ZONING AMENDMENT (REZONE) <input type="checkbox"/> DEV. AGREEMENT MODIFICATION <input type="checkbox"/> VARIANCE > 33%
	<input type="checkbox"/> MINOR REPLAT <input type="checkbox"/> VACATION <input type="checkbox"/> APPEAL
	<input type="checkbox"/> SHORT PLAT SUBDIVISION <input type="checkbox"/> PRELIMINARY PLAT SUBDIVISION <input checked="" type="checkbox"/> FINAL PLAT SUBDIVISION

<b>DIRECTORS DECISION APPS</b>	<input type="checkbox"/> ADMINISTRATIVE LAND DIVISION <input type="checkbox"/> EASEMENT REDUCTION <input type="checkbox"/> SIGN PERMIT
	<input type="checkbox"/> PROPERTY BOUNDARY ADJUSTMENT <input type="checkbox"/> HOME BUSINESS <input type="checkbox"/> VARIANCE 33% >
	<input type="checkbox"/> PRIVATE ROAD NAME <input type="checkbox"/> TEMPORARY USE <input type="checkbox"/> DAY CARE
	<input type="checkbox"/> OTHER _____

CASE NUMBER: <u>SD2021-0041</u>	DATE RECEIVED: <u>7.16.21</u>
RECEIVED BY: <u>cl</u>	APPLICATION FEE: <u>1470.00</u> <input checked="" type="checkbox"/> MO <input type="checkbox"/> CC <input type="checkbox"/> CASH



# Development Services Department

Canyon County, 111 North 11<sup>th</sup> Avenue, Caldwell, ID 83605

(208) 454 7458 ▪ (208) 454 6633 Fax ▪ [Zoninginfo@canyonco.org](mailto:Zoninginfo@canyonco.org) ▪ [www.canyonco.org/dsd](http://www.canyonco.org/dsd)

Dear Property Owners/Applicants,

On behalf of the Canyon County Development Services Department – Planning Division, we thank you for your interest in developing in our community. Our department's number one priority is providing quality customer service. Unfortunately, due to the lack of planning staff and the current labor market conditions, we are falling short of that mission.

As of September 1, 2022, we have over 200 planning projects currently in queue. We are also working diligently on the adoption and implementation of the 2030 Canyon County Comprehensive Plan. The Planning Division has recently lost experienced planners, which has impacted application processing time. Besides myself, our division has just one (1) Planner III, whose primary focus is the 2030 Canyon County Comprehensive Plan. The rest of the division is mainly new planners and planner technicians training to get up to speed.

As our department works to get back to a normal processing time, we ask that you please be patient with our staff. They are working day in and day out to keep up with the growing needs of our county. Moving forward, we will continue to review applications in the order they are received and prioritize them accordingly. If your application has been recently filed and you want to withdraw, we will be more than happy to refund your application fee. If you wish to remain on file, please know that we will get to it as quickly as possible.

Please don't hesitate to contact us with questions or concerns.

Thanks in advance for your patience and understanding.

Sincerely,

Dan Lister  
Planning Official - Development Services Department

# **FINAL PLAT SUBMITTAL LIST**

## **CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT**

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



### **THE FOLLOWING ITEMS MUST BE SUBMITTED WITH THIS CHECKLIST:**

<input type="checkbox"/>	Master Application completed and signed
<input type="checkbox"/>	Copy of Final Plat
<input type="checkbox"/>	Final Drainage Plan, if applicable
<input type="checkbox"/>	Final Irrigation Plan, if applicable
<input type="checkbox"/>	Final Grading Plan, if applicable
<input type="checkbox"/>	Construction Drawings for all required improvements § 07-17-29 (3)
<input type="checkbox"/>	<b>\$930 +\$10/lot +\$100( if in an area of impact) non-refundable fee</b>

### **NOTE:**

1. After the plat is reviewed and found to be in compliance, an **additional five (5) copies and one electronic version of the final plat** shall be submitted.
2. Evidence that all improvements have been completed or bonded per CCZO § 07-17-29 (4) should be provided as needed.

### **PROCESS: PUBLIC HEARING**

**Canyon County Development Services**  
111 N. 11th Ave. Room 140, Caldwell, ID 83605  
(208) 454-7458

**Building Division Email:** buildinginfo@canyonco.org

**Planning Division Email:** zoninginfo@canyonco.org

**Receipt Number:** 59700

**Date:** 7/16/2021

**Date Created:** 7/16/2021      **Receipt Type:** Normal Receipt      **Status:** Active  
**Customer's Name:** Skyline Homes and Development LLC  
**Comments:** SD2021-0041, Thunder Ridge Subdivision

**CHARGES**

<u>Item Being Paid For:</u>	<u>Application Number:</u>	<u>Amount Paid:</u>	<u>Prevs Pymnts:</u>	<u>Unpaid Amnt:</u>
Planning - Final Plat	SD2021-0041	\$930.00	\$0.00	\$0.00
Planning - Final Plat Addition City Impact Area Fee	SD2021-0041	\$100.00	\$0.00	\$0.00
Planning - Final Plat Addition Per Lot Fee (Per Application)	SD2021-0041	\$440.00	\$0.00	\$0.00

**Sub Total:** \$1,470.00

**Sales Tax:** \$0.00

**Total Charges:** \$1,470.00

**PAYMENTS**

<u>Type of Payment:</u>	<u>Check/Ref Number:</u>	<u>Amount:</u>
Check	2109	\$1,470.00

**Total Payments:** \$1,470.00

**ADJUSTMENTS**

**Receipt Balance:** \$0.00



# FINAL PLAT CHECKLIST-CANYON COUNTY

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Ave, Ste.140, Caldwell, ID 83605 [www.canyoncounty.org/dsd](http://www.canyoncounty.org/dsd) Phone: 208-454-7458 Fax: 208-454-6633

APPLICANT: \_\_\_\_\_ SUBDIVISION NAME: Thunder Bridge

LAND USE CASE NUMBER: CR2019-0016 SUBDIVISION CASE NUMBER: SD2021-0041

## CANYON COUNTY CODE OF ORDINANCES 07-17-13 (1-6)

The information hereinafter required as part of the final plat submitted shall be shown graphically or by note on plans, and may comprise several sheets showing various elements or required data.

	APP.	DSD/SRT
<b>1. METHOD &amp; MEDIUM OF PRESENTATION:</b>		
A. All plats to be recorded shall be prepared on a drafting medium in accordance with Requirements of Idaho Code title 55, chapter 19, paragraph (1) for Records of Survey Maps	<input type="checkbox"/>	<input type="checkbox"/>
B. The plat shall be drawn to an accurate scale of not more than one hundred feet to an inch (100'=1") unless otherwise approved by DSD <u>prior to submission.</u>	<input type="checkbox"/>	<input type="checkbox"/>
C. The final plat drawing shall be additionally submitted in digital form approved by the Director. <u>Requested 8/13/21</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>2. IDENTIFICATION DATA REQUIRED:</b>		
A. A title which includes the name of the subdivision and its location by number of section, township, range and county shall be placed together at one location at the top of the sheet and generally centered.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B. Name, address and official seal of the surveyor preparing the plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C. North arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D. Date of the preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
E. Revision block showing dates of any revisions subsequent to the original preparation date. the revision block shall be part of the title block which shall be placed along the right edge of the drawing.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>3. SURVEY DATA REQUIRED:</b>		
A. Boundaries of the tract to be subdivided and the interior lots are to be fully balanced and closed, showing all bearings and distances determined by an accurate survey in the field. All dimensions shall be expressed in feet and decimals thereof.	<input type="checkbox"/>	<input type="checkbox"/>
B. Any excepted lots within the plat boundaries shall show all bearings and distances determined by an accurate survey in the field. All dimensions shall be expressed in feet and decimals thereof.	<input type="checkbox"/>	<input type="checkbox"/>
C. Basis of bearing on the plat shall be referenced.	<input type="checkbox"/>	<input type="checkbox"/>

4. DESCRIPTIVE DATA REQUIRED:	APP.	DSD/SRT
A. Name, right-of-way lines, courses, lengths, width of all private and public streets, alleys, Pedestrian ways and utility easements.	<input type="checkbox"/>	<input type="checkbox"/>
B. All drainage ways.	<input type="checkbox"/>	<input type="checkbox"/>
C. All easements provided for public services or utilities and any limitations of the easements.	<input type="checkbox"/>	<input type="checkbox"/>
D. All lots and blocks shall be numbered throughout the plat in accordance with Idaho Code. "Exceptions", "tracts", and "private parks" shall be so designated, lettered or named and clearly dimensioned.	<input type="checkbox"/>	<input type="checkbox"/>
E. All sites to be dedicated to the public will be indicated and the intended use specified.	<input type="checkbox"/>	<input type="checkbox"/>
F. All roads must be labeled as either "private" or "public" behind or beneath the road name.	<input type="checkbox"/>	<input type="checkbox"/>
G. The area of each lot shall be stated in acres and decimals thereof.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
H. The statement from Idaho Code 22-4503 or any later amended statutory language shall appear on all final plats located in a zone where agricultural uses are allowed or permitted.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I. A note as to the type of sewage disposal facilities to be provided.	<input type="checkbox"/> #10	<input type="checkbox"/>
J. A note as to the type of water supply facilities to be provided.	<input checked="" type="checkbox"/> 11	<input type="checkbox"/>
K. Required section and quarter-section line setbacks. <i>Can Act</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>5. DEDICATION AND ACKNOWLEDGMENT:</b>		
A. A statement of dedication of all streets, alleys, pedestrian ways and other easements for public use by the person holding title of record and by person holding title as vendees under land contract.	<input type="checkbox"/>	<input type="checkbox"/>
B. Acknowledgement of dedication: The dedication referred to in Section 07-18-17 of this Chapter shall be in the form of a certificate acknowledged in accordance with Idaho Code 50-1309.	<input type="checkbox"/>	<input type="checkbox"/>
<b>6. REQUIRED CERTIFICATIONS:</b> <i>The following certifications shall be placed on the signature page of the final plat.</i>		
A. Landowner's signature	<input checked="" type="checkbox"/> <i>al</i>	<input type="checkbox"/>
B. Certification by a surveyor stating that the plat is correct and accurate and that the Monuments described in it have been located as described.	<input checked="" type="checkbox"/> <i>al</i>	<input type="checkbox"/>
C. Certification of plat approval by the county surveyor.	<input checked="" type="checkbox"/> <i>al</i>	<input type="checkbox"/>

<p>D. Certification of plat approval by the board</p> <p>E. Approval or certification of comment by impacted agencies that may include: highway districts, health department, the city when the development is in an area of city impact, treasurer, recorder, and state and federal agencies having jurisdiction.</p>	<input checked="" type="checkbox"/> <i>OK</i> <input checked="" type="checkbox"/> <i>OK</i> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
--	--	--

**DSD SUBDIVISION REVIEW TEAM USE ONLY:**

FINAL PLAT REVIEWED ON: 3 / 13 / 21

**COMPLIANCE WITH CONDITIONS OF APPROVAL:**

YES     NO     N/A

*Many items needed submitted w/ FPlat Application*

**VERIFICATION OF APPROVED ROAD NAMES IN ACCORDANCE WITH PRELIMINARY PLAT:**

YES     NO     N/A

SRT COMMENTS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**DECISION:**

APPROVED     DENIED

SRT COMMENTS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

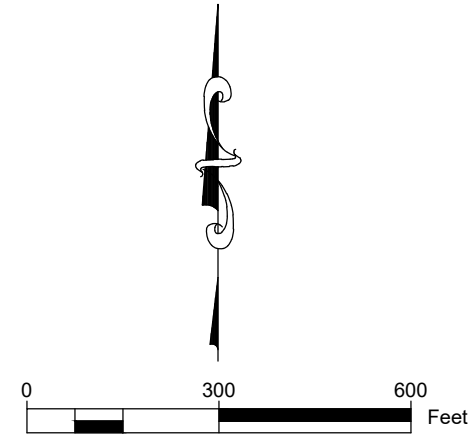
If you would like to attend the Subdivision Review Team Meeting please contact our office at 208-454-7458.

If you are submitting revisions of your plat and there are items you feel were marked in error, please provide a written explanation as to why these items should not have been redlined.



# PLAT SHOWING THUNDER RIDGE SUBDIVISION

LOCATED WITHIN THE SE 1/4  
OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 2 WEST,  
BOISE MERIDIAN, CANYON COUNTY, IDAHO  
2021



## SHEET INDEX

- 1 SUBDIVISION BOUNDARY, NOTES, NARRATIVE, REFERENCES
- 2-5 LOT DETAILS
- 6 CURVE AND LINE TAG TABLES
- 7 OWNER ACKNOWLEDGMENT
- 8 AGENCY APPROVALS, SURVEYOR CERTIFICATION

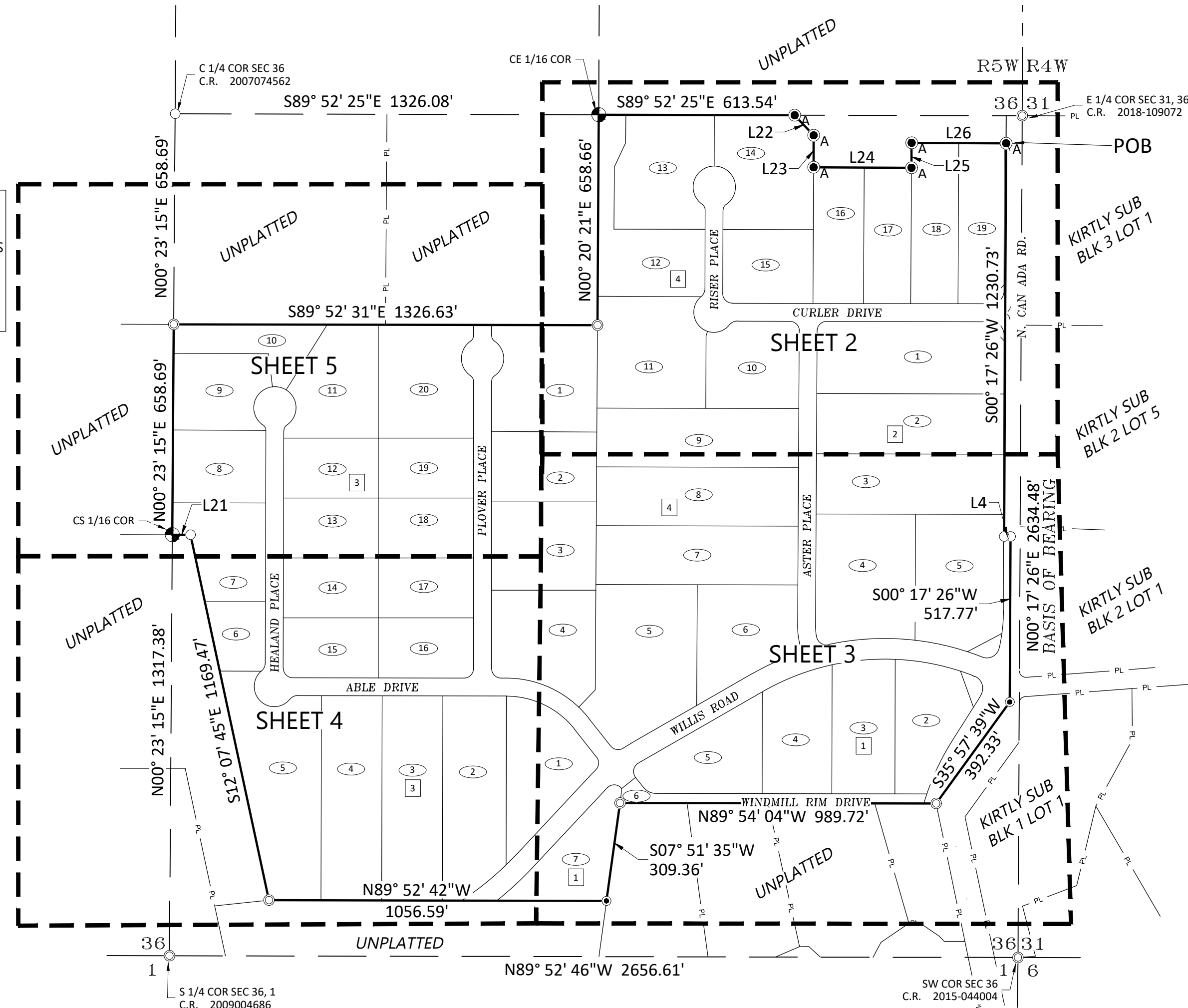
## SURVEYOR NARRATIVE

THE SURVEYED PARCEL SHOWN HEREON IS BEING PLATTED INTO A SUBDIVISION. THIS SURVEYOR RETRACED THE BOUNDARY DESCRIBED IN THE DEED FOR THIS PROPERTY. THE MONUMENTATION FOUND ALONG THE EXTERIOR OF THE SUBDIVISION WAS UPGRADED WHERE NECESSARY TO MEET THE MINIMUM STANDARD FOR A FINAL PLAT. ALL SECTIONAL MONUMENTS WERE VERIFIED TO BE IN THE SAME CONDITION AS REPORTED ON THE CURRENT CORNER RECORD OR UPDATED AS SHOWN.

## LEGEND

- SUBDIVISION BOUNDARY
- ADJACENT RECORD BOUNDARY
- LOT BOUNDARY
- RIGHT-OF-WAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- SECTIONAL
- CENTERLINE
- FOUND 1/2" REBAR, AS NOTED
- FOUND 5/8" REBAR, AS NOTED
- FOUND OR SET 5/8" REBAR, AS NOTED, WITH ALUMINUM CAP
- SET 1/2" REBAR WITH PLASTIC CAP
- SET 5/8" REBAR WITH PLASTIC CAP
- PREVIOUSLY SET 5/8" REBAR WITH PLASTIC CAP
- CALCULATED POINT ONLY
- LOT NUMBER
- BLOCK NUMBER

SEE LINE AND CURVE DATA ON SHEET 6



## REFERENCES

- R1. ROS 89-18390 BY SKINNER & ASSOCIATES, INC; OCTOBER 1989
- R2. ROS 90-017019 BY SKINNER & ASSOCIATES, INC; SEPT. 1990
- R3. ROS 92-0017019 BY JUB ENGINEERS, INC; APRIL 1992
- R4. ROS 93-023203 BY PACIFIC LAND SURVEYORS; SEPT. 1993
- R5. ROS 95-008048 BY PACIFIC LAND SURVEYORS; MARCH 1995
- R6. ROS 9944726 BY BERGEY LAND SURVEYING; NOVEMBER 1999
- R7. ROS 200510896 BY MARKS LAND SURVEYING, INC; MARCH 2005
- R8. ROS 2009040033 BY DTP SURVEYING, LLC; AUG. 2009
- R9. ROS 2020-068596 BY RICHARD A GRAY; DEC. 2020
- R10. ROS 2021011927 BY LR GEO; FEB. 2021
- D1. WARRANTY DEED I.N. 830498; MAY 1978
- D2. DEED AND DEDICATION I.N. 935973; DEC. 1981
- D3. QUITCLAIM DEED I.N. 9116187; AUG. 1991
- D4. CORRECTED GRANT DEED I.N. 2012-023561; JUNE 2012
- D5. WARRANTY DEED I.N. 2020-013963; MARCH 2020
- D6. WARRANTY DEED I.N. 2020-072293; DEC. 2020
- D7. QUITCLAIM DEED I.N. 2021-XXXXX; DATE
- D8. QUITCLAIM DEED I.N. 2021-XXXXX; DATE
- E1. AGREEMENT GRANTING EASEMENT I.N. 9512538; MAY 1995

## BASIS OF BEARING

THE BASIS OF BEARING IS GRID NORTH, IDAHO WEST ZONE PROJECTION OF NAD83 (2011) 2010.00, BEING N00°17'26"E BETWEEN THE SOUTHEAST CORNER OF SECTION 36 AND THE QUARTER CORNER COMMON TO SECTIONS 31 AND 36.

## REVISIONS

- 1. PER COUNTY ENGINEER REVIEW COMMENTS RECEIVED 10-19-2021

## ABBREVIATIONS

- AC. ACRES
- C.R. CORNER RECORD
- COR SEC CORNER OF SECTION NUMBER
- ESMT EASEMENT
- I.N. INSTRUMENT NUMBER, CANYON COUNTY RECORDS
- N,E,S,W NORTH, EAST, SOUTH, WEST
- POB POINT OF BEGINNING
- ROS RECORD OF SURVEY INSTRUMENT NUMBER

## NOTES

1. THE LOTS WITHIN THIS PLAT ARE SUBJECT TO EXISTING EASEMENTS AS REFERENCED AND DEPICTED HEREON, INCLUDING ANY AMENDMENTS THERETO.
2. A TEN (10) FOOT WIDE PERMANENT EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE SHALL BE RESERVED, BEING FIVE (5) FEET LEFT AND RIGHT OF ALL INTERIOR LOT LINES, ADJACENT TO THE EXTERIOR SUBDIVISION BOUNDARY, AND ADJACENT TO PUBLIC RIGHT-OF-WAYS, UNLESS OTHERWISE DIMENSIONED.
3. LOTS 1, 6, AND 7, BLOCK 1; LOTS 6 AND 7, BLOCK 2; LOTS 6 AND 10, BLOCK 3; LOTS 12 AND 20, BLOCK 4, ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE THUNDER RIDGE SUBDIVISION HOMEOWNERS ASSOCIATION.
4. LOT 5, BLOCK 1, IS SUBJECT TO A BLANKET INGRESS/EGRESS EASEMENT FOR A PRIVATE ROAD THAT SERVICES THE LOTS OF THIS SUBDIVISION. LOT 5, BLOCK 1, IS ALSO SUBJECT TO AN EXISTING INGRESS/EGRESS EASEMENT RECORDED AS INSTRUMENT NO. 95112538, WHICH RESERVES ACCESS TO ADJOINING PARCELS.
5. NO BUILD-ABLE LOTS IN THIS DEVELOPMENT SHALL HAVE DIRECT ACCESS TO CAN ADA ROAD.
6. MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CANYON COUNTY APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED.
7. CANYON HIGHWAY DISTRICT NO. 4 WAIVES THE 70-FOOT SECTION LINE SETBACK FOR LOTS 12 THROUGH 19, BLOCK 4 (CANYON COUNTY CODE 07-10-19, OR AS MODIFIED). ALL OTHER BUILDING SETBACKS REMAIN IN EFFECT.
8. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE SUBDIVISION STANDARDS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
9. IN ADDITION TO THE PUBLIC DRAINAGE EASEMENT RESERVED BY NOTE 4 ABOVE, LOTS 2 THROUGH 7, BLOCK 1; LOTS 6 AND 10, BLOCK 3; LOTS 12 THROUGH 19, BLOCK 4, CONTAIN ADDITIONAL PUBLIC DRAINAGE INFRASTRUCTURE, SUCH AS SWALES AND/OR RETENTION BASINS, AND ARE SUBJECT TO A PUBLIC DRAINAGE EASEMENT AND THE RIGHT TO ACCESS AND MAINTAIN THEM BY THE HIGHWAY DISTRICT, AS DEPICTED HEREON.
10. ALL LOTS SHALL HAVE INDIVIDUAL SEPTIC SYSTEMS, AS APPROVED BY SOUTHWEST DISTRICT HEALTH DEPARTMENT. SANITARY SEWER RESTRICTIONS ARE IN EFFECT UNTIL RELEASED BY THE HEALTH DEPARTMENT.
11. ALL LOTS SHALL HAVE INDIVIDUAL WELLS FOR POTABLE WATER.
12. THIS DEVELOPMENT RECOGNIZES IDAHO CODE SECTION 22-4503, RIGHT TO FARM ACT, WHICH STATES THAT "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
13. IFC 2015 APPENDIX B FIRE FLOW REQUIREMENTS FOR BUILDINGS TABLE B105.1 WATER SUPPLY HAS TO BE PROVIDED AT A MINIMUM OF 1500 GPM. THE ALTERNATIVE IF THE ABOVE CANNOT BE ACHIEVED IS TO REQUIRE THAT ALL HOMES BUILT IN THE DEVELOPMENT HAVE RESIDENTIAL FIRE SPRINKLERS INSTALLED.
14. THIS SUBDIVISION IS SUBJECT TO A DEVELOPMENT AGREEMENT WITH CANYON COUNTY, RECORDED AS INSTRUMENT NO. \_\_\_\_\_
15. THIS SUBDIVISION IS SUBJECT TO THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE THUNDER RIDGE HOMEOWNERS ASSOCIATION.
16. LOT 1, BLOCK 1; LOT 6 AND 7, BLOCK 2; LOT 20, BLOCK 4, ARE SUBJECT TO A BLANKET LANDSCAPE EASEMENT, TO BE OWNED AND MAINTAINED BY THE THUNDER RIDGE HOMEOWNERS ASSOCIATION.
17. THE LAND WITHIN THIS SUBDIVISION PLAT IS NOT WITHIN AN IRRIGATION DISTRICT AS DEFINED BY IDAHO 31-3805, AND THE REQUIREMENTS OF IDAHO CODE 31-3805 ARE NOT APPLICABLE. IRRIGATION WATER IS NOT BEING PROVIDED TO THE LOTS OF THIS SUBDIVISION.

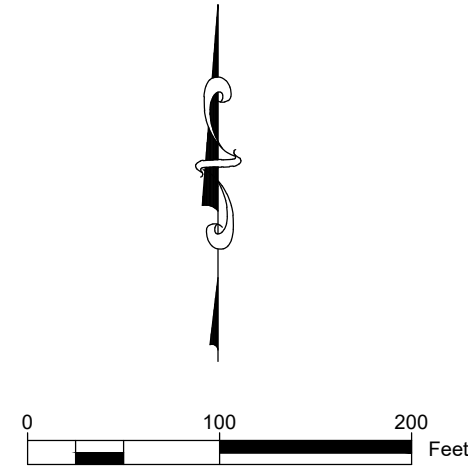
REVIEW COPY  
11-23-2021



2308 N. COLE RD. | SUITE G | BOISE, IDAHO 83704  
www.lr-geo.com

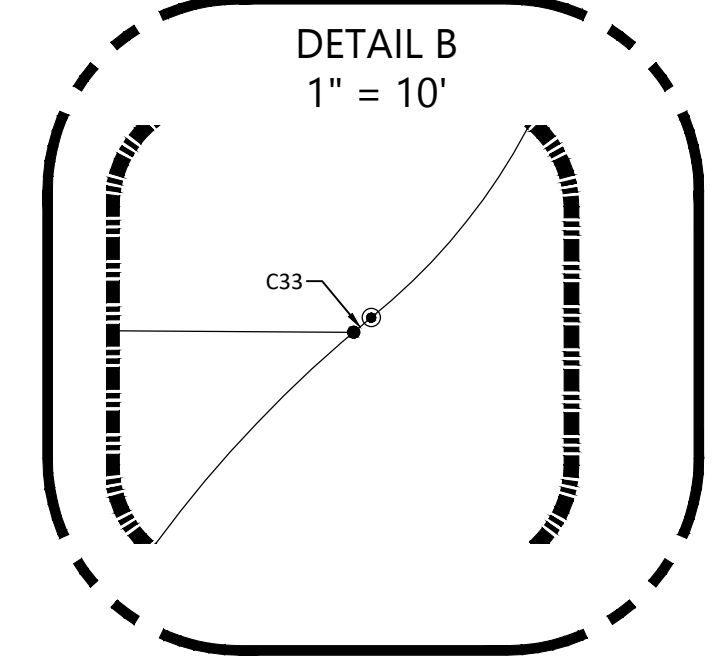
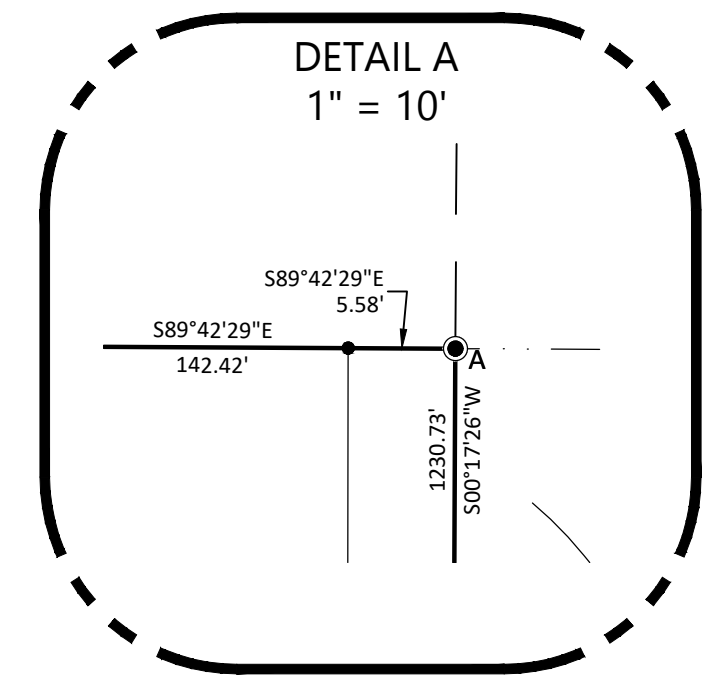
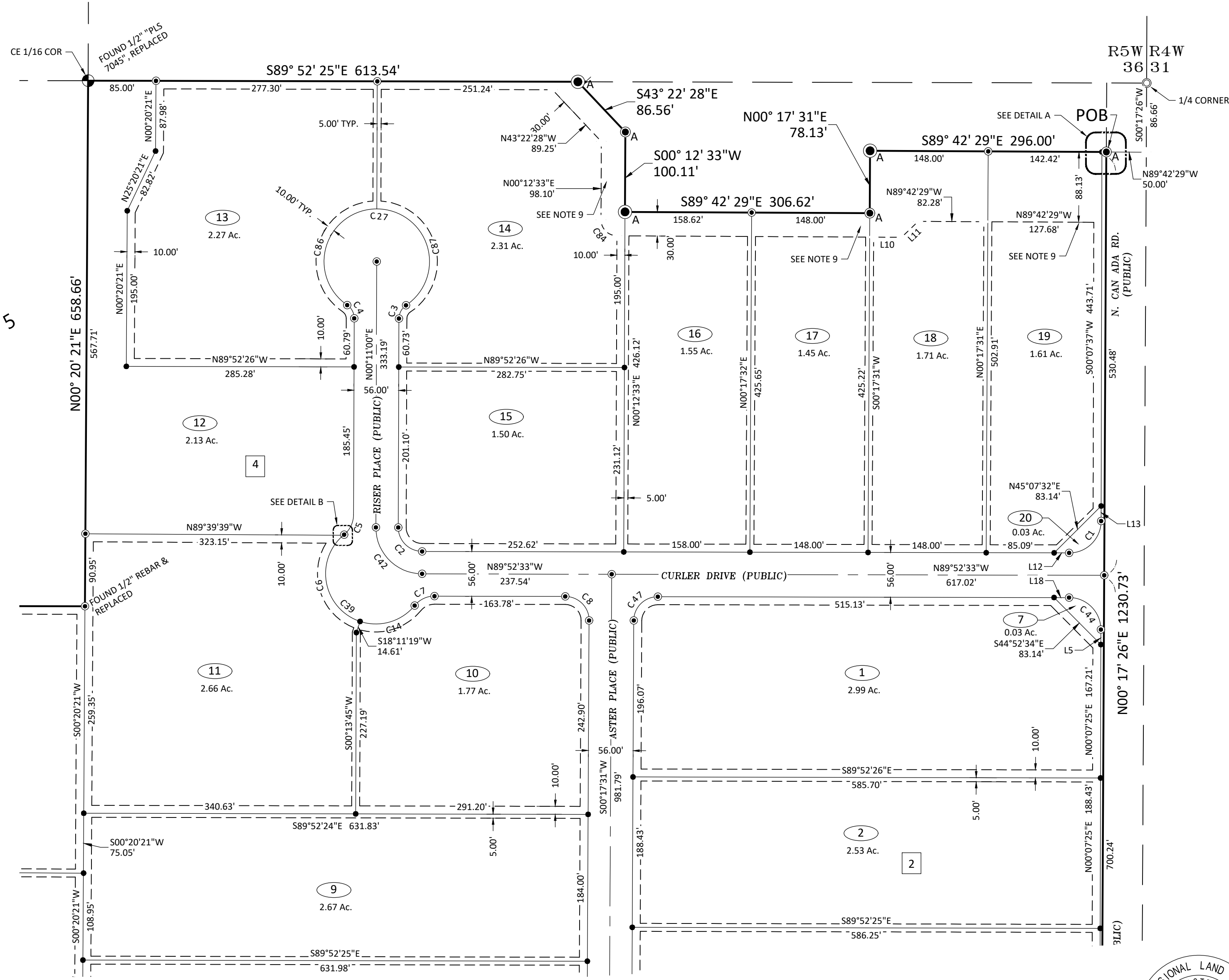
# PLAT SHOWING THUNDER RIDGE SUBDIVISION

LOCATED WITHIN THE SE 1/4  
OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 2 WEST,  
BOISE MERIDIAN, CANYON COUNTY, IDAHO  
2021



SEE SHEET 5

SEE SHEET 3



- LEGEND**
- SUBDIVISION BOUNDARY
  - PL — PL — ADJACENT RECORD BOUNDARY
  - LOT BOUNDARY
  - - - RIGHT-OF-WAY
  - - - EXISTING EASEMENT
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  - ⊙ PREVIOUSLY SET 5/8" REBAR WITH PLASTIC CAP
  - CALCULATED POINT ONLY
  - 2 LOT NUMBER
  - 4 BLOCK NUMBER

- ABBREVIATIONS**
- Ac. ACRES
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SEE LINE AND CURVE DATA ON SHEET 6

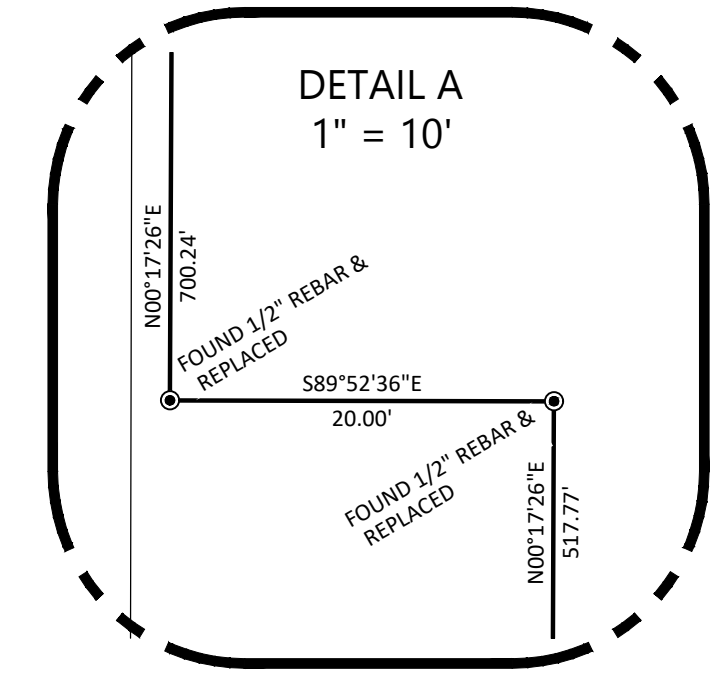
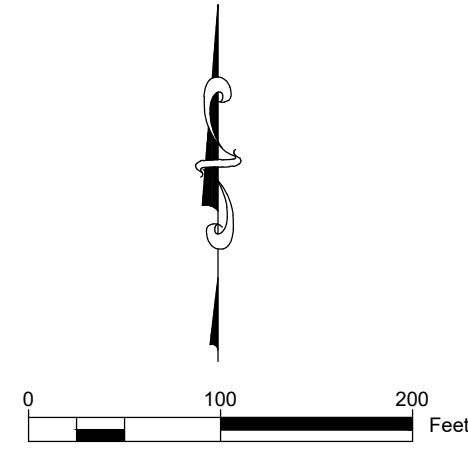
REVIEW COPY  
11-23-2021



**LR Geo**  
A SURVEYING & MAPPING COMPANY  
2308 N. COLE RD. | SUITE G | BOISE, IDAHO 83704  
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# PLAT SHOWING THUNDER RIDGE SUBDIVISION

LOCATED WITHIN THE SE 1/4  
OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 2 WEST,  
BOISE MERIDIAN, CANYON COUNTY, IDAHO  
2021



## LEGEND

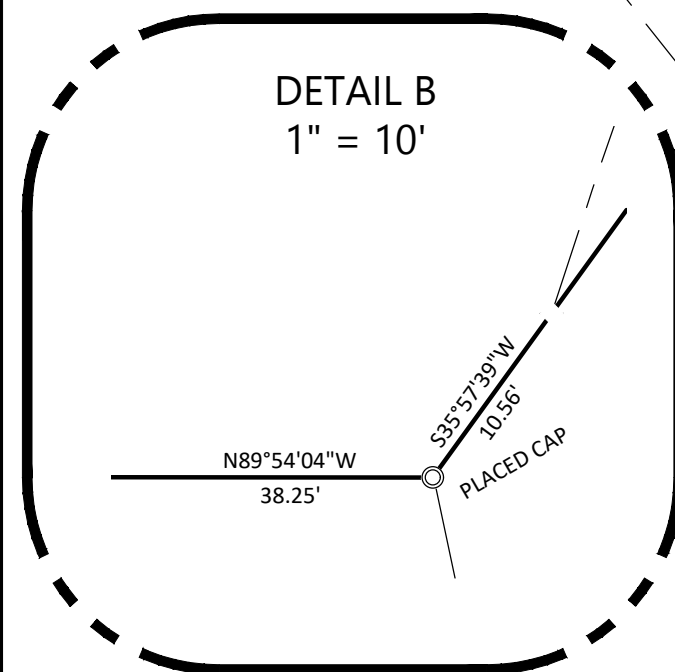
- SUBDIVISION BOUNDARY
- ADJACENT RECORD BOUNDARY
- LOT BOUNDARY
- RIGHT-OF-WAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- SECTIONAL
- CENTERLINE
- FOUND 1/2" REBAR, AS NOTED
- FOUND 5/8" REBAR, AS NOTED
- FOUND OR SET 5/8" REBAR, AS NOTED, WITH ALUMINUM CAP
- SET 1/2" REBAR WITH PLASTIC CAP
- SET 5/8" REBAR WITH PLASTIC CAP
- PREVIOUSLY SET 5/8" REBAR WITH PLASTIC CAP
- CALCULATED POINT ONLY
- LOT NUMBER
- BLOCK NUMBER

## ABBREVIATIONS

- Ac. ACRES
- C.R. CORNER RECORD
- COR SEC CORNER OF SECTION NUMBER
- ESMT EASEMENT
- I.N. INSTRUMENT NUMBER, CANYON COUNTY RECORDS
- N,E,S,W NORTH, EAST, SOUTH, WEST
- POB POINT OF BEGINNING
- ROS RECORD OF SURVEY INSTRUMENT NUMBER

SEE SHEET 4

SEE SHEET 2



SEE LINE AND CURVE DATA ON SHEET 6

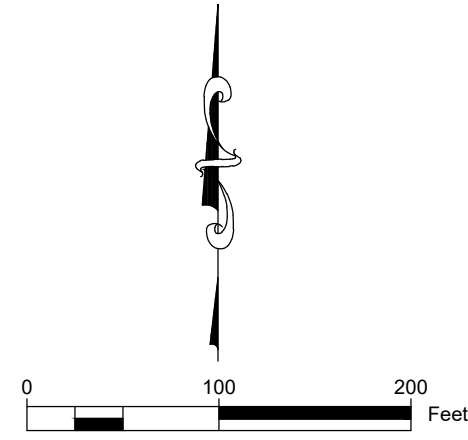
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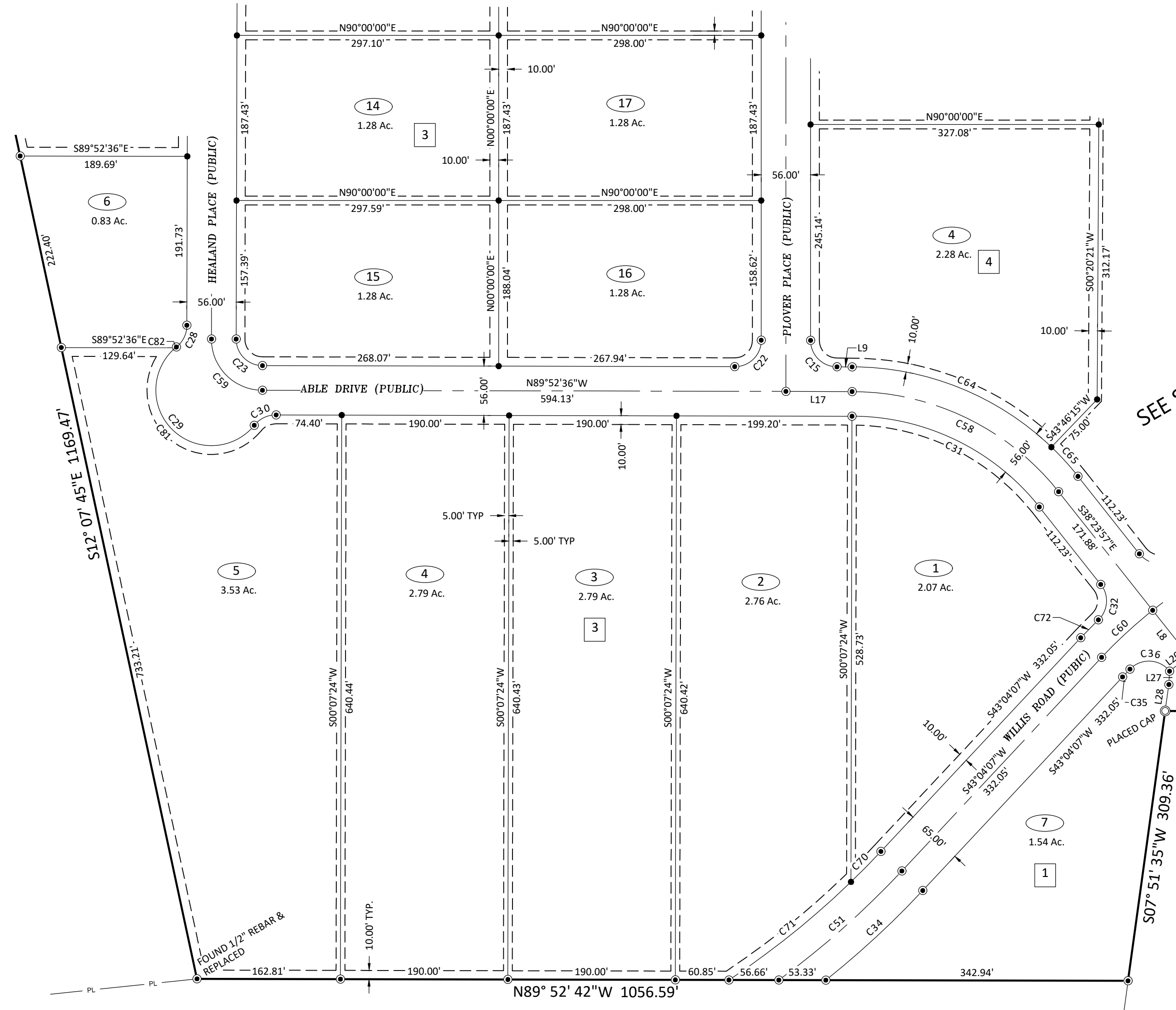
# PLAT SHOWING THUNDER RIDGE SUBDIVISION

LOCATED WITHIN THE SE 1/4  
OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 2 WEST,  
BOISE MERIDIAN, CANYON COUNTY, IDAHO  
2021



SEE SHEET 5

SEE SHEET 3



## LEGEND

- SUBDIVISION BOUNDARY
- PL — PL — ADJACENT RECORD BOUNDARY
- LOT BOUNDARY
- - - RIGHT-OF-WAY
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- - - SECTIONAL
- - - CENTERLINE
- FOUND 1/2" REBAR, AS NOTED
- FOUND 5/8" REBAR, AS NOTED
- FOUND OR SET 5/8" REBAR, AS NOTED, WITH ALUMINUM CAP
- SET 1/2" REBAR WITH PLASTIC CAP
- SET 5/8" REBAR WITH PLASTIC CAP
- PREVIOUSLY SET 5/8" REBAR WITH PLASTIC CAP
- CALCULATED POINT ONLY
- 2 LOT NUMBER
- 4 BLOCK NUMBER

## ABBREVIATIONS

- Ac. ACRES
- C.R. CORNER RECORD
- COR SEC CORNER OF SECTION NUMBER
- ESMT EASEMENT
- I.N. INSTRUMENT NUMBER, CANYON COUNTY RECORDS
- N,E,S,W NORTH, EAST, SOUTH, WEST
- POB POINT OF BEGINNING
- ROS RECORD OF SURVEY INSTRUMENT NUMBER

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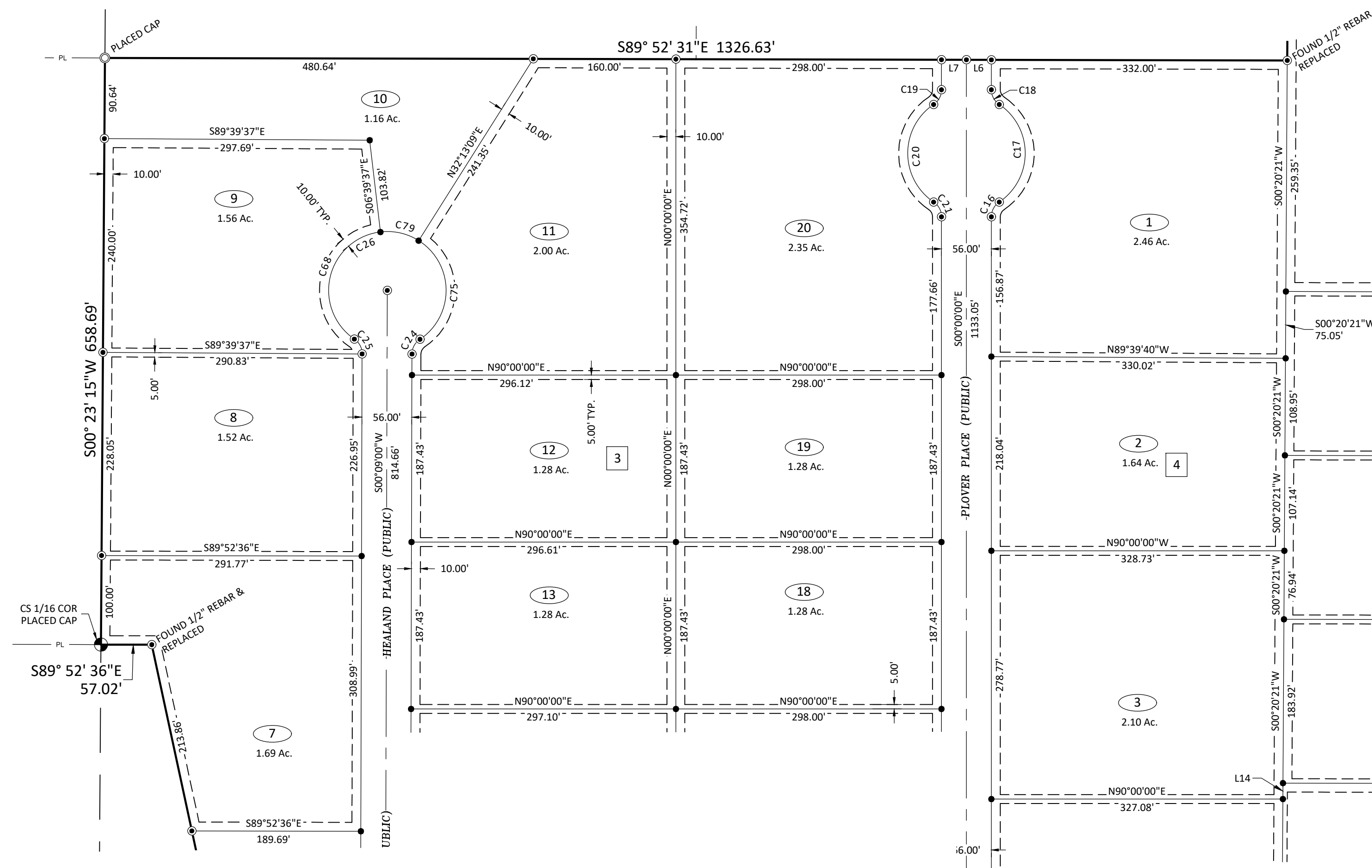
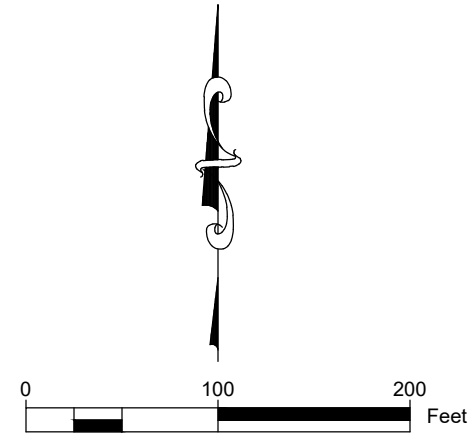


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SEE LINE AND CURVE DATA ON SHEET 6

# PLAT SHOWING THUNDER RIDGE SUBDIVISION

LOCATED WITHIN THE SE 1/4  
OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 2 WEST,  
BOISE MERIDIAN, CANYON COUNTY, IDAHO  
2021



## LEGEND

- SUBDIVISION BOUNDARY
- ADJACENT RECORD BOUNDARY
- LOT BOUNDARY
- RIGHT-OF-WAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- SECTIONAL
- CENTERLINE
- FOUND 1/2" REBAR, AS NOTED
- FOUND 5/8" REBAR, AS NOTED
- FOUND OR SET 5/8" REBAR, AS NOTED, WITH ALUMINUM CAP
- SET 1/2" REBAR WITH PLASTIC CAP
- SET 5/8" REBAR WITH PLASTIC CAP
- PREVIOUSLY SET 5/8" REBAR WITH PLASTIC CAP
- CALCULATED POINT ONLY
- LOT NUMBER
- BLOCK NUMBER

## ABBREVIATIONS

- Ac. ACRES
- C.R. CORNER RECORD
- COR SEC CORNER OF SECTION NUMBER
- ESMT EASEMENT
- I.N. INSTRUMENT NUMBER, CANYON COUNTY RECORDS
- N,E,S,W NORTH, EAST, SOUTH, WEST
- POB POINT OF BEGINNING
- ROS RECORD OF SURVEY INSTRUMENT NUMBER

SEE SHEET 2

SEE SHEET 4

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SEE LINE AND CURVE DATA ON SHEET 6

# PLAT SHOWING THUNDER RIDGE SUBDIVISION

LOCATED WITHIN THE SE 1/4  
OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 2 WEST,  
BOISE MERIDIAN, CANYON COUNTY, IDAHO  
2021

CURVE TABLE					
TAG	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C1	089°59'50"	40.00'	62.83'	N45° 07' 32"E	56.57'
C2	090°03'33"	30.00'	47.15'	S44° 50' 46"E	42.45'
C3	056°04'22"	20.00'	19.57'	S28° 13' 11"W	18.80'
C4	056°04'22"	20.00'	19.57'	N27° 51' 11"W	18.80'
C5	050°50'00"	32.00'	28.39'	N25° 36' 00"E	27.47'
C6	121°44'57"	63.00'	133.87'	S10° 56' 13"E	110.07'
C7	050°50'00"	32.00'	28.39'	S64° 42' 27"W	27.47'
C8	090°10'04"	30.00'	47.21'	N44° 47' 31"W	42.49'
C9	013°38'52"	228.00'	54.31'	S06° 31' 55"E	54.18'
C10	083°22'15"	30.00'	43.65'	N28° 19' 46"E	39.90'
C11	009°53'40"	832.50'	143.76'	S65° 04' 04"W	143.59'
C12	002°54'07"	562.50'	28.49'	S58° 40' 10"W	28.49'
C13	084°22'56"	30.00'	44.18'	S80° 35' 25"E	40.30'
C14	068°53'51"	63.00'	75.76'	N73° 44' 23"E	71.27'
C15	089°52'36"	30.00'	47.06'	S44° 56' 18"E	42.38'
C16	056°04'22"	20.00'	19.57'	S28° 02' 11"W	18.80'
C17	112°08'44"	66.00'	129.18'	N00° 00' 00"W	109.53'
C18	056°04'22"	20.00'	19.57'	S28° 02' 11"E	18.80'
C19	056°04'22"	20.00'	19.57'	N28° 02' 11"E	18.80'
C20	112°08'44"	66.00'	129.18'	S00° 00' 00"W	109.53'
C21	056°04'22"	20.00'	19.57'	N28° 02' 11"W	18.80'
C22	090°07'24"	30.00'	47.19'	N45° 03' 42"E	42.47'
C23	090°01'35"	30.00'	47.14'	S44° 51' 48"E	42.44'
C24	056°04'22"	20.00'	19.57'	S28° 11' 11"W	18.80'
C25	056°04'22"	20.00'	19.57'	N27° 53' 11"W	18.80'
C26	292°08'44"	66.00'	336.53'	N89° 51' 00"W	73.67'
C27	292°08'44"	66.00'	336.53'	N89° 49' 00"W	73.67'
C28	050°50'00"	32.00'	28.39'	N25° 33' 59"E	27.47'
C29	191°41'35"	63.00'	210.78'	S44° 51' 48"E	125.34'
C30	050°50'00"	32.00'	28.39'	S64° 42' 25"W	27.47'
C31	051°28'38"	272.00'	244.38'	N64° 08' 16"W	236.24'
C32	084°22'56"	30.00'	44.18'	N03° 47' 31"E	40.30'
C33	001°04'45"	63.00'	1.19'	S50° 28' 38"W	1.19'
C34	008°19'31"	1032.50'	150.02'	N47° 13' 52"E	149.89'
C35	001°24'20"	497.50'	12.20'	S43° 46' 17"W	12.20'
C36	097°07'36"	30.00'	50.86'	N86° 57' 45"W	44.98'
C37	097°07'36"	30.00'	50.86'	S10° 09' 51"W	44.98'
C38	001°23'35"	497.50'	12.10'	S59° 25' 26"W	12.10'
C39	191°43'33"	63.00'	210.81'	S44° 50' 46"E	125.34'
C40	098°22'42"	40.00'	68.68'	N19° 45' 05"W	60.55'

CURVE TABLE					
TAG	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C41	002°49'48"	537.57'	26.55'	N30° 51' 10"E	26.55'
C42	090°03'33"	58.00'	91.17'	S44° 50' 46"E	82.07'
C43	098°22'42"	40.00'	68.68'	N61° 52' 13"E	60.55'
C44	089°59'58"	40.00'	62.83'	N44° 52' 34"W	56.57'
C45	091°09'53"	30.00'	47.73'	S56° 40' 29"E	42.86'
C46	011°23'03"	172.00'	34.18'	S05° 24' 01"E	34.12'
C47	089°49'56"	30.00'	47.04'	S45° 12' 29"W	42.36'
C48	007°38'37"	537.57'	71.71'	N03° 56' 44"E	71.66'
C49	004°54'50"	537.57'	46.10'	N10° 13' 27"E	46.09'
C50	051°30'07"	50.00'	44.94'	S64° 09' 01"E	43.45'
C51	010°42'35"	1000.00'	186.92'	N48° 25' 24"E	186.65'
C52	002°52'05"	832.50'	41.67'	N70° 22' 29"W	41.67'
C54	015°51'59"	200.00'	55.38'	S07° 38' 29"E	55.21'
C55	050°56'20"	767.50'	682.35'	S85° 35' 24"W	660.10'
C56	015°34'21"	767.50'	208.60'	N79° 42' 13"W	207.96'
C57	037°14'39"	800.00'	520.03'	N87° 33' 46"W	510.92'
C58	051°28'38"	300.00'	269.53'	N64° 08' 16"W	260.56'
C59	090°01'35"	58.00'	91.13'	S44° 51' 48"E	82.04'
C60	008°31'56"	530.00'	78.92'	S47° 20' 05"W	78.85'
C61	008°31'11"	530.00'	78.81'	S55° 51' 38"W	78.74'
C62	033°18'59"	832.50'	484.08'	N85° 35' 56"W	477.29'
C63	013°41'41"	800.00'	191.21'	S66° 58' 04"W	190.76'
C64	043°38'50"	328.00'	249.87'	N68° 03' 10"W	243.87'
C65	007°49'48"	328.00'	44.82'	N42° 18' 51"W	44.79'
C66	011°34'40"	832.50'	168.22'	N77° 35' 51"W	167.94'
C67	014°21'05"	725.00'	181.60'	S25° 05' 31"W	181.12'
C68	139°15'46"	66.00'	160.42'	S13° 42' 30"W	123.75'
C69	002°21'16"	765.00'	31.43'	S17° 27' 53"W	31.43'
C70	002°52'08"	967.50'	48.44'	N44° 30' 11"E	48.44'
C71	010°32'40"	967.50'	178.06'	N51° 12' 35"E	177.80'
C72	002°54'52"	562.50'	28.61'	S44° 31' 33"W	28.61'
C73	018°52'14"	832.50'	274.19'	S87° 10' 42"W	272.95'
C74	014°50'32"	767.50'	198.82'	S85° 05' 20"W	198.26'
C75	114°00'12"	66.00'	131.32'	N00° 46' 45"W	110.71'
C76	017°32'51"	767.50'	235.05'	S68° 53' 39"W	234.14'
C77	018°52'14"	832.50'	274.19'	S87° 10' 42"W	272.95'
C78	015°58'49"	765.00'	213.37'	S24° 16' 39"W	212.68'
C79	038°52'46"	66.00'	44.79'	N77° 13' 14"W	43.93'
C80	013°37'34"	765.00'	181.93'	S25° 27' 17"W	181.50'
C81	190°33'19"	63.00'	209.53'	S45° 25' 56"E	125.47'

CURVE TABLE					
TAG	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C82	001°08'16"	63.00'	1.25'	S50° 24' 52"W	1.25'
C83	002°58'37"	767.50'	39.88'	N70° 25' 45"W	39.87'
C84	089°55'29"	20.00'	31.39'	S44° 45' 12"E	28.27'
C86	146°04'22"	66.00'	168.26'	S17° 08' 49"W	126.26'
C87	146°04'22"	66.00'	168.26'	N16° 46' 49"W	126.26'
C88	011°12'30"	577.57'	112.99'	S26° 39' 49"W	112.81'
C89	006°09'57"	577.57'	62.15'	S17° 58' 35"W	62.12'
C90	050°56'20"	800.00'	711.24'	S85° 35' 24"W	688.05'

LINE TABLE		
TAG	LENGTH	DIRECTION
L1	7.00'	N68° 56' 26"W
L2	7.00'	N68° 56' 26"W
L3	19.82'	S32° 16' 04"W
L4	20.00'	S89° 52' 36"E
L5	18.79'	N00° 07' 25"E
L6	28.00'	S89° 53' 13"E
L7	28.00'	S89° 51' 48"E
L8	66.11'	N38° 23' 57"W
L9	17.22'	N89° 52' 36"W
L10	34.92'	N89° 42' 29"W
L11	28.86'	S46° 25' 20"W
L12	18.79'	S89° 52' 33"E
L13	18.79'	S00° 07' 37"W
L14	17.91'	S00° 20' 21"W
L15	39.68'	S38° 23' 57"E
L17	75.10'	N89° 52' 36"W
L18	18.79'	S89° 52' 33"E
L19	56.00'	S51° 36' 03"W
L20	56.00'	S51° 36' 03"W
L21	57.02'	N89° 52' 36"W
L22	86.56'	S43° 22' 28"E
L23	100.11'	S00° 12' 33"W

LINE TABLE		
TAG	LENGTH	DIRECTION
L24	306.62'	S89° 42' 29"E
L25	78.13'	N00° 17' 31"E
L26	296.00'	S89° 42' 29"E
L27	15.09'	S02° 54' 13"W
L28	30.28'	N07° 51' 35"E
L29		UNUSED
L30	56.00'	S51° 36' 03"W

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# THUNDER RIDGE SUBDIVISION

## CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS, THAT SKYLINE HOMES AND DEVELOPMENT LLC, AN IDAHO LIMITED LIABILITY COMPANY, IS THE OWNER OF THE REAL PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND, BEING A PORTION OF THE PARCEL DESCRIBED IN WARRANTY DEED INSTRUMENT NO. 2020-013963, RECORDS OF CANYON COUNTY, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 36, MONUMENTED BY A FOUND 5/8" REBAR AS DESCRIBED IN CORNER RECORD INSTRUMENT NO. 2015-044004; THENCE ALONG THE EASTERLY BOUNDARY OF SAID SECTION 36, NORTH 00°17'26" EAST, 2,634.48 FEET TO THE EAST QUARTER CORNER, MONUMENTED BY A FOUND 5/8" REBAR AS DESCRIBED IN CORNER RECORD INSTRUMENT NO. 2018-109072; THENCE SOUTH 00°17'26" WEST, 86.66 FEET ALONG SAID EASTERLY BOUNDARY; THENCE NORTH 89°42'29" WEST, 50.00 TO THE WESTERLY RIGHT-OF-WAY OF CAN ADA ROAD, MONUMENTED BY A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464", THE POINT OF BEGINNING THENCE ALONG THE WESTERLY RIGHT-OF-WAY OF CAN ADA ROAD, BEING PARALLEL AND OFFSET 50.00 FEET WEST OF THE SAID EASTERLY BOUNDARY OF SECTION 36, SOUTH 00°17'26" WEST, 1,230.73 FEET TO THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, AND AN ANGLE POINT ON SAID WESTERLY RIGHT-OF-WAY, MONUMENTED BY A FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED "LS 7045" AND REPLACED WITH A 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464"; THENCE ALONG SAID SOUTHERLY LINE AND RIGHT-OF-WAY, SOUTH 89°52'36" EAST, 20.00 FEET TO A FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED "LS 7045" AND REPLACED WITH A 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464"; THENCE ALONG THE WESTERLY RIGHT-OF-WAY OF CAN ADA ROAD, BEING PARALLEL AND OFFSET 30.00 FEET WEST OF THE EASTERLY BOUNDARY OF SECTION 36, SOUTH 00°17'26" WEST, 517.77 FEET TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464"; THENCE ALONG THE SAID WESTERLY RIGHT-OF-WAY, SOUTH 35°57'39" WEST, 392.33 FEET TO A FOUND 5/8" REBAR WITH PLACED PLASTIC CAP "LRG PLS 12464"; THENCE NORTH 89°54'04" WEST, 989.72 FEET TO A FOUND 5/8" REBAR WITH PLACED PLASTIC CAP STAMPED "LRG PLS 12464"; THENCE SOUTH 07°51'35" WEST, 309.36 FEET TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464"; THENCE NORTH 89°52'42" WEST, 1,056.59 FEET TO A FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED "PLS 4431"; THENCE NORTH 12°07'45" WEST, 1,169.47 FEET TO THE SOUTHERLY LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 36, MONUMENTED BY A FOUND 1/2" REBAR; THENCE ALONG SAID SOUTHERLY LINE, NORTH 89°52'36" WEST, 57.02 FEET TO THE CENTER-SOUTH SIXTEENTH CORNER, MONUMENTED BY A FOUND 5/8" REBAR WITH PLACED ALUMINUM CAP STAMPED "LRG PLS 12464"; THENCE ALONG THE CENTER OF SECTION LINE, NORTH 00°23'15" EAST, 658.69 FEET TO THE NORTHERLY LINE OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 36, MONUMENTED BY A FOUND 5/8" REBAR, WITH PLACED PLASTIC CAP STAMPED "LRG PLS 12464"; THENCE ALONG SAID NORTHERLY LINE, SOUTH 89°52'31" EAST, 1,326.63 FEET TO THE WESTERLY LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, MONUMENTED BY A FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED "LS 7045"; THENCE ALONG SAID WESTERLY LINE, NORTH 00°20'21" EAST, 658.66 FEET TO THE CENTER-EAST SIXTEENTH CORNER, MONUMENTED BY A FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED "LS 7045" AND REPLACED WITH A 5/8" REBAR WITH ALUMINUM CAP STAMPED "LRG PLS 12464"; THENCE ALONG THE CENTER OF SECTION LINE, SOUTH 89°52'25" EAST, 613.54 FEET TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464"; THENCE SOUTH 43°22'28" EAST, 86.56 FEET TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464; THENCE SOUTH 00°12'33" WEST, 100.11 FEET TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464; THENCE SOUTH 89°42'29" EAST, 306.62 FEET TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464; THENCE NORTH 00°17'31" EAST, 78.13 FEET TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "LRG PLS 12464; THENCE SOUTH 89°42'29" EAST, 296.00 FEET TO THE POINT OF BEGINNING

CONTAINING 111.387 ACRES, MORE OR LESS.

IT IS THE INTENTION OF THE UNDERSIGNED TO HEREBY INCLUDE THE ABOVE DESCRIBED PROPERTY IN THIS PLAT. THE PUBLIC STREETS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE PUBLIC. THE PUBLIC UTILITY, AND DRAINAGE EASEMENTS ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, BUT THE RIGHT OF ACCESS TO, AND USE OF, THESE EASEMENTS IS HEREBY RESERVED FOR PUBLIC UTILITIES, DRAINAGE AND FOR ANY OTHER USES AS MAY BE DESIGNATED HEREON AND NO PERMANENT STRUCTURES OTHER THAN FOR SAID USES ARE TO BE ERRECTED WITHIN THE LIMITS OF SAID EASEMENTS.

IN COMPLIANCE WITH THE REQUIREMENTS OF IDAHO CODE 50-1334, INDIVIDUAL LOTS DESCRIBED IN THE PLAT WILL NOT BE SERVED BY ANY WATER SYSTEM COMMON TO ONE (1) OR MORE OF THE LOTS, BUT WILL BE SERVED BY INDIVIDUAL WELLS.

By: \_\_\_\_\_  
DALE NEWBERRY, MEMBER  
For: Skyline Homes And Development LLC

## ACKNOWLEDGEMENT

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021 BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND OF SAID STATE, PERSONALLY APPEARED DALE NEWBERRY, KNOWN OR IDENTIFIED TO ME TO BE A MEMBER OF SKYLINE HOMES AND DEVELOPMENT LLC, THE PERSON WHO EXECUTED THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT SKYLINE HOMES AND DEVELOPMENT LLC, EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL, THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

\_\_\_\_\_  
NOTARY PUBLIC  
RESIDING AT \_\_\_\_\_  
COMMISSION EXPIRES \_\_\_\_\_

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# THUNDER RIDGE SUBDIVISION

## CERTIFICATION AND APPROVAL OF CANYON HIGHWAY DISTRICT NO. 4

CANYON HIGHWAY DISTRICT NO. 4 DOES HEREBY ACCEPT THIS PLAT, AND THE DEDICATED PUBLIC STREETS, HIGHWAYS, AND RIGHTS-OF-WAY AS ARE DEPICTED ON THIS PLAT, IN ACCORDANCE WITH THE PROVISIONS OF IDAHO CODE 50.1212. PRIVATE STREETS DEPICTED ON THIS PLAT ARE NOT MAINTAINED BY OR UNDER THE JURISDICTION OF THE HIGHWAY DISTRICT. THERE IS NO LEGAL OBLIGATION OR ASSURANCES THAT THE PRIVATE STREETS WILL BE ACCEPTED AS PUBLIC STREETS IN THE FUTURE.

CANYON HIGHWAY DISTRICT NO. 4

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
DATE

## CERTIFICATION AND APPROVAL OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR IN AND FOR CANYON COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND THAT IT COMPLIES WITH THE REQUIREMENTS OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

\_\_\_\_\_  
COUNTY SURVEYOR

\_\_\_\_\_  
DATE

## HEALTH CERTIFICATE

"SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 ARE IN FORCE. NO OWNER SHALL CONSTRUCT ANY BUILDING, DWELLING OR SHELTER WHICH NECESSITATES THE SUPPLYING OF WATER OR SEWAGE FACILITIES FOR PERSONS USING SUCH PREMISES UNTIL SANITARY RESTRICTION REQUIREMENTS ARE SATISFIED."

\_\_\_\_\_  
HEALTH DISTRICT SIGNATURE

\_\_\_\_\_  
DATE

## APPROVAL OF COUNTY COMMISSIONERS

THIS PLAT WAS APPROVED DURING A REGULAR MEETING OF THE CANYON COUNTY COMMISSIONERS DATED \_\_\_\_\_.

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
ATTEST: CANYON COUNTY, CLERK

\_\_\_\_\_  
DATE

## CERTIFICATE OF COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR CANYON COUNTY, IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

\_\_\_\_\_  
COUNTY TREASURER

\_\_\_\_\_  
DATE

## CERTIFICATE OF SURVEYOR

THIS IS TO CERTIFY THAT I, AARON P. RUSH, A PROFESSIONAL LAND SURVEYOR, SUPERVISED THE SURVEY OF LAND AS DESCRIBED IN THE CERTIFICATE OF OWNERS AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY, DESIGNATED HEREIN AS "THUNDER RIDGE SUBDIVISION", AND THAT IT WAS COMPLETED IN ACCORDANCE WITH THE CURRENT LAWS OF THE STATE OF IDAHO RELATING TO PLATS AND SURVEYS AND WITH THE CORNER PERPETUATION AND FILING LAW.

REVIEW COPY  
11-23-2021

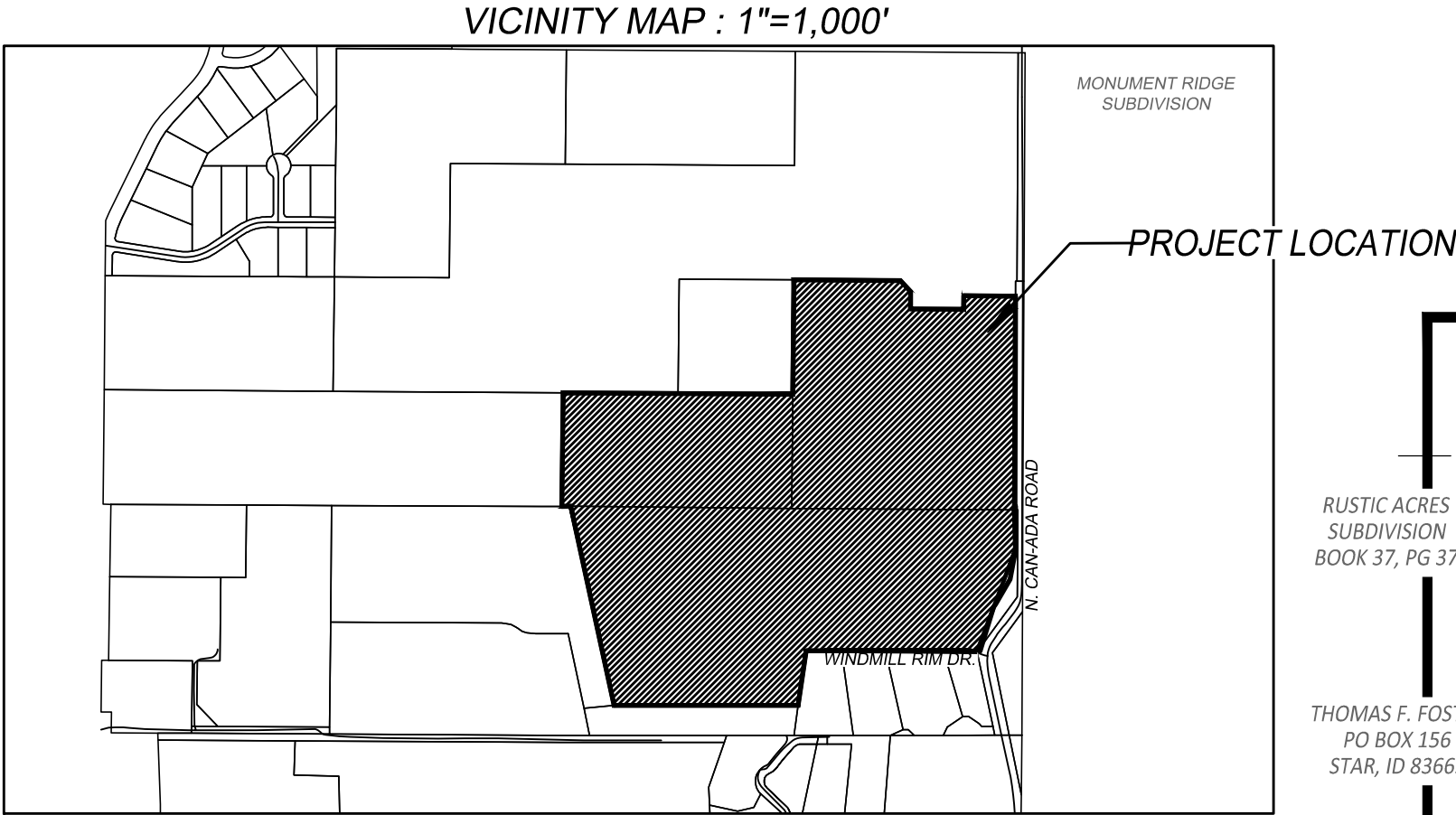


2308 N. COLE RD. | SUITE G | BOISE, IDAHO 83704  
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# THUNDER RIDGE SUBDIVISION ROUGH GRADING & EROSION CONTROL PLAN

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 36,  
TOWNSHIP 5 NORTH, RANGE 2 WEST, BOISE MERIDIAN,  
CANYON COUNTY, IDAHO



- ### ROUGH GRADING NOTES
- ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF THE RESUBDIVISION.
  - THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
  - ALL FRONT LOT LINES COMMON TO STREET RIGHTS-OF-WAY SHALL CONTAIN A TEN (10') FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, STREET LIGHTS, PRESSURIZED IRRIGATION AND LOT DRAINAGE.
  - ALL REAR LOT LINES SHALL CONTAIN A TEN (10') FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, DRAIN MAINTENANCE, PRESSURIZED IRRIGATION AND LOT DRAINAGE.
  - ALL INTERIOR LOT LINES SHALL CONTAIN A FIVE (5') FOOT WIDE EASEMENT, EACH SIDE, FOR PUBLIC UTILITIES, PRESSURIZED IRRIGATION AND LOT DRAINAGE.
  - ALL STREETS SHOWN HEREON ARE TO BE DEDICATED TO THE USE OF THE PUBLIC.
  - LOT IRRIGATION SHALL BE TAKEN FROM INDIVIDUAL WELLS, UP TO 1/2 ACRE OF LAND MAY BE IRRIGATED FROM A DOMESTIC WELL, THERE ARE NO IRRIGATION WATER RIGHTS WITHIN THE THUNDER RIDGE SUBDIVISION.
  - ALL LOTS SHALL HAVE INDIVIDUAL SEWER SEPTIC SYSTEMS IN ACCORDANCE WITH SOUTHWEST DISTRICT HEALTH DEPARTMENT.
  - LOT 4, BLOCK 4 WILL BE A BUILDABLE LOT WHICH WILL BE GIVEN TO THE ADJACENT PROPERTY DUE TO ENCROACHMENT.
  - STORM DRAINAGE FROM THE ROADWAYS AND LOTS SHALL BE COLLECTED IN ROADSIDE SWALES THAT MEET THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY AND CANYON HIGHWAY DISTRICT NO. 4 REQUIREMENTS. THE STORM DETENTION FACILITIES WILL BE DETERMINED DURING FINAL DESIGN. THE HOMEOWNER'S ASSOCIATION, UNDERLYING PROPERTY OWNER OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR ALL STORM DRAINAGE FACILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, INCLUDING ALL ROUTINE AND HEAVY MAINTENANCE.
  - NO DIRECT LOT ACCESS TO CANADA ROAD IS ALLOWED, EXCEPT DIRECTLY ADJACENT TO STORMWATER RETENTION AREA NORTHERLY OF LOTS 18 AND 19.
  - COMMON LOTS ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

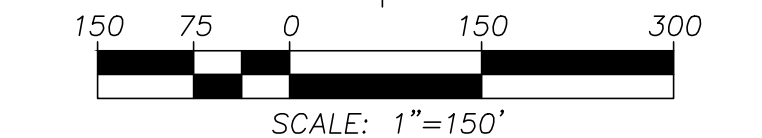
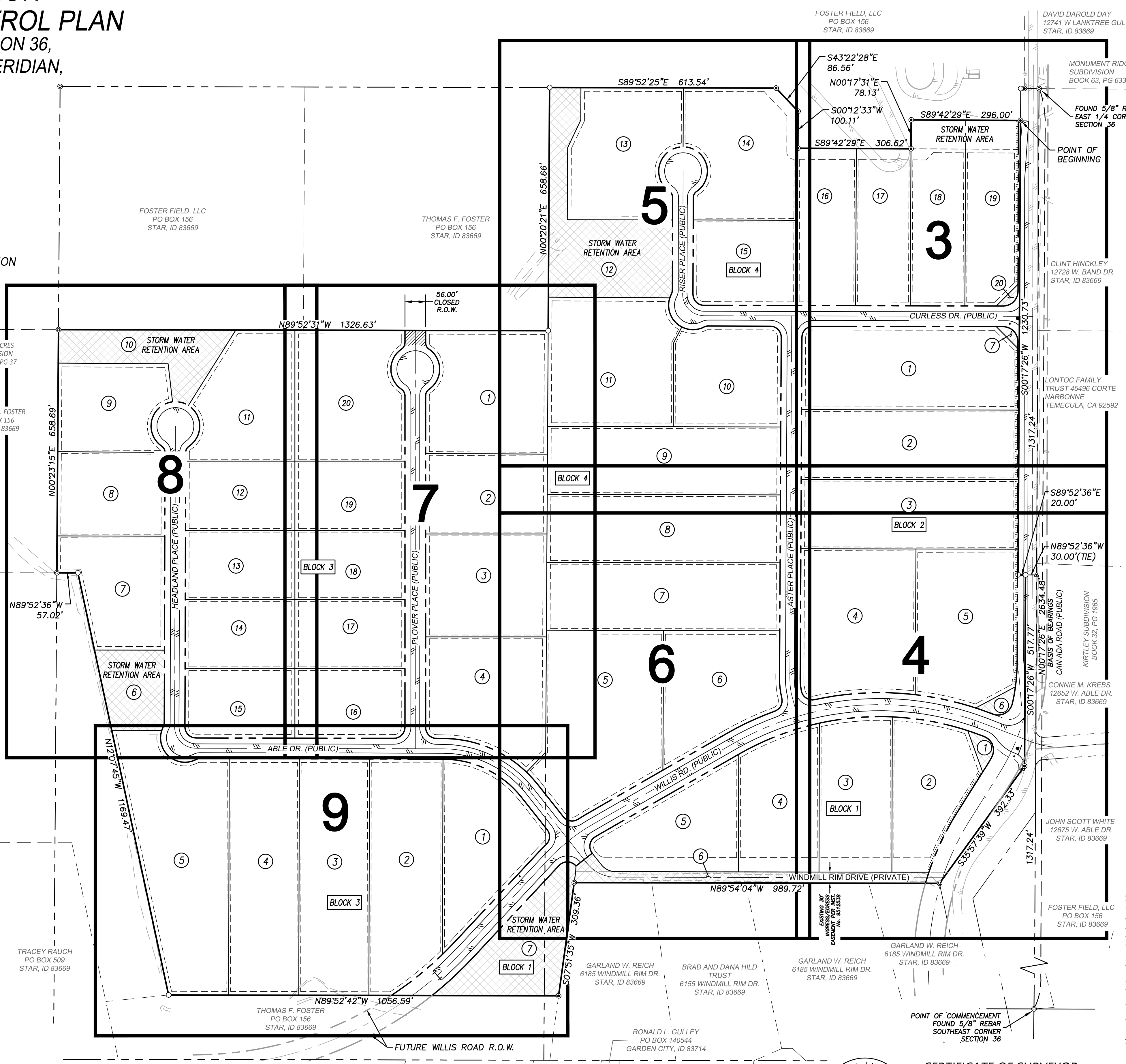
### EARTHWORK QUANTITIES

RAW CUT	= 365,196 CUBIC YARDS
RAW FILL	= 371,735 CUBIC YARDS
RAW NET	= 6,539 CUBIC YARDS (FILL)

### UTILITIES

WATER:	INDIVIDUAL WELLS
SEWER:	INDIVIDUAL SEPTIC SYSTEMS
POWER:	IDAHO POWER COMPANY
NATURAL GAS:	INTERMOUNTAIN GAS COMPANY
TELEPHONE:	CENTURY LINK
CABLE:	CABLE ONE
IRRIGATION:	SUPPLIED BY INDIVIDUAL WELL (UP TO 1/2 ACRE)

APN's  
376-290-000, 376-290-120, 376-290-130



- ### LEGEND
- SECTION LINE
  - BOUNDARY LINE
  - OFFSITE BOUNDARY LINE
  - PROPOSED EASEMENT
  - CENTERLINE
  - PROPOSED LOT LINE
  - PROPOSED RIGHT-OF-WAY LINE
  - NO ACCESS (CANADA ROAD)
  - COMMON LOT AREA
  - PROPOSED CLOSED RIGHT-OF-WAY
  - FOUND 1/2 INCH REBAR
  - FOUND 5/8 INCH REBAR
  - ALUMINUM CAP
  - CALCULATED POINT
  - SET 5/8-INCH REBAR
  - EXISTING FEATURES
  - CONTOUR LINE
  - OVERHEAD POWER LINE
  - EXISTING FENCE
  - EDGE OF PAVEMENT
  - EDGE OF GRAVEL
  - EASEMENT
  - STORMDRAIN
  - PROPOSED IMPROVEMENTS
  - STORM DRAIN LINE
  - DRAINAGE DIRECTION
  - EDGE OF PAVEMENT
  - EDGE OF GRAVEL
  - EDGE OF CONCRETE

### ABBREVIATIONS

BC	- BEGIN CURVE	PIP	- PROTECT IN PLACE
BVC	- BEGIN VERTICAL CURVE	PCC	- POINT OF COMPOUND CURVE
CD	- END CURVE	PRC	- POINT OF REVERSE CURVE
EVC	- END VERTICAL CURVE	PT	- POINT
EG	- EXISTING GROUND	R/W	- RIGHT-OF-WAY
EOH	- ELECTRIC OVERHEAD	R.O.W.	- RIGHT-OF-WAY
EP	- EDGE OF PAVEMENT	RA	- RADIUS
EXST.	- EXISTING	RL	- RIDGE LINE
FG	- FINISH GRADE	TB	- TOP OF BERM
FL	- FLOW LINE		
FS	- FINISH SURFACE		
GB	- GRADE BREAK		
HP	- HIGH POINT		
LP	- LOW POINT		
MIN.	- MINIMUM		
MOC	- MIDDLE OF CURVE		

### INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE
1	TITLE
2	TYPICAL SECTIONS AND DETAILS
3-9	ROUGH GRADING PLAN
10	EROSION CONTROL PLAN

### BASIS OF BEARING

THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 2 WEST, B.M. THE SOUTHEAST CORNER OF SAID SECTION 36 (A FOUND 5/8-INCH REBAR) BEARS S001°28'E A DISTANCE OF 2,634.48 FEET FROM THE EAST 1/4 CORNER OF SAID SECTION 36 (A FOUND 5/8-INCH REBAR).

### BENCHMARK

THE PROJECT BENCHMARKS ARE SITE CONTROL POINTS 201 AND 202, BOTH 1/2" REBAR, BASED ON NOTE 1 OF THE SURVEY CONTROL NOTES. SEE BELOW FOR ELEVATION AND LOCATION (GROUND).

### SURVEY CONTROL NOTES

- ALL SURVEY DATA IS BASED ON THE NAD83 STATE PLANE COORDINATE SYSTEM (IDAHO WEST 1103) WITH A GRADEABLE SCALE FACTOR OF 1.0001426135 APPLIED ABOUT THE ORIGIN (0,0) AND VERTICAL (NAVD88) DATUM.

### DEVELOPER / OWNER

SKYLINE HOMES & DEVELOPMENT  
3516 BLACK BUTTE COURT  
NAMPA, ID 83687  
PHONE: 208.440.6751  
EMAIL: hnhconstructioncorp@gmail.com  
CONTACT: JOHN ODOM

### ENGINEER

BLUE PEAK ENGINEERING  
3313 W CHERRY LANE, #507  
MERIDIAN, ID 83642  
PHONE: (208) 918-0928  
CONTACT: THOMAS HAWKSWORTH, P.E.  
EMAIL: thomash@bluepeakeng.com

FOSTER FIELD, LLC  
PO BOX 156  
STAR, ID 83669

DAVID DAROLD DAY  
12741 W LANKTREE GULCH ROAD  
STAR, ID 83669

MONUMENT RIDGE  
SUBDIVISION  
BOOK 63, PG 6335

FOUND 5/8" REBAR  
EAST 1/4 CORNER  
SECTION 36

CLINT HINCKLEY  
12728 W BAND DR  
STAR, ID 83669

LONTOC FAMILY  
TRUST 45496 CORTE  
NARBONNE  
TEMECULA, CA 92592

WRETTLEY SUBDIVISION  
BOOK 42, PG 1865

CONNIE M. KREBS  
12652 W ABLE DR.  
STAR, ID 83669

JOHN SCOTT WHITE  
12675 W ABLE DR.  
STAR, ID 83669

FOSTER FIELD, LLC  
PO BOX 156  
STAR, ID 83669

GARLAND W. REICH  
6185 WINDMILL RIM DR.  
STAR, ID 83669

BRAD AND DANA HILD  
TRUST  
6155 WINDMILL RIM DR.  
STAR, ID 83669

GARLAND W. REICH  
6185 WINDMILL RIM DR.  
STAR, ID 83669

RONALD L. GULLEY  
PO BOX 140544  
GARDEN CITY, ID 83714

JAMES F. SCHOHR LIVING  
TRUST  
23969 CAMADRIE LN  
STAR, ID 83669

JAMES MATTHEW  
SHAWNEE LIVING  
TRUST  
23986 CAMADRIE LN  
STAR, ID 83669

ROBERT C AND  
SHAWNEE LIVING  
TRUST  
23986 CAMADRIE LN  
STAR, ID 83669

CRAIG L. JOHNSON  
23986 CAMADRIE LN  
STAR, ID 83669

WENDY J. MC GOWAN  
6745 WILLIS RD  
STAR, ID 83669



### CERTIFICATE OF SURVEYOR

I, AARON P. RUSH, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS MAP HAS BEEN PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, AND THAT THIS MAP IS AN ACCURATE REPRESENTATION OF SAID SURVEY.

SURVEYOR  
LR GEO  
2308 N. COLE ROAD, SUITE G  
BOISE, ID 83704  
PHONE: (208) 869-2805  
CONTACT: AARON RUSH, P.L.S.  
EMAIL: aaron@lr-geo.com



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www.lr-geo.com



### DRAWING ISSUE RECORD

DATE	DESCRIPTION

### REVISION RECORD

NO.	DATE	DESCRIPTION

# THUNDER RIDGE SUBDIVISION CANYON COUNTY, IDAHO

PRELIMINARY - NOT FOR CONSTRUCTION



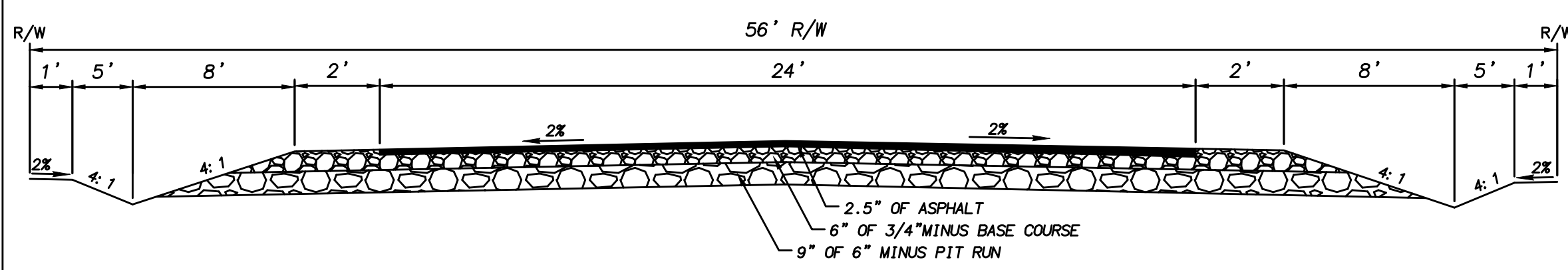
SHEET TITLE

TITLE

SHEET NUMBER

1 of 10

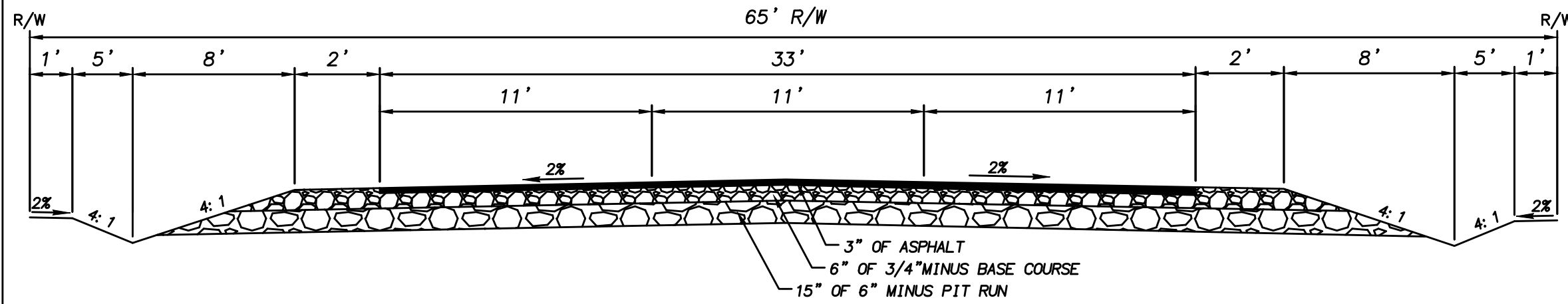
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- NOTES:
- PLANT MIX PAVEMENT SHALL BE SP-2 OR BETTER, OR HYEM CLASS III, WITH A NOMINAL MAXIMUM AGGREGATE SIZE OF  $\frac{3}{4}$ ". PG 64-28(PERFORMANCE GRADED ASPHALT BINDER) SHALL BE USED. A MINIMUM OF 0.5% ANTI-STRIPPING ADDITIVE IS REQUIRED.
  - ROAD STRUCTURE SECTION MAY VARY FOR POOR SOIL CONDITIONS. CHANGES TO THESE SECTION REQUIREMENTS WILL BE BASED ON A GEOTECHNICAL REPORT PREPARED BY A REGISTERED PROFESSIONAL ENGINEER.

TYPICAL LOCAL ROAD SECTION PER STANDARD DRAWING NO. ACCHD-101

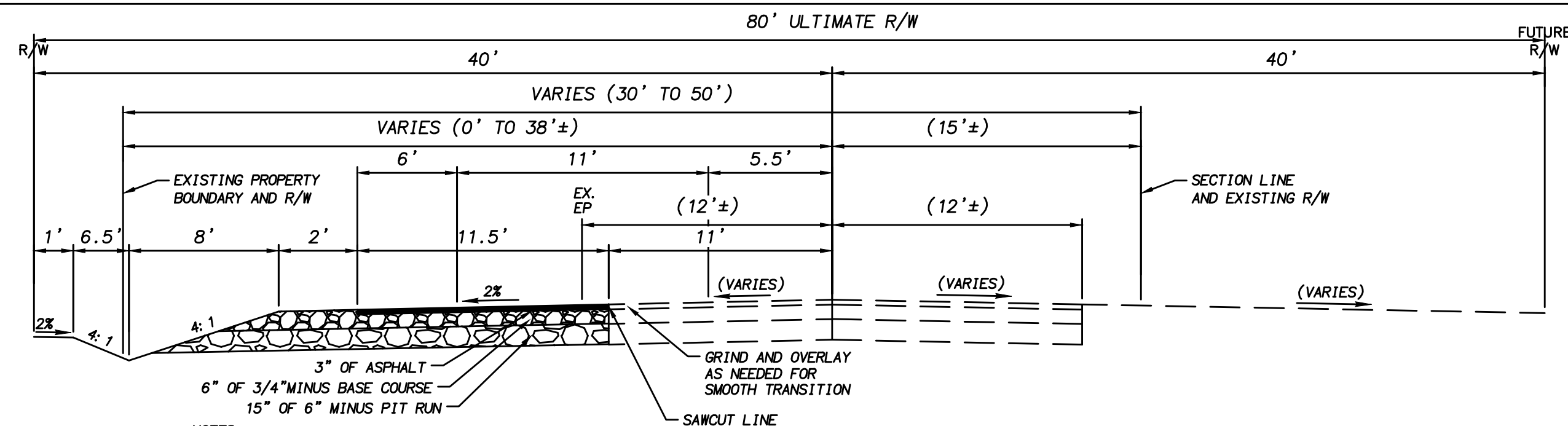
NTS T1=6



- NOTES:
- PLANT MIX PAVEMENT SHALL BE SP-2 OR BETTER, OR HYEM CLASS III, WITH A NOMINAL MAXIMUM AGGREGATE SIZE OF  $\frac{3}{4}$ ". PG 64-28(PERFORMANCE GRADED ASPHALT BINDER) SHALL BE USED. A MINIMUM OF 0.5% ANTI-STRIPPING ADDITIVE IS REQUIRED.
  - ROAD STRUCTURE SECTION MAY VARY FOR POOR SOIL CONDITIONS. CHANGES TO THESE SECTION REQUIREMENTS WILL BE BASED ON A GEOTECHNICAL REPORT PREPARED BY A REGISTERED PROFESSIONAL ENGINEER.

WILLIS ROAD - 3 LANE COLLECTOR ROAD SECTION PER MODIFIED STANDARD DRAWING NO. ACCHD-101A

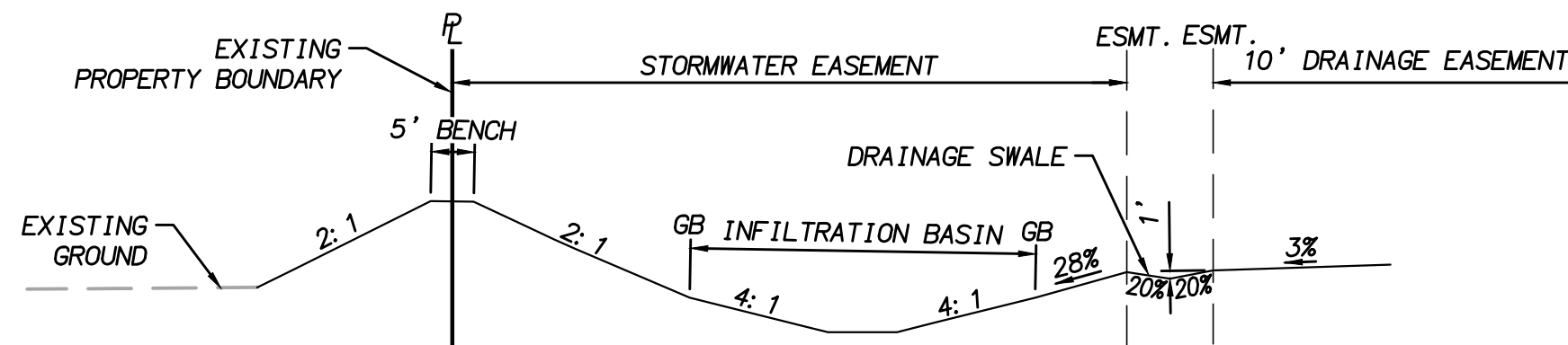
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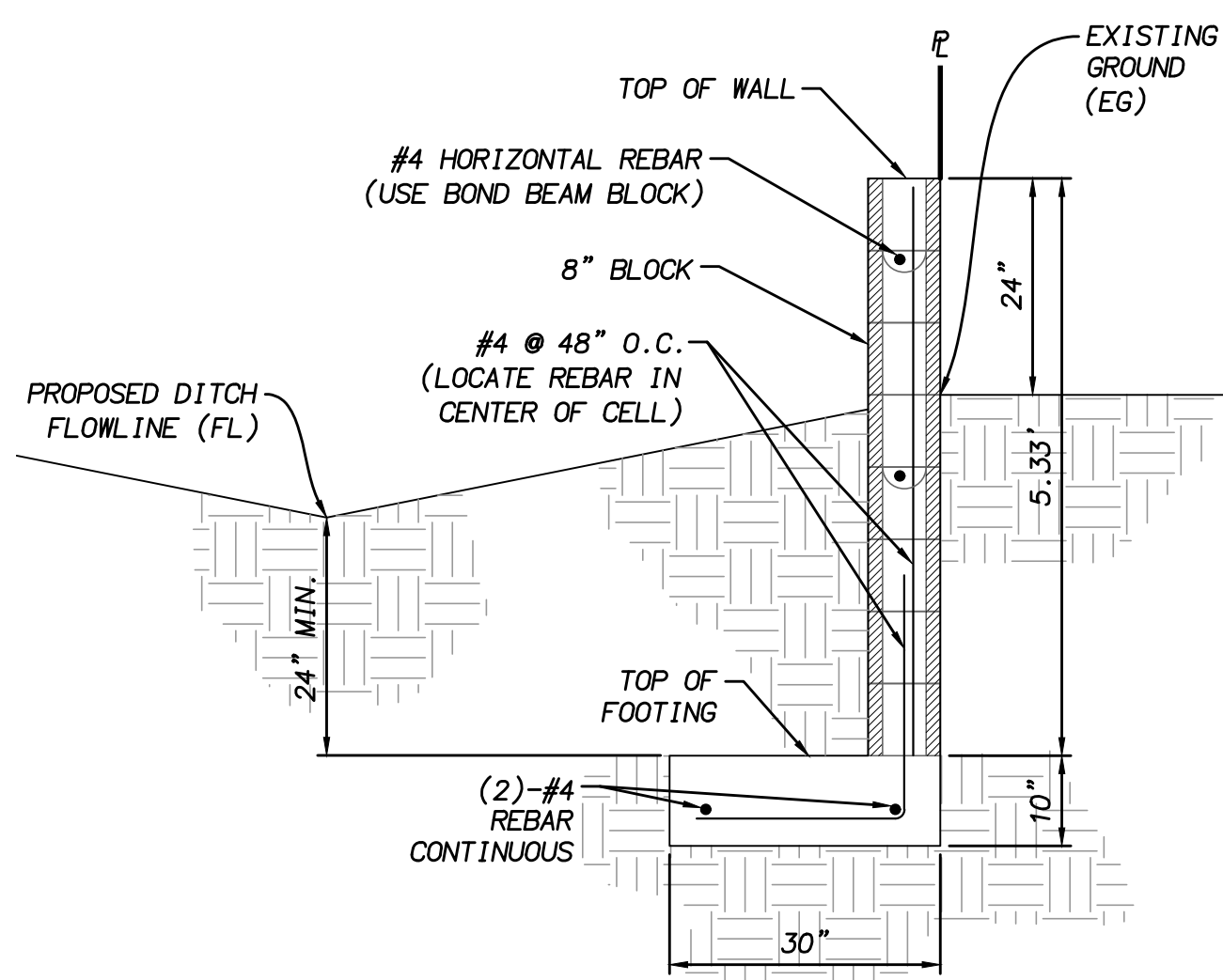
- NOTES:
- PLANT MIX PAVEMENT SHALL BE SP-2 OR BETTER, OR HYEM CLASS III, WITH A NOMINAL MAXIMUM AGGREGATE SIZE OF  $\frac{3}{4}$ ". PG 64-28(PERFORMANCE GRADED ASPHALT BINDER) SHALL BE USED. A MINIMUM OF 0.5% ANTI-STRIPPING ADDITIVE IS REQUIRED.
  - ROAD STRUCTURE SECTION MAY VARY FOR POOR SOIL CONDITIONS. CHANGES TO THESE SECTION REQUIREMENTS WILL BE BASED ON A GEOTECHNICAL REPORT PREPARED BY A REGISTERED PROFESSIONAL ENGINEER.

CAN-ADA - 3 LANE COLLECTOR ROAD SECTION PER MODIFIED STANDARD DRAWING NO. ACCHD-102A

NTS T1=8

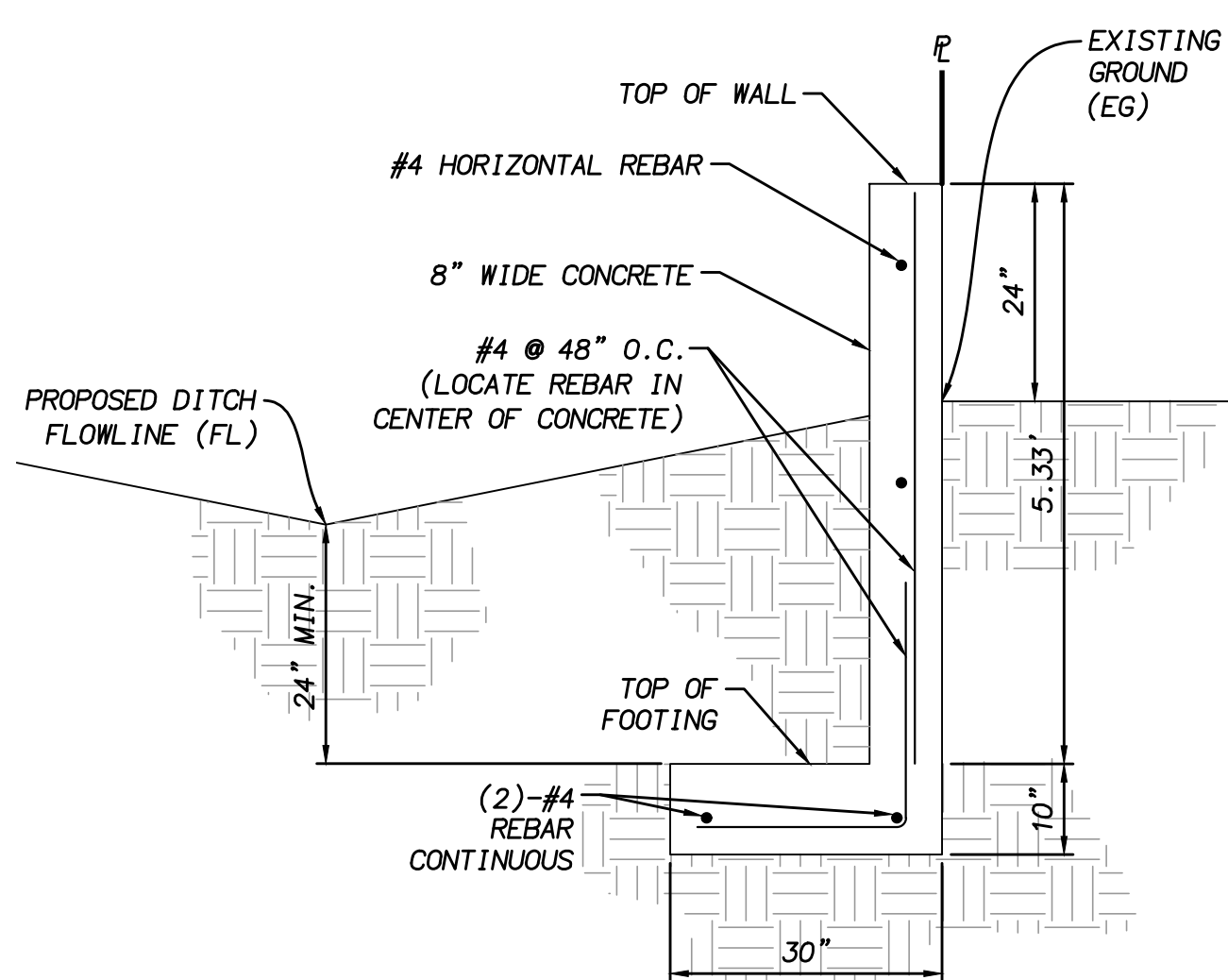


SECTION A-A  
NTS



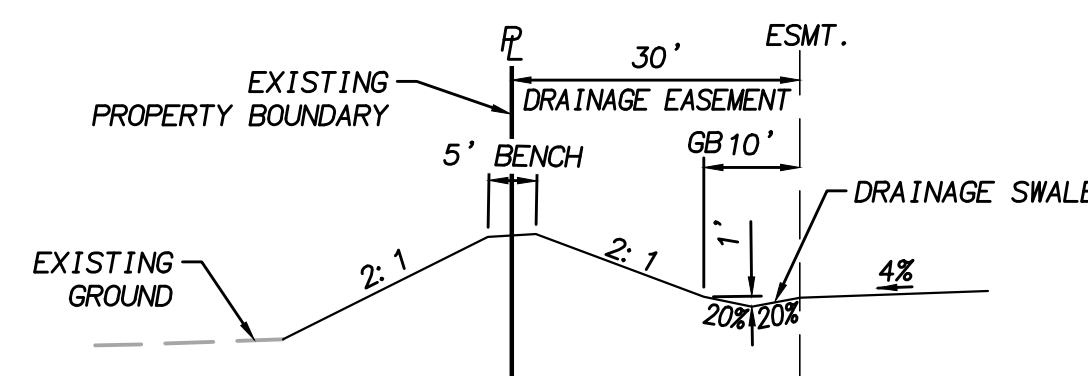
- NOTE:
- ALL REBAR TO BE ASTM SPEC. A615, GRADE 40 MINIMUM.
  - ALL REBAR LAP SPLICES TO BE 24" MINIMUM.
  - ALL MASONRY UNITS TO BE ASTM C-90 GRADE N.
  - REBAR TO BE CENTERED IN MASONRY CELLS.

CMU SPLASH WALL  
NTS

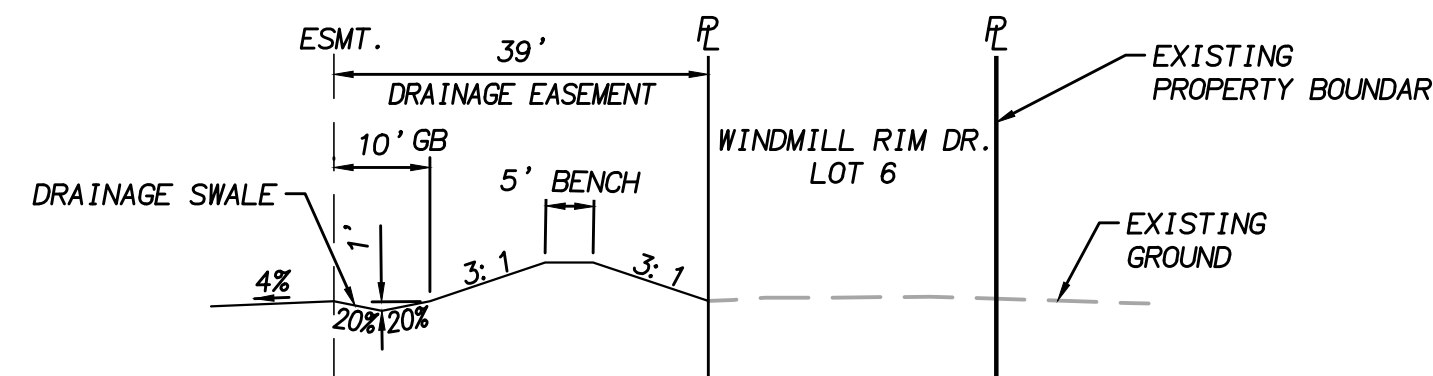


- NOTE:
- ALL REBAR TO BE ASTM SPEC. A615, GRADE 40 MINIMUM.
  - ALL REBAR LAP SPLICES TO BE 24" MINIMUM.
  - REBAR TO BE CENTERED IN CONCRETE.

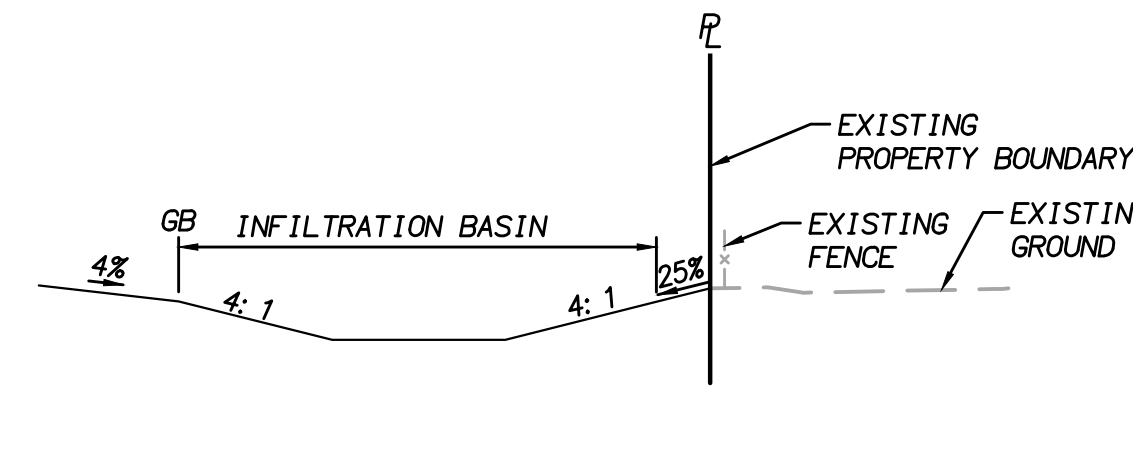
CONCRETE SPLASH WALL  
NTS



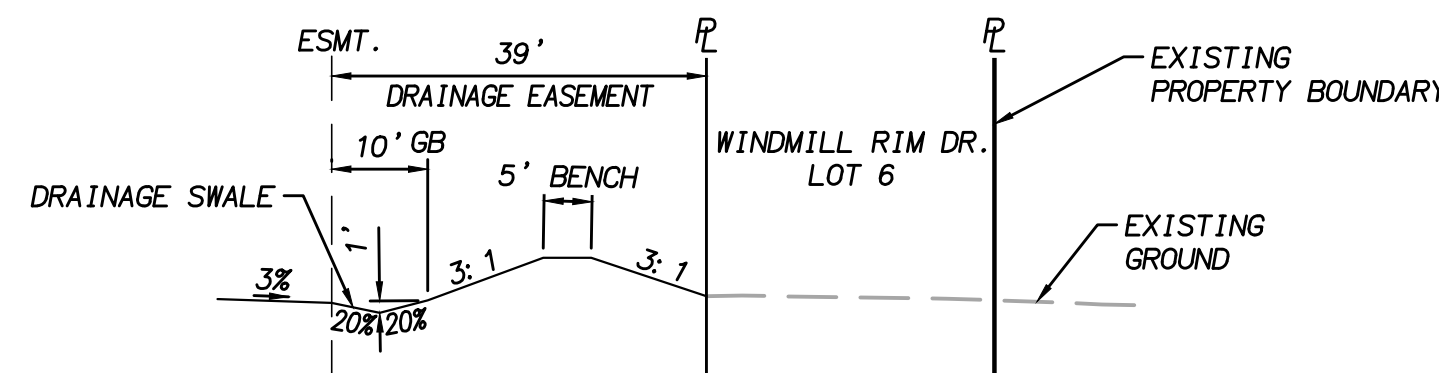
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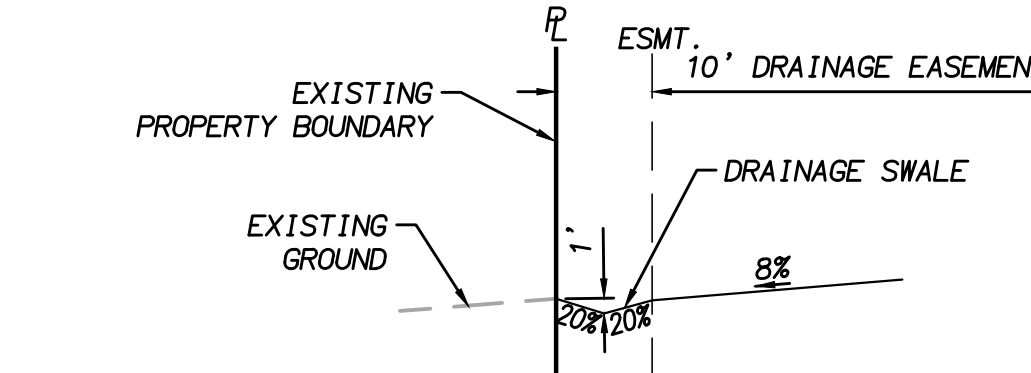
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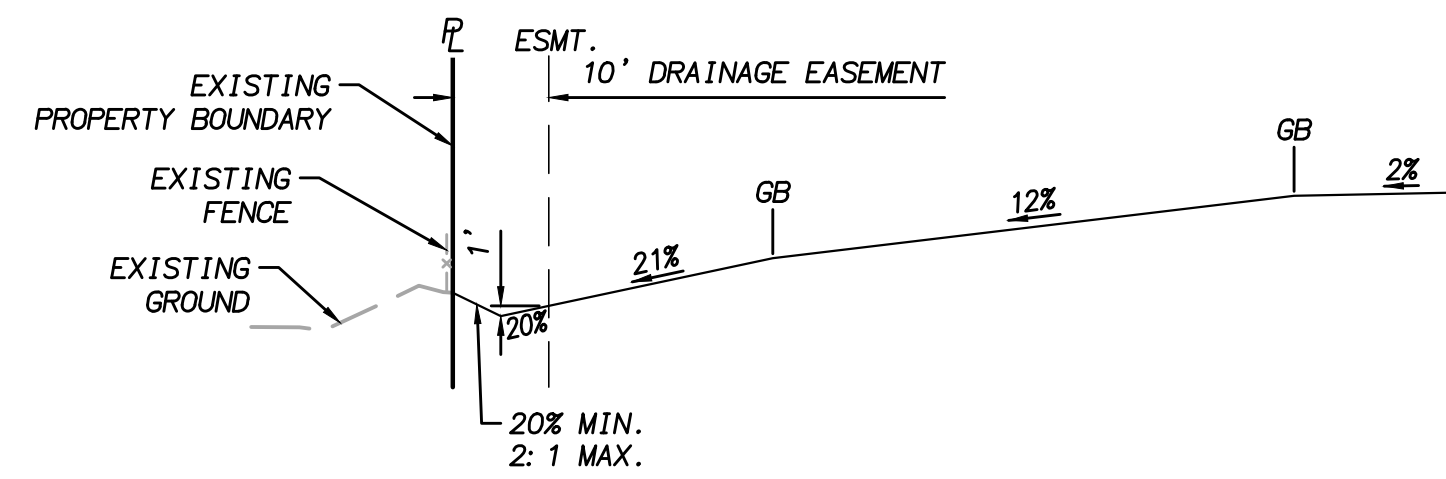
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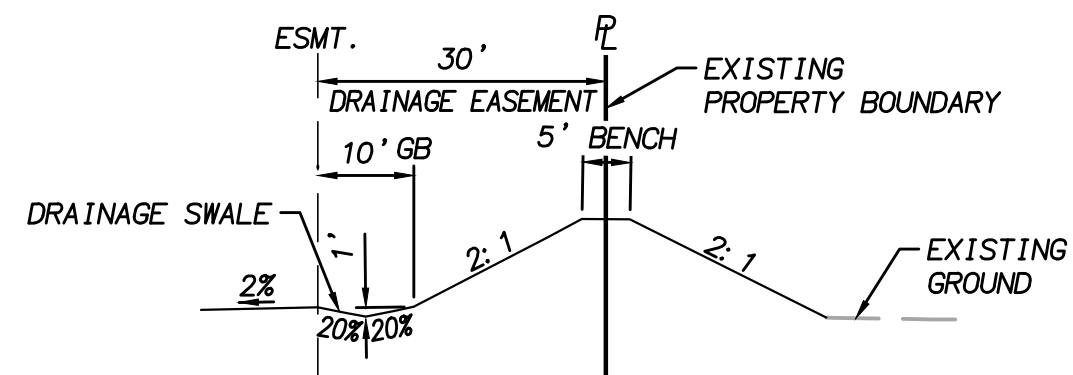
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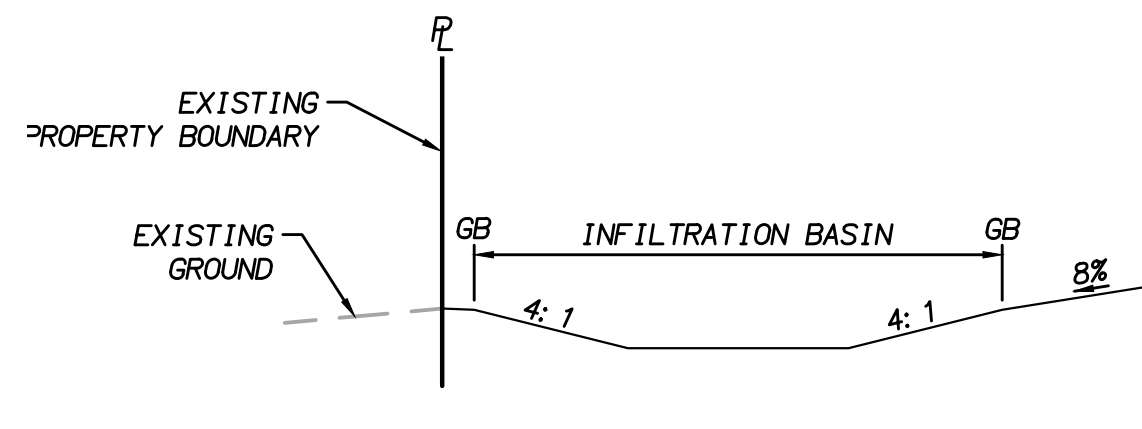
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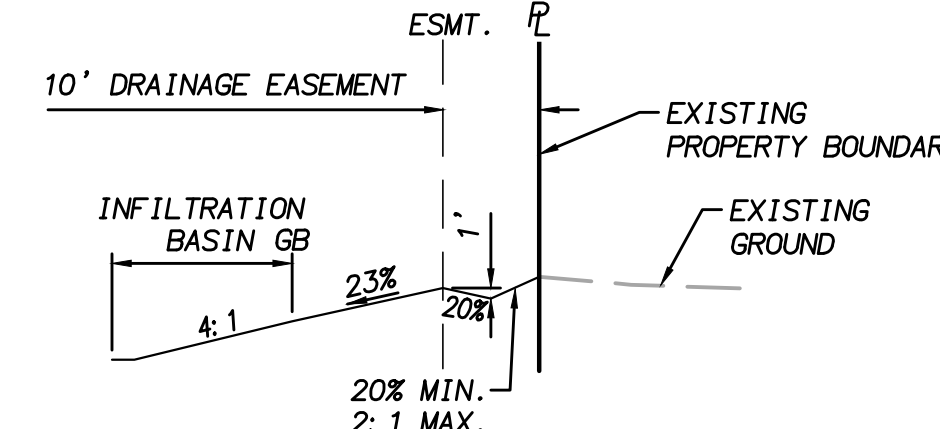
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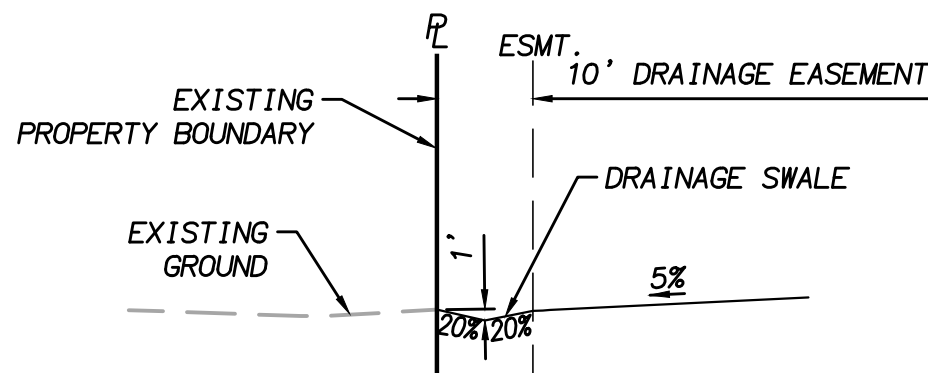
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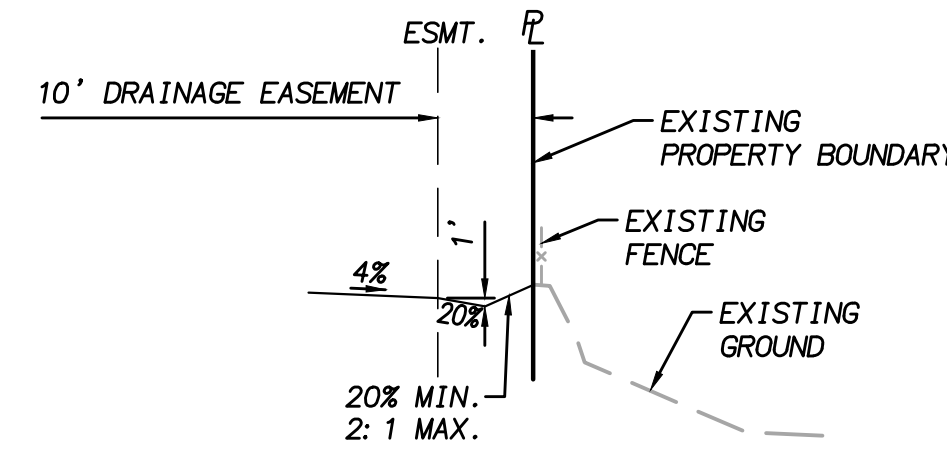
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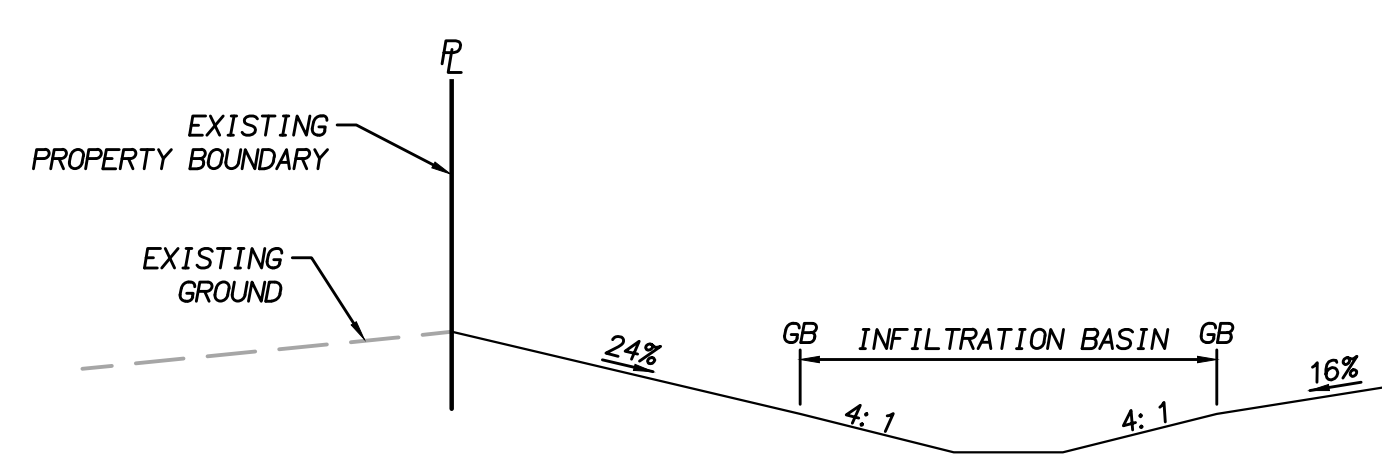
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SECTION E-E  
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SECTION I-I  
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SECTION M-M  
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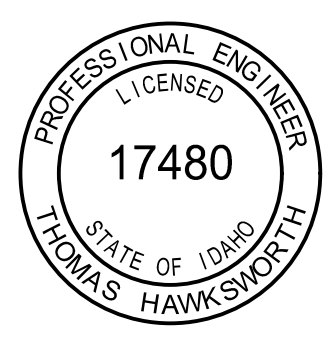
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NO.	DATE	DESCRIPTION

PROJECT NAME

**THUNDER RIDGE SUBDIVISION**  
CANYON COUNTY, IDAHO  
**PRELIMINARY - NOT FOR CONSTRUCTION**

PROFESSIONAL SEAL



SHEET TITLE  
**TYPICAL SECTIONS AND DETAILS**

SHEET NUMBER

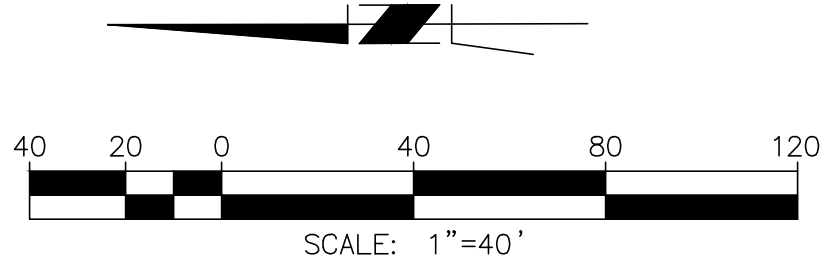
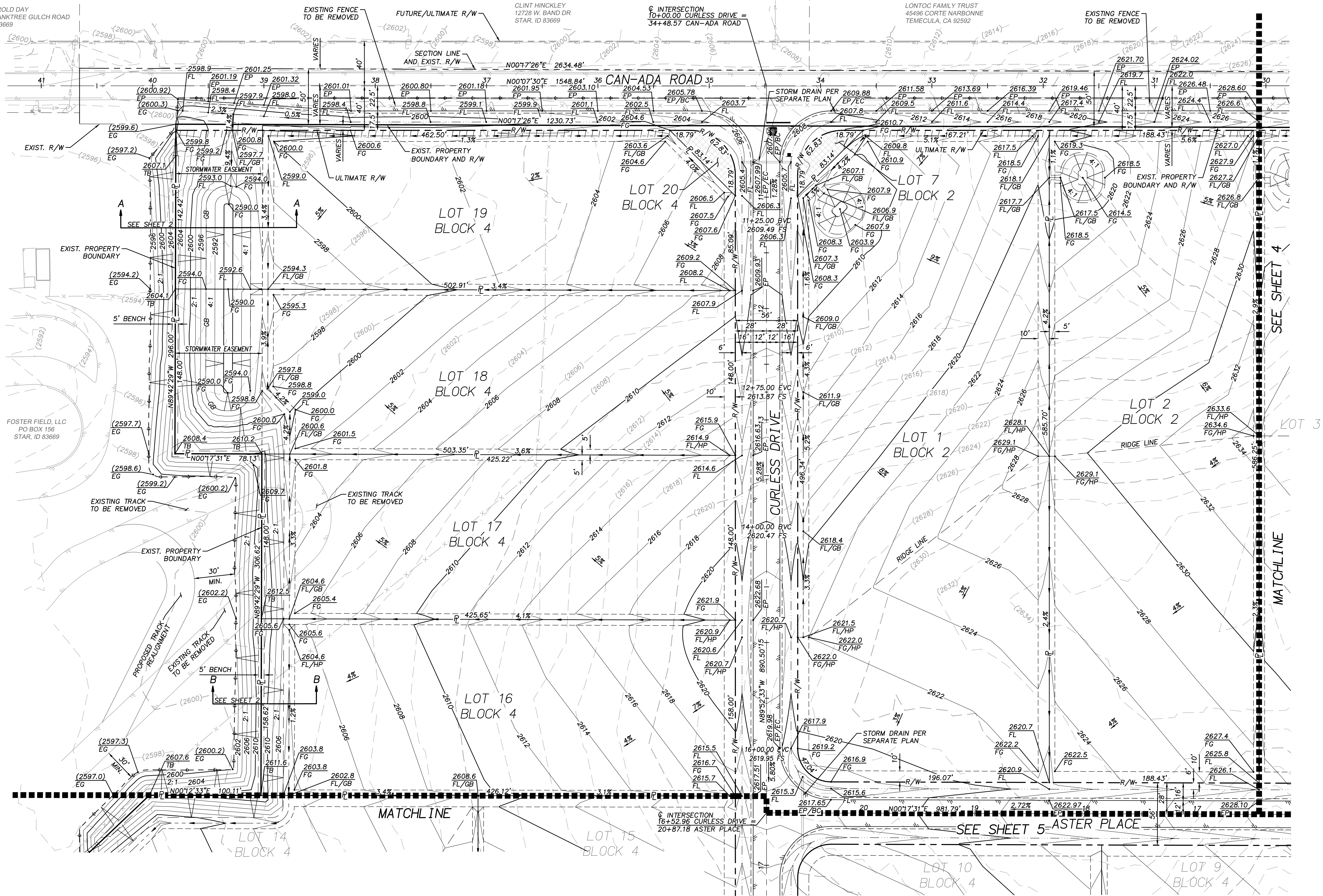
**2 of 10**

DATE: 6/7/2021

DAVID DAROLD DAY  
12741 W LANKTREE GULCH ROAD  
STAR, ID 83669

CLINT HINCKLEY  
12728 W. BAND DR  
STAR, ID 83669

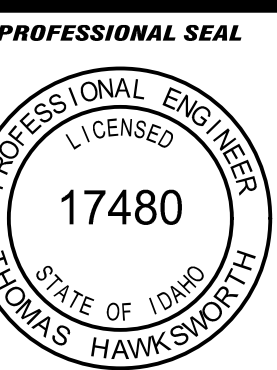
LONTOC FAMILY TRUST  
45496 CORTE NARBONNE  
TEMECULA, CA 92592



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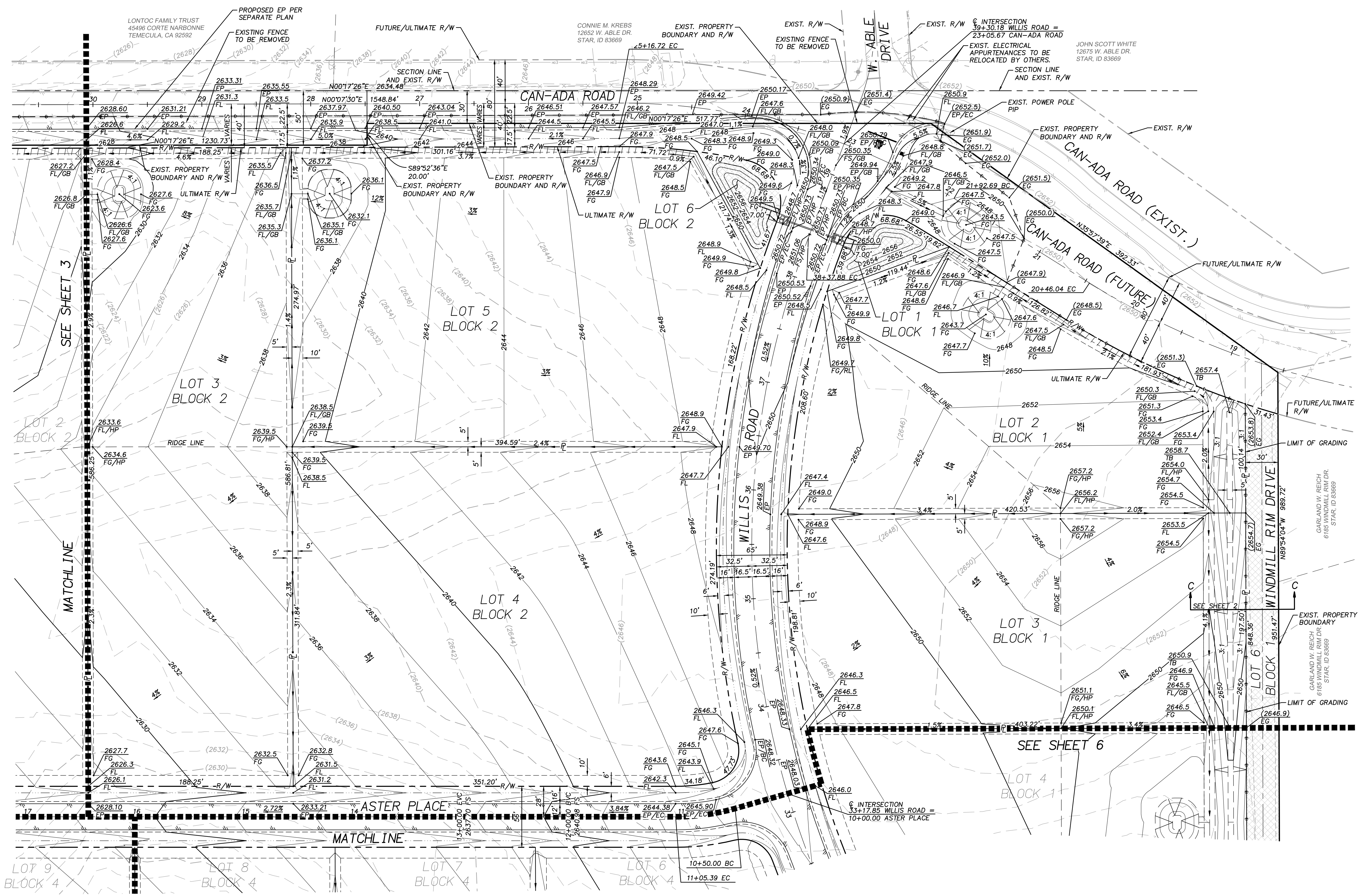
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**THUNDER RIDGE SUBDIVISION**  
CANYON COUNTY, IDAHO  
PRELIMINARY - NOT FOR CONSTRUCTION



SHEET TITLE  
**ROUGH GRADING PLAN**

SHEET NUMBER  
**3 of 10**

DATE: 6/7/2021



DRAWING ISSUE RECORD

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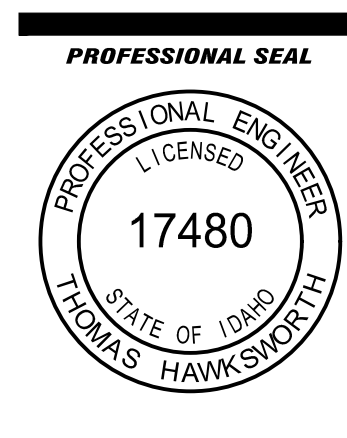
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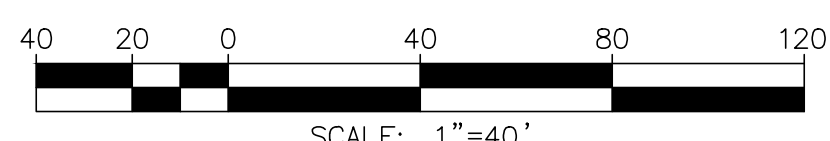
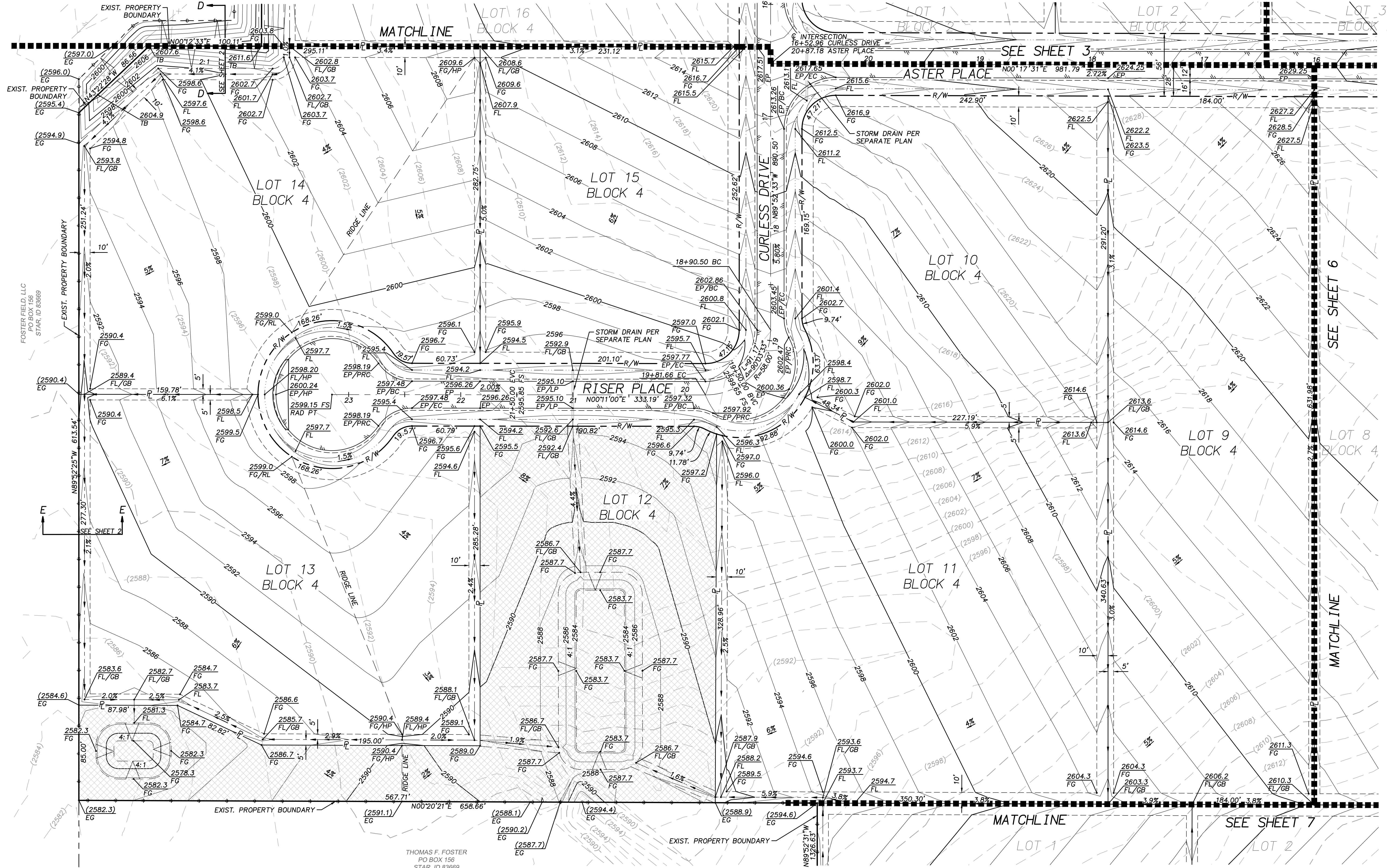
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PROJECT NAME

**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO

PRELIMINARY - NOT FOR CONSTRUCTION





THOMAS F. FOSTER  
 P.O. BOX 158  
 STAR, ID 83669

DRAWING ISSUE RECORD	
DATE	DESCRIPTION

REVISION RECORD		
NO.	DATE	DESCRIPTION

PROJECT NAME

**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO

**PRELIMINARY - NOT FOR CONSTRUCTION**



SHEET TITLE  
**ROUGH GRADING PLAN**

SHEET NUMBER

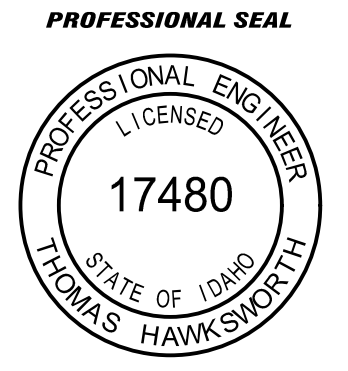
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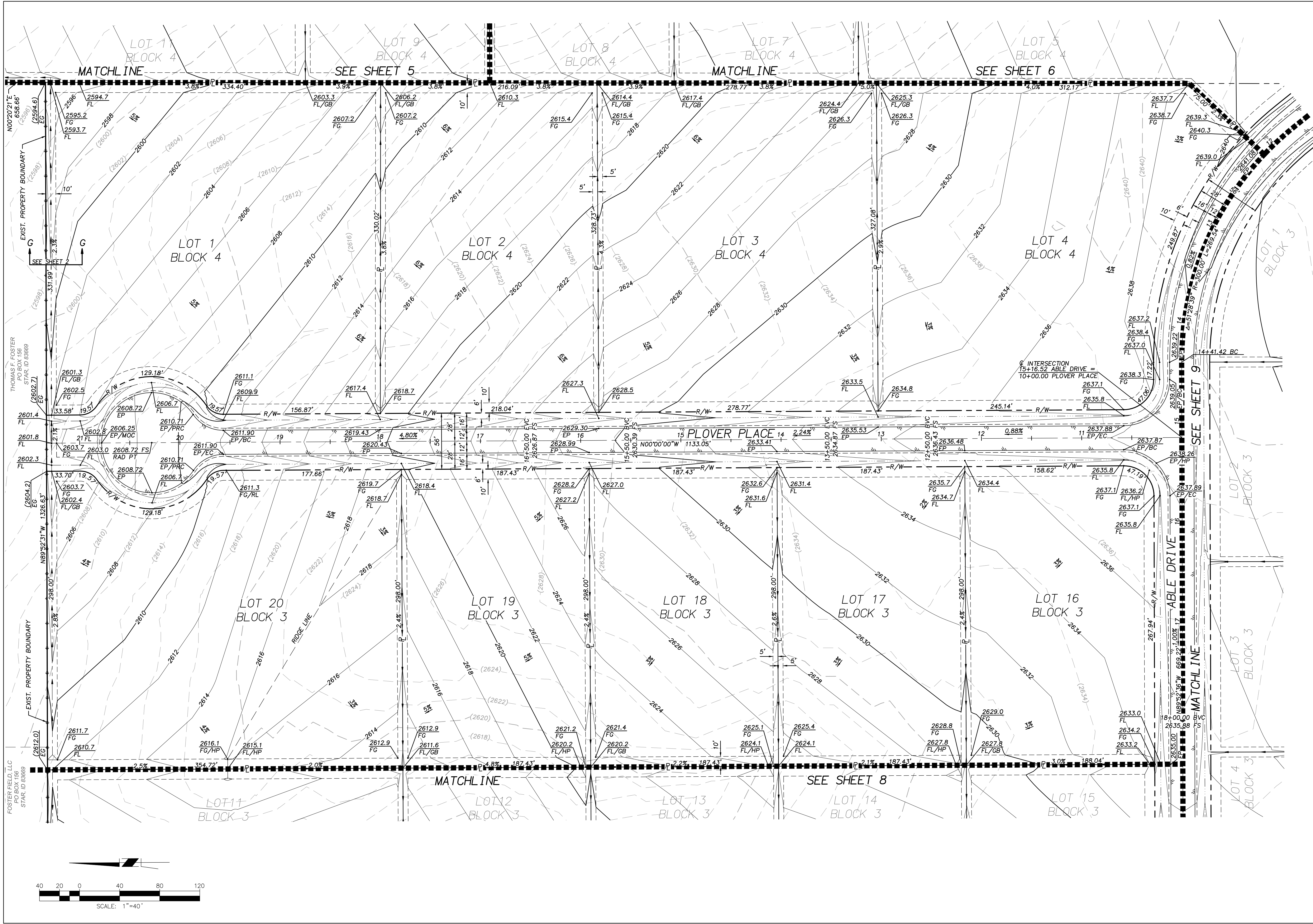
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DATE	DESCRIPTION	
REVISION RECORD		
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PROJECT NAME		

**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO  
 PRELIMINARY - NOT FOR CONSTRUCTION





**DRAWING ISSUE RECORD**

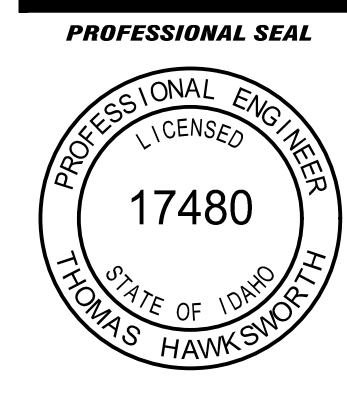
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**REVISION RECORD**

NO.	DATE	DESCRIPTION

PROJECT NAME

**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO  
 PRELIMINARY - NOT FOR CONSTRUCTION

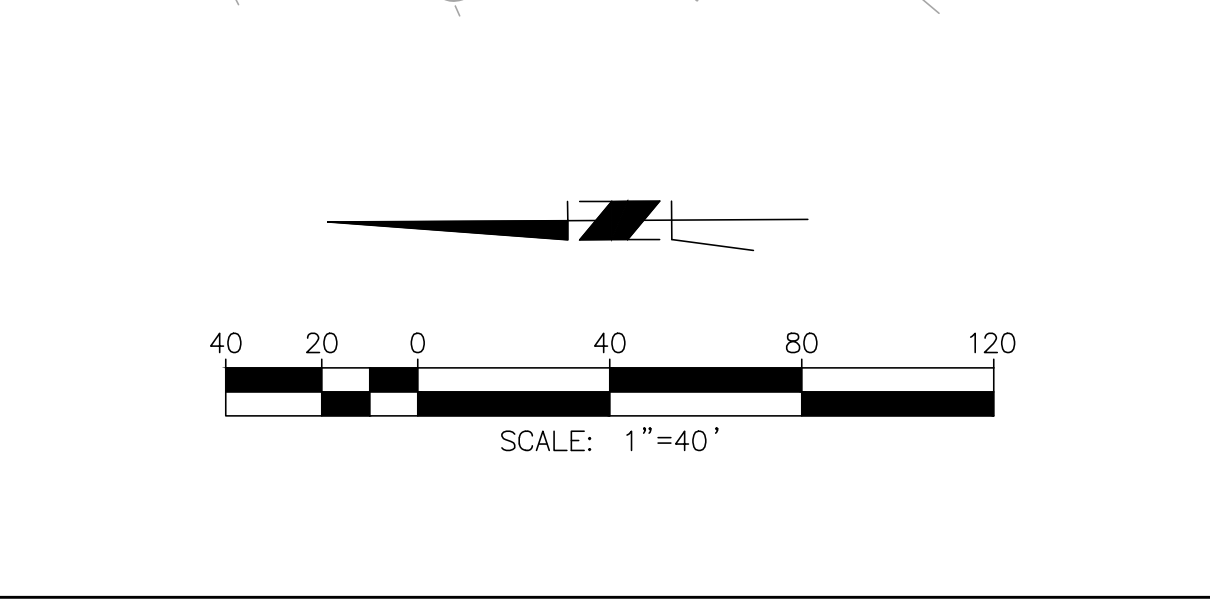
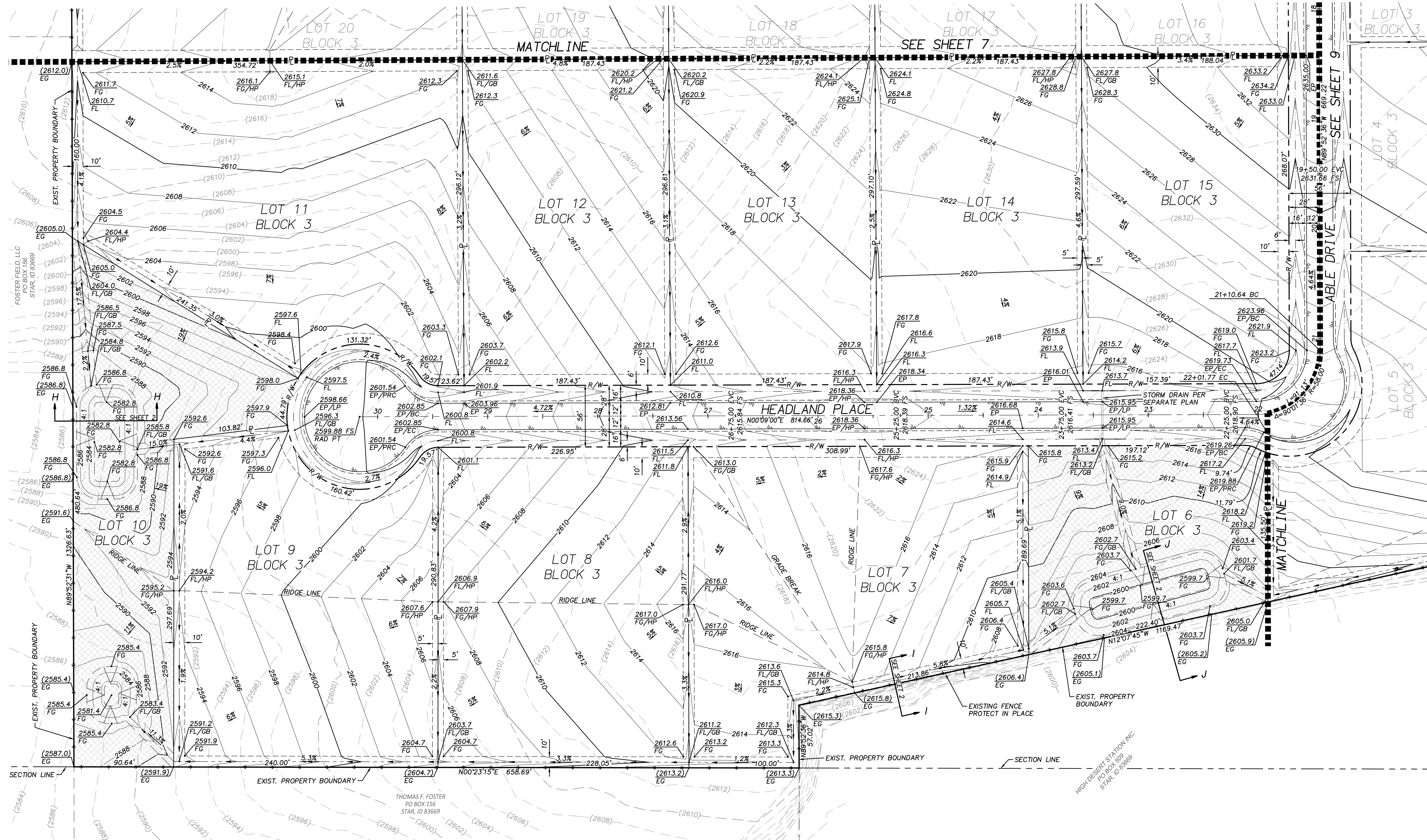


SHEET TITLE  
**ROUGH GRADING PLAN**

SHEET NUMBER

7 of 10

DATE: 6/7/2021



FOSTER FIELD, LLC  
 PO BOX 156  
 STAR, ID 83669

THOMAS F. FOSTER  
 PO BOX 156  
 STAR, ID 83669

HIGH DESERT STATION, INC.  
 PO BOX 500  
 STAR, ID 83669



DRAWING ISSUE RECORD

DATE	DESCRIPTION

REVISION RECORD

NO.	DATE	DESCRIPTION

PROJECT NAME

**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO

**PRELIMINARY - NOT FOR CONSTRUCTION**

PROFESSIONAL SEAL

PROFESSIONAL ENGINEER  
 LICENSED  
 17480  
 STATE OF IDAHO  
 THOMAS HAWKSWORTH

SHEET TITLE

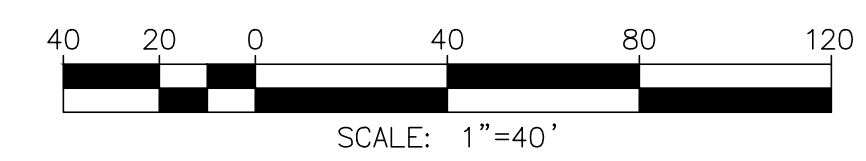
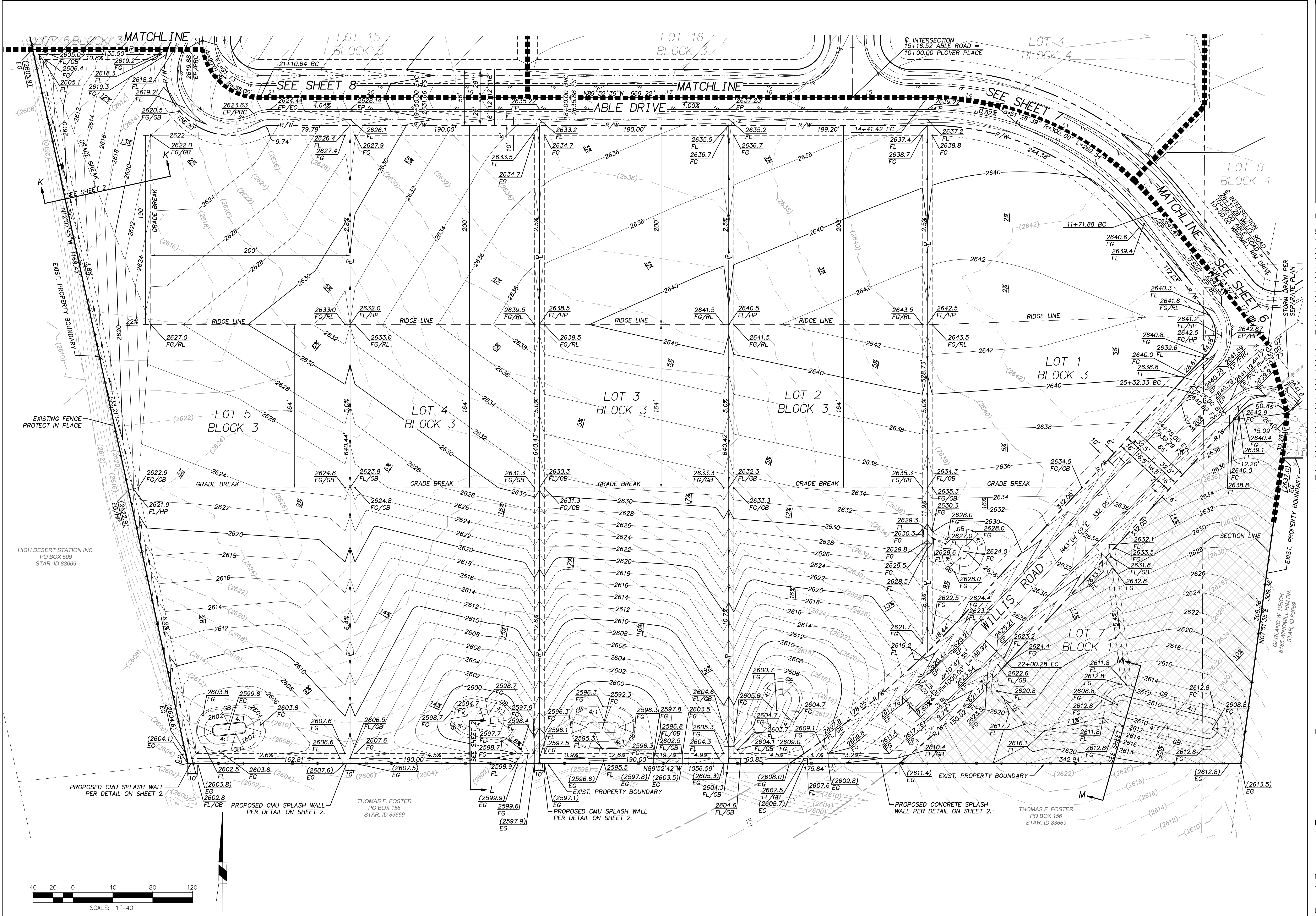
**ROUGH GRADING PLAN**

SHEET NUMBER

**8 of 10**

DATE: 6/7/2021





**DRAWING ISSUE RECORD**

DATE	DESCRIPTION

**REVISION RECORD**

NO.	DATE	DESCRIPTION

**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO

**PRELIMINARY - NOT FOR CONSTRUCTION**

**PROFESSIONAL SEAL**

PROFESSIONAL ENGINEER  
 LICENSED  
 17480  
 STATE OF IDAHO  
 THOMAS HAWKSWORTH

**STANDARD NPDES NOTES**

1. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT POSSIBLE.
2. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
3. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
4. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT THE CONSTRUCTION SITE UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
5. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
6. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
7. CONSTRUCTION SITE SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIME, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS. DURING CONSTRUCTION, DISPOSAL OF ANY SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
8. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE, EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

The following BMPs from the "BMP Manual" must be implemented for all construction activities as applicable.

PERIMETER CONTROLS SC-3 - GRAVEL BAGS	MINIMIZE DUST DUST CONTROL-SPRINKLER SITE
SEDIMENT TRACK-OUT SC-11 - TEMPORARY CONSTRUCTION ENTRANCE	STORM DRAIN INLETS SC-6 - INLET PROTECTION
STOCKPILED SEDIMENT OR SOIL WM-4 - STOCKPILE MANAGEMENT	









**EROSION CONTROL CONSTRUCTION NOTES**

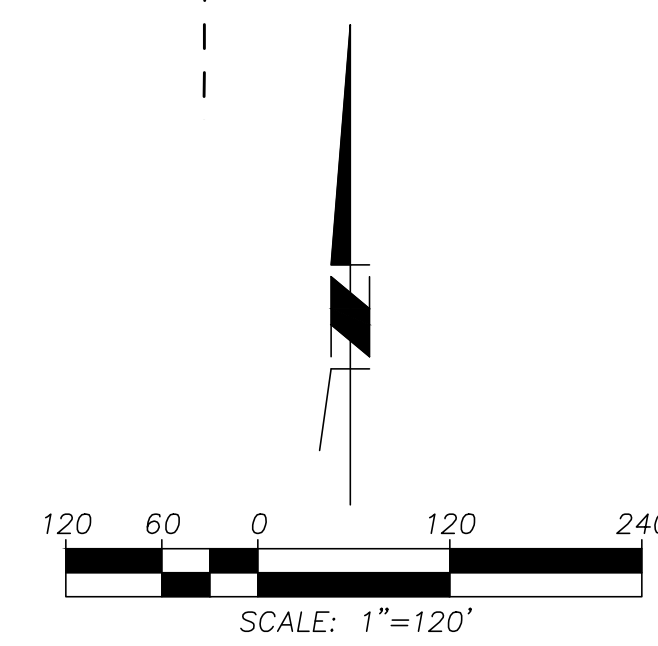
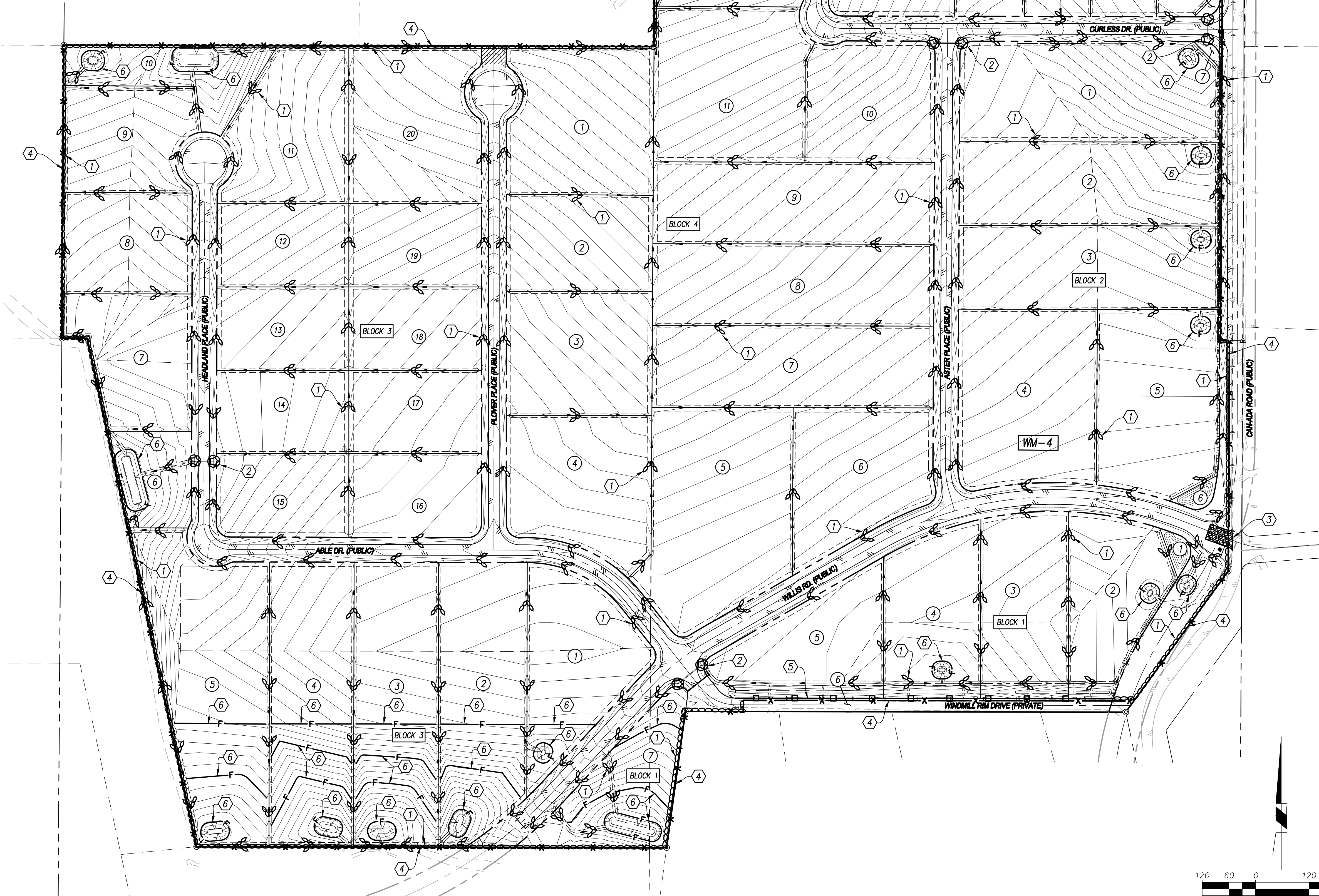
- 1) INSTALL GRAVEL BAG BARRIERS PER BMP MANUAL SC-3.
- 2) INSTALL STORM DRAIN INLET PROTECTION PER BMP MANUAL SC-6.
- 3) INSTALL TEMPORARY CONSTRUCTION ENTRANCE/EXIT PER BMP MANUAL SC-11.
- 4) INSTALL TEMPORARY PERIMETER CHAINLINK FENCING WITH WIND SCREEN (GREEN).
- 5) INSTALL SILT FENCE.
- 6) INSTALL FIBER ROLL.
- 7) HYDROSEED ALL 2:1 SLOPES.

**NOTES**

1. REFER TO PROJECT SWPPP REPORT FOR ALL BMP HANDOUTS.

**LEGEND**

-  IMPLEMENT BMP PER BMP MANUAL
-  TEMPORARY CONSTRUCTION ENTRANCE/EXIT
-  GRAVEL BAG BARRIERS
-  SILT FENCE
-  FIBER ROLL
-  TEMPORARY PERIMETER CHAINLINK FENCING WITH WIND SCREEN (GREEN)
-  STORM DRAIN INLET PROTECTION
-  HYDROSEED



**DRAWING ISSUE RECORD**

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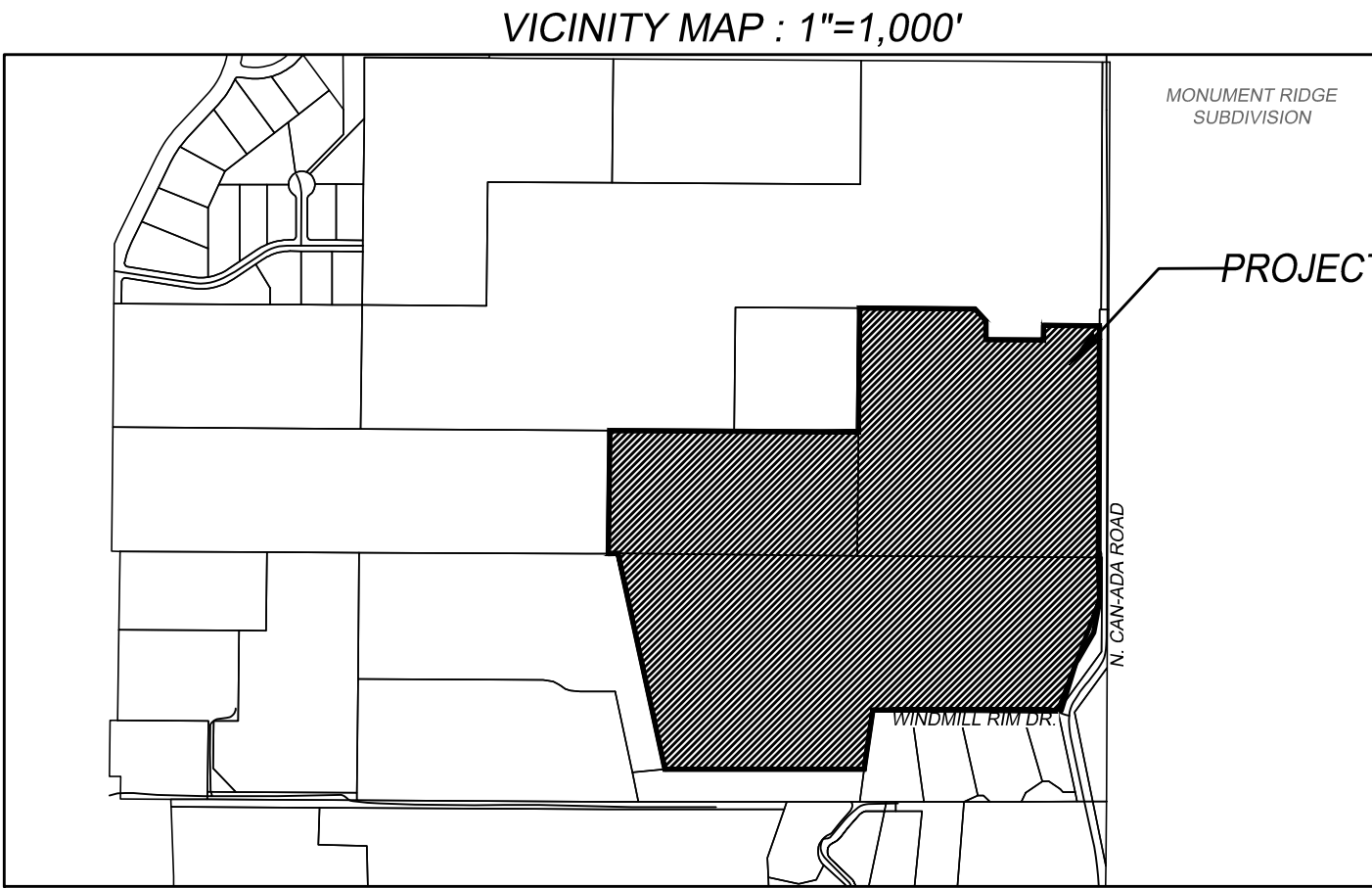
NO.	DATE	DESCRIPTION

PROJECT NAME



# THUNDER RIDGE SUBDIVISION ROUGH GRADING & EROSION CONTROL PLAN

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 36,  
TOWNSHIP 5 NORTH, RANGE 2 WEST, BOISE MERIDIAN,  
CANYON COUNTY, IDAHO



- ### ROUGH GRADING NOTES
- ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF THE RESUBDIVISION.
  - THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
  - ALL FRONT LOT LINES COMMON TO STREET RIGHTS-OF-WAY SHALL CONTAIN A TEN (10') FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, STREET LIGHTS, PRESSURIZED IRRIGATION AND LOT DRAINAGE.
  - ALL REAR LOT LINES SHALL CONTAIN A TEN (10') FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, DRAIN MAINTENANCE, PRESSURIZED IRRIGATION AND LOT DRAINAGE.
  - ALL INTERIOR LOT LINES SHALL CONTAIN A FIVE (5') FOOT WIDE EASEMENT, EACH SIDE, FOR PUBLIC UTILITIES, PRESSURIZED IRRIGATION AND LOT DRAINAGE.
  - ALL STREETS SHOWN HEREON ARE TO BE DEDICATED TO THE USE OF THE PUBLIC.
  - LOT IRRIGATION SHALL BE TAKEN FROM INDIVIDUAL WELLS, UP TO 1/2 ACRE OF LAND MAY BE IRRIGATED FROM A DOMESTIC WELL, THERE ARE NO IRRIGATION WATER RIGHTS WITHIN THE THUNDER RIDGE SUBDIVISION.
  - ALL LOTS SHALL HAVE INDIVIDUAL SEWER SEPTIC SYSTEMS IN ACCORDANCE WITH SOUTHWEST DISTRICT HEALTH DEPARTMENT.
  - LOT 4, BLOCK 4 WILL BE A BUILDABLE LOT WHICH WILL BE GIVEN TO THE ADJACENT PROPERTY DUE TO ENCROACHMENT.
  - STORM DRAINAGE FROM THE ROADWAYS AND LOTS SHALL BE COLLECTED IN ROADSIDE SWALES THAT MEET THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY AND CANYON HIGHWAY DISTRICT NO. 4 REQUIREMENTS. THE STORM DETENTION FACILITIES WILL BE DETERMINED DURING FINAL DESIGN. THE HOMEOWNER'S ASSOCIATION, UNDERLYING PROPERTY OWNER OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR ALL STORM DRAINAGE FACILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, INCLUDING ALL ROUTINE AND HEAVY MAINTENANCE.
  - NO DIRECT LOT ACCESS TO CANADA ROAD IS ALLOWED, EXCEPT DIRECTLY ADJACENT TO STORMWATER RETENTION AREA NORTHERLY OF LOTS 18 AND 19.
  - COMMON LOTS ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

### EARTHWORK QUANTITIES

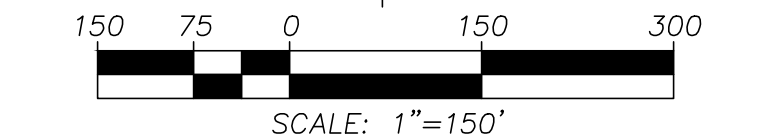
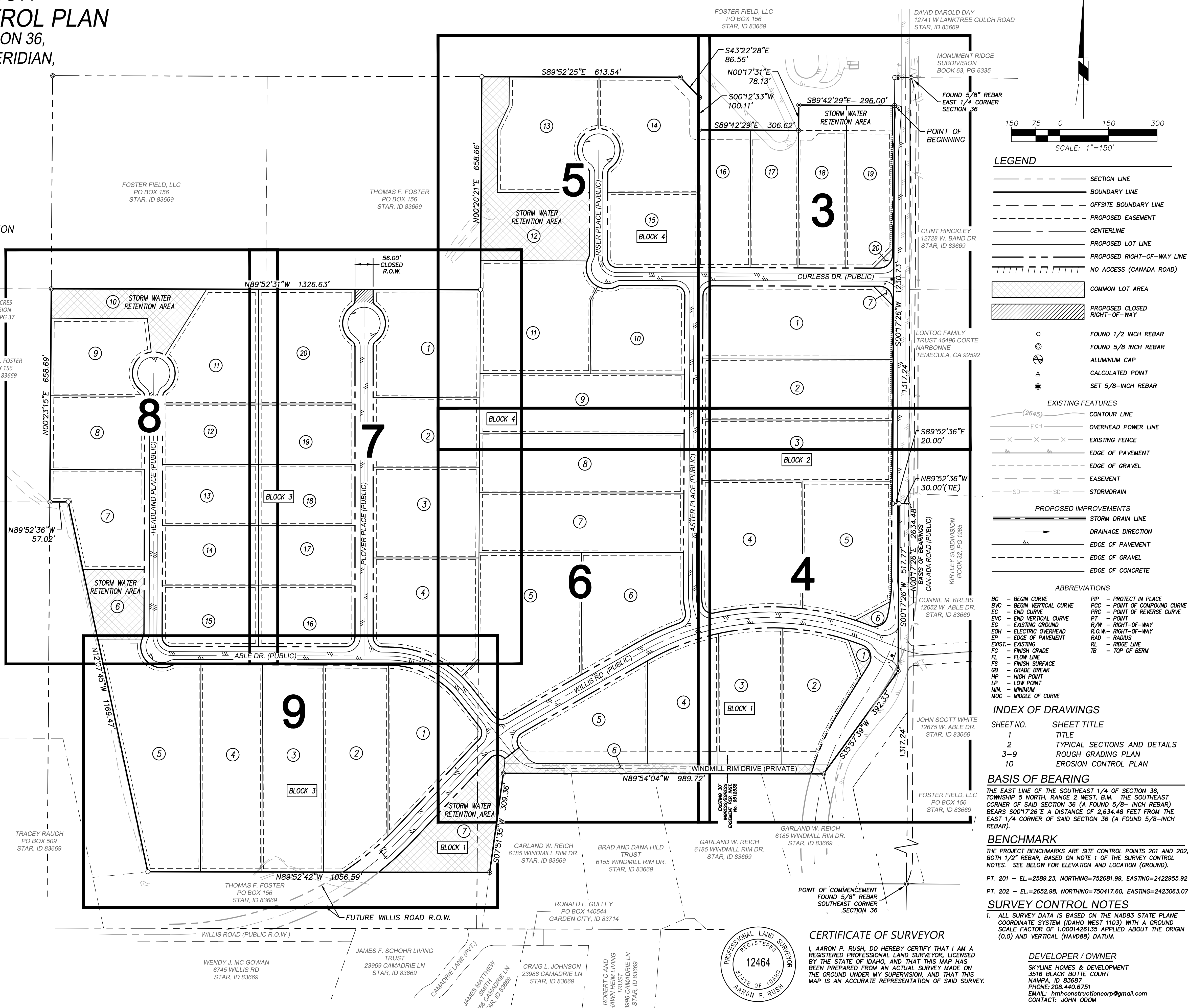
RAW CUT = 365,196 CUBIC YARDS  
RAW FILL = 371,735 CUBIC YARDS  
RAW NET = 6,539 CUBIC YARDS (FILL)

### UTILITIES

WATER: INDIVIDUAL WELLS  
SEWER: INDIVIDUAL SEPTIC SYSTEMS  
POWER: IDAHO POWER COMPANY  
NATURAL GAS: INTERMOUNTAIN GAS COMPANY  
TELEPHONE: CENTURY LINK  
CABLE: CABLE ONE  
IRRIGATION: SUPPLIED BY INDIVIDUAL WELL (UP TO 1/2 ACRE)

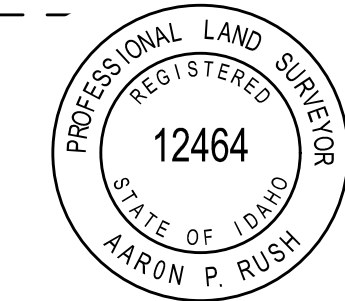
### APN's

376-290-000, 376-290-120, 376-290-130



- ### LEGEND
- SECTION LINE
  - BOUNDARY LINE
  - OFFSITE BOUNDARY LINE
  - PROPOSED EASEMENT
  - CENTERLINE
  - PROPOSED LOT LINE
  - PROPOSED RIGHT-OF-WAY LINE
  - NO ACCESS (CANADA ROAD)
  - COMMON LOT AREA
  - PROPOSED CLOSED RIGHT-OF-WAY
  - FOUND 1/2 INCH REBAR
  - FOUND 5/8 INCH REBAR
  - ALUMINUM CAP
  - CALCULATED POINT
  - SET 5/8-INCH REBAR
  - EXISTING FEATURES
  - CONTOUR LINE
  - OVERHEAD POWER LINE
  - EXISTING FENCE
  - EDGE OF PAVEMENT
  - EDGE OF GRAVEL
  - EASEMENT
  - STORMDRAIN
  - PROPOSED IMPROVEMENTS
  - STORM DRAIN LINE
  - DRAINAGE DIRECTION
  - EDGE OF PAVEMENT
  - EDGE OF GRAVEL
  - EDGE OF CONCRETE
- ### ABBREVIATIONS
- |                            |                               |
|----------------------------|-------------------------------|
| BC - BEGIN CURVE           | PIP - PROTECT IN PLACE        |
| BVC - BEGIN VERTICAL CURVE | PCC - POINT OF COMPOUND CURVE |
| END CURVE                  | PRC - POINT OF REVERSE CURVE  |
| EVC - END VERTICAL CURVE   | PT - POINT                    |
| EG - EXISTING GROUND       | R/W - RIGHT-OF-WAY            |
| EOH - ELECTRIC OVERHEAD    | R.O.W. - RIGHT-OF-WAY         |
| EP - EDGE OF PAVEMENT      | RAJ - RADIUS                  |
| EXST. - EXISTING           | RL - RIDGE LINE               |
| FG - FINISH GRADE          | TB - TOP OF BERM              |
| FL - FLOW LINE             |                               |
| FS - FINISH SURFACE        |                               |
| GB - GRADE BREAK           |                               |
| HP - HIGH POINT            |                               |
| LP - LOW POINT             |                               |
| MIN. - MINIMUM             |                               |
| MOC - MIDDLE OF CURVE      |                               |

- ### INDEX OF DRAWINGS
- | SHEET NO. | SHEET TITLE                  |
|-----------|------------------------------|
| 1         | TITLE                        |
| 2         | TYPICAL SECTIONS AND DETAILS |
| 3-9       | ROUGH GRADING PLAN           |
| 10        | EROSION CONTROL PLAN         |
- ### BASIS OF BEARING
- THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 2 WEST, B.M. THE SOUTHEAST CORNER OF SAID SECTION 36 (A FOUND 5/8-INCH REBAR) BEARS S001°22'E A DISTANCE OF 2,634.48 FEET FROM THE EAST 1/4 CORNER OF SAID SECTION 36 (A FOUND 5/8-INCH REBAR).
- ### BENCHMARK
- THE PROJECT BENCHMARKS ARE SITE CONTROL POINTS 201 AND 202, BOTH 1/2" REBAR, BASED ON NOTE 1 OF THE SURVEY CONTROL NOTES. SEE BELOW FOR ELEVATION AND LOCATION (GROUND).
- PT. 201 - EL.=2589.23, NORTHING=752681.99, EASTING=2422955.92  
PT. 202 - EL.=2652.98, NORTHING=750417.60, EASTING=2423063.07
- ### SURVEY CONTROL NOTES
- ALL SURVEY DATA IS BASED ON THE NAD83 STATE PLANE COORDINATE SYSTEM (IDAHO WEST 1103) WITH A GROUND SCALE FACTOR OF 1.0001426135 APPLIED ABOUT THE ORIGIN (0,0) AND VERTICAL (NAVD88) DATUM.



### CERTIFICATE OF SURVEYOR

I, AARON P. RUSH, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS MAP HAS BEEN PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, AND THAT THIS MAP IS AN ACCURATE REPRESENTATION OF SAID SURVEY.

### SURVEYOR

LR GEO  
2308 N. COLE ROAD, SUITE G  
BOISE, ID 83704  
PHONE: (208) 918-0928  
CONTACT: AARON RUSH, P.L.S.  
EMAIL: aaron@lr-geo.com

### DEVELOPER / OWNER

SKYLINE HOMES & DEVELOPMENT  
3516 BLACK BUTTE COURT  
NAMP, ID 83687  
PHONE: 208.440.6751  
EMAIL: hmlconstructioncorp@gmail.com  
CONTACT: JOHN ODOM

### ENGINEER

BLUE PEAK ENGINEERING  
3313 W CHERRY LANE, #507  
MERIDIAN, ID 83642  
PHONE: (208) 918-0928  
CONTACT: THOMAS HAWKSWORTH, P.E.  
EMAIL: thomash@bluepeakeng.com



3313 W CHERRY LANE, #507  
MERIDIAN, ID 83642  
208.918.0928  
thomash@bluepeakeng.com

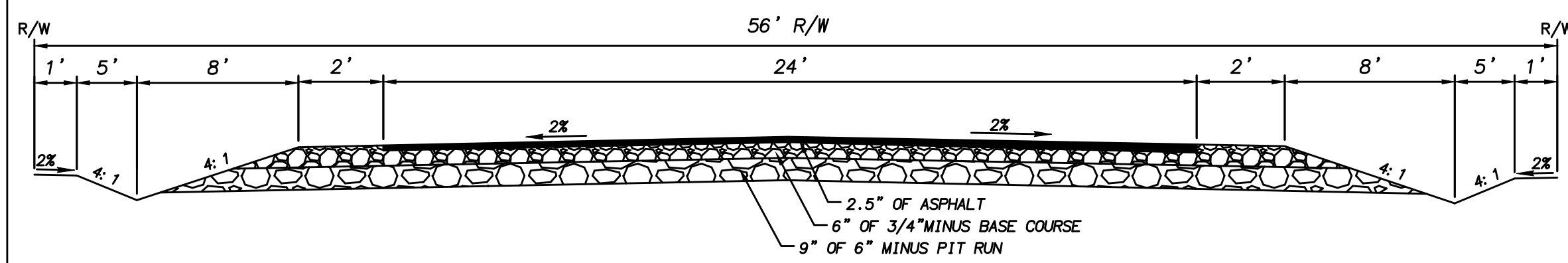
**BLUE PEAK ENGINEERING, INC.**

**THUNDER RIDGE SUBDIVISION**  
CANYON COUNTY, IDAHO

**PRELIMINARY - NOT FOR CONSTRUCTION**

DATE: 6/7/2021

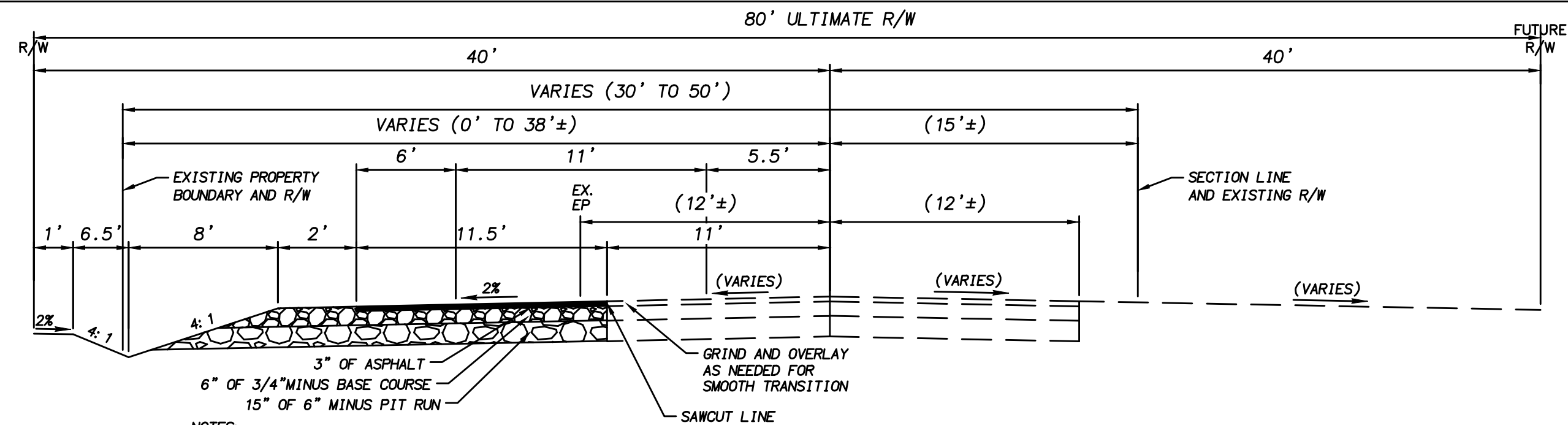
DATE: 6/7/2021



NOTES:  
1. PLANT MIX PAVEMENT SHALL BE SP-2 OR BETTER, OR HVEEM CLASS III, WITH A NOMINAL MAXIMUM AGGREGATE SIZE OF 3/4". PG 64-28 (PERFORMANCE GRADED ASPHALT BINDER) SHALL BE USED. A MINIMUM OF 0.5% ANTI-STRIPPING ADDITIVE IS REQUIRED.  
2. ROAD STRUCTURE SECTION MAY VARY FOR POOR SOIL CONDITIONS. CHANGES TO THESE SECTION REQUIREMENTS WILL BE BASED ON A GEOTECHNICAL REPORT PREPARED BY A REGISTERED PROFESSIONAL ENGINEER.

TYPICAL LOCAL ROAD SECTION PER STANDARD DRAWING NO. ACCHD-101

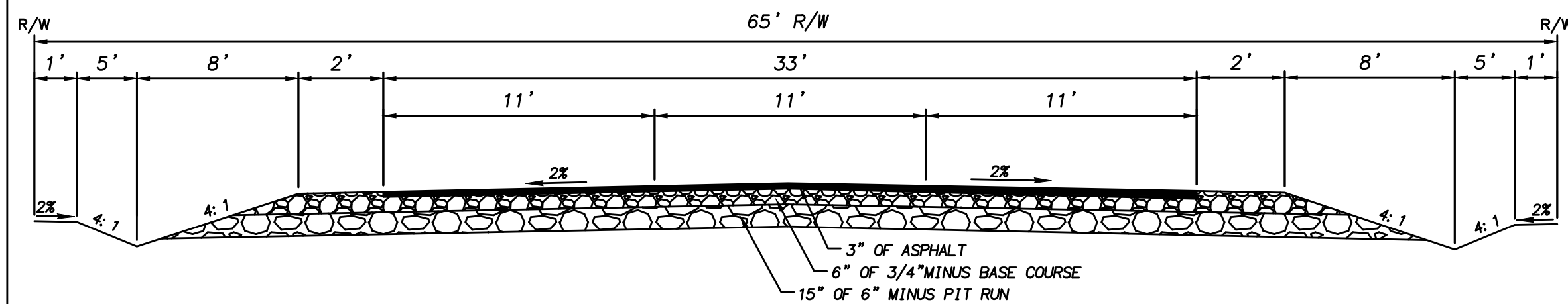
NTS T1=6



NOTES:  
1. PLANT MIX PAVEMENT SHALL BE SP-2 OR BETTER, OR HVEEM CLASS III, WITH A NOMINAL MAXIMUM AGGREGATE SIZE OF 3/4". PG 64-28 (PERFORMANCE GRADED ASPHALT BINDER) SHALL BE USED. A MINIMUM OF 0.5% ANTI-STRIPPING ADDITIVE IS REQUIRED.  
2. ROAD STRUCTURE SECTION MAY VARY FOR POOR SOIL CONDITIONS. CHANGES TO THESE SECTION REQUIREMENTS WILL BE BASED ON A GEOTECHNICAL REPORT PREPARED BY A REGISTERED PROFESSIONAL ENGINEER.

CAN-ADA - 3 LANE COLLECTOR ROAD SECTION PER MODIFIED STANDARD DRAWING NO. ACCHD-102A

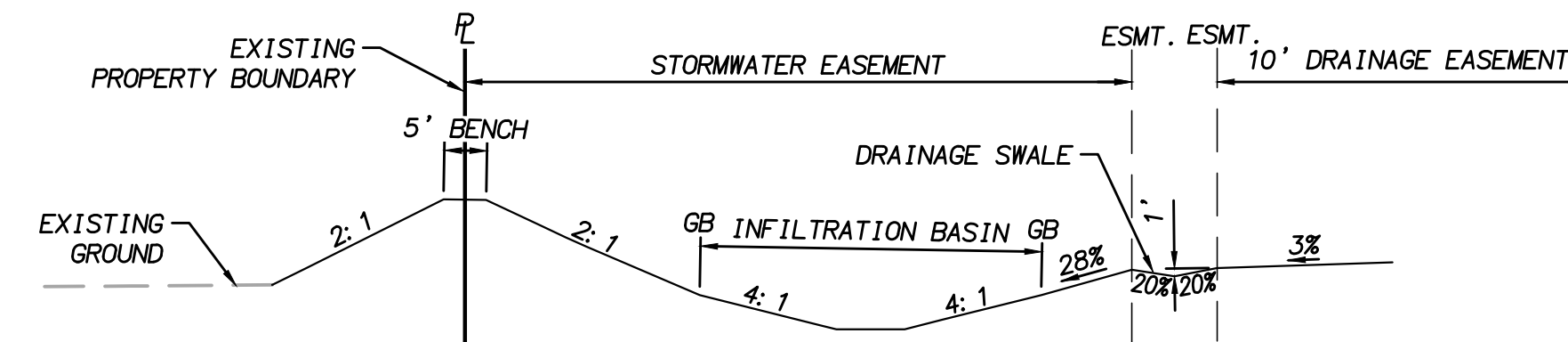
NTS T1=8



NOTES:  
1. PLANT MIX PAVEMENT SHALL BE SP-2 OR BETTER, OR HVEEM CLASS III, WITH A NOMINAL MAXIMUM AGGREGATE SIZE OF 3/4". PG 64-28 (PERFORMANCE GRADED ASPHALT BINDER) SHALL BE USED. A MINIMUM OF 0.5% ANTI-STRIPPING ADDITIVE IS REQUIRED.  
2. ROAD STRUCTURE SECTION MAY VARY FOR POOR SOIL CONDITIONS. CHANGES TO THESE SECTION REQUIREMENTS WILL BE BASED ON A GEOTECHNICAL REPORT PREPARED BY A REGISTERED PROFESSIONAL ENGINEER.

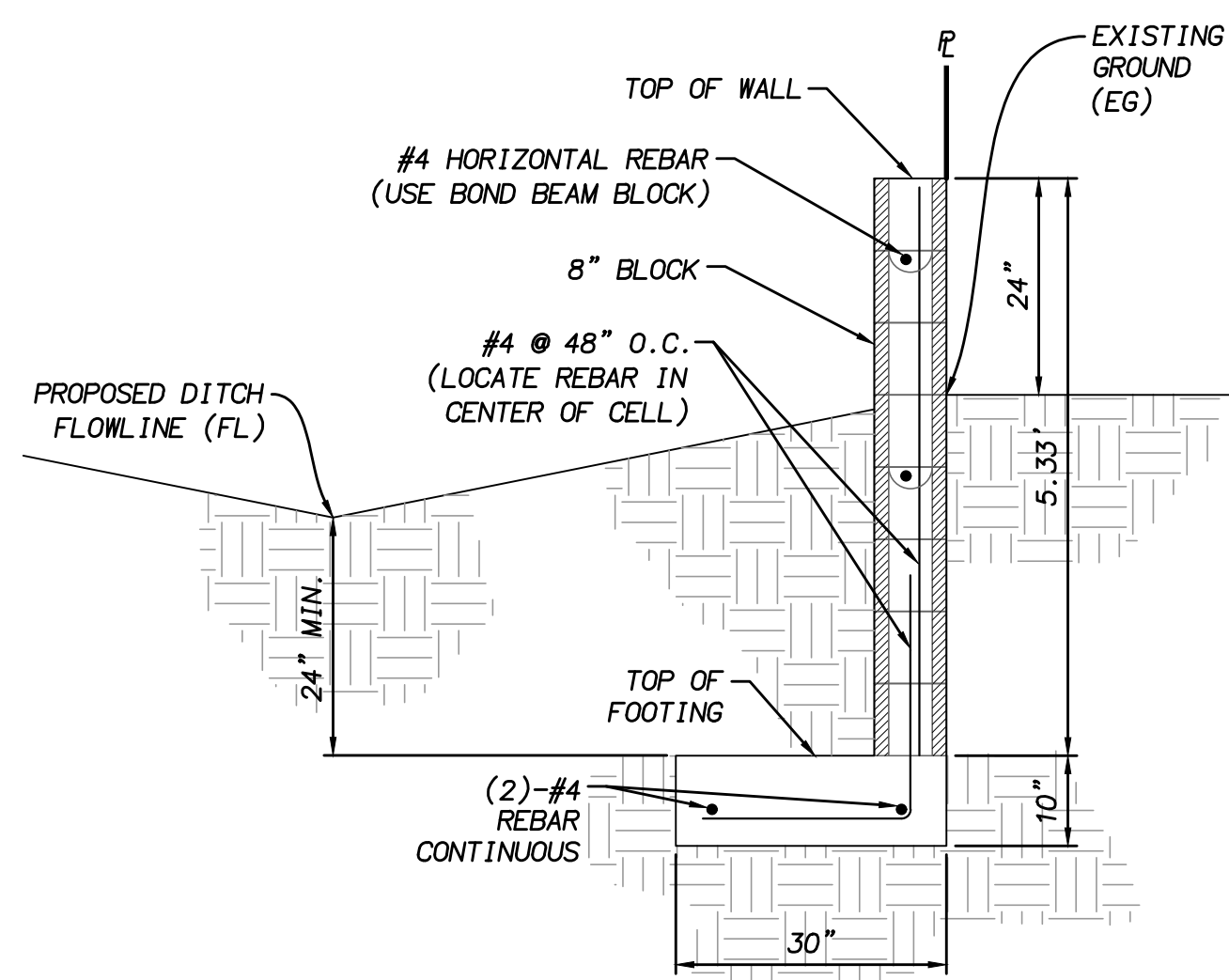
WILLIS ROAD - 3 LANE COLLECTOR ROAD SECTION PER MODIFIED STANDARD DRAWING NO. ACCHD-101A

NTS T1=8



SECTION A-A

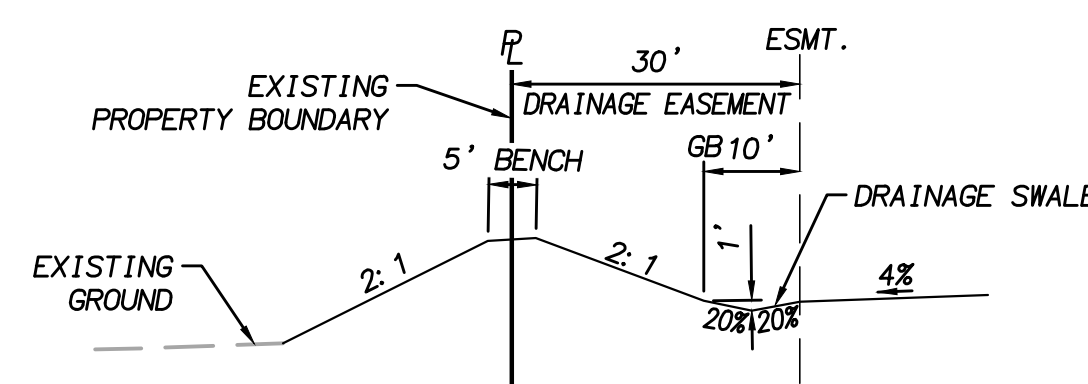
NTS



CMU SPLASH WALL

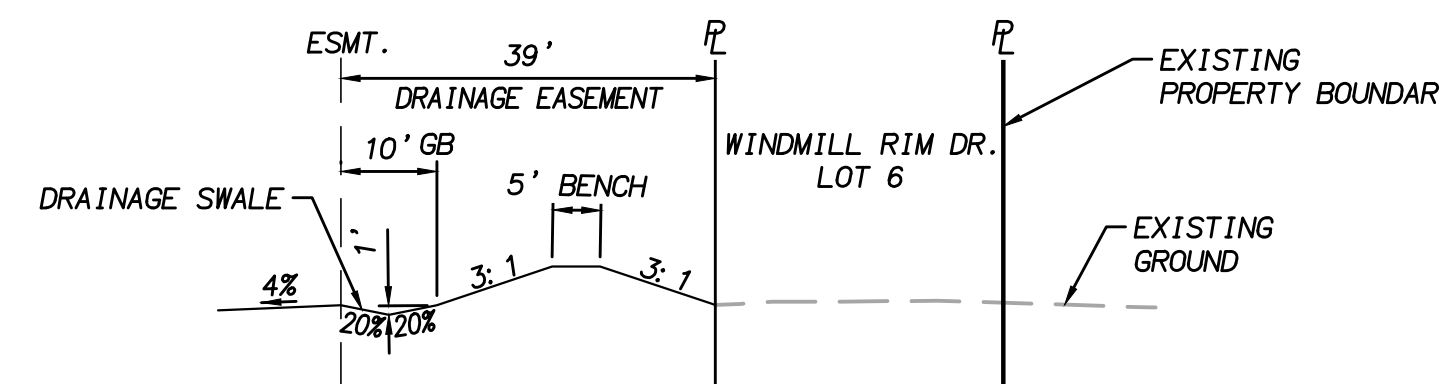
NTS

NOTE:  
1. ALL REBAR TO BE ASTM SPEC. A615, GRADE 40 MINIMUM.  
2. ALL REBAR LAP SPLICES TO BE 24" MINIMUM.  
3. ALL MASONRY UNITS TO BE ASTM C-90 GRADE N.  
4. REBAR TO BE CENTERED IN MASONRY CELLS.



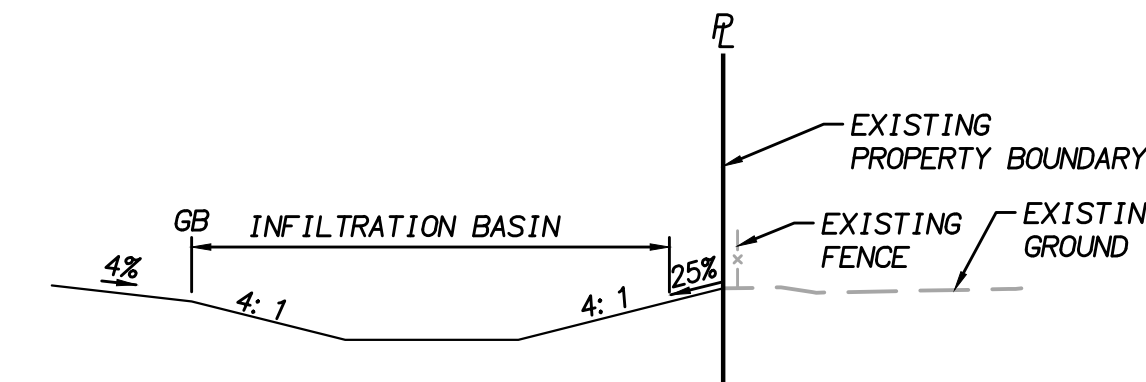
SECTION B-B

NTS



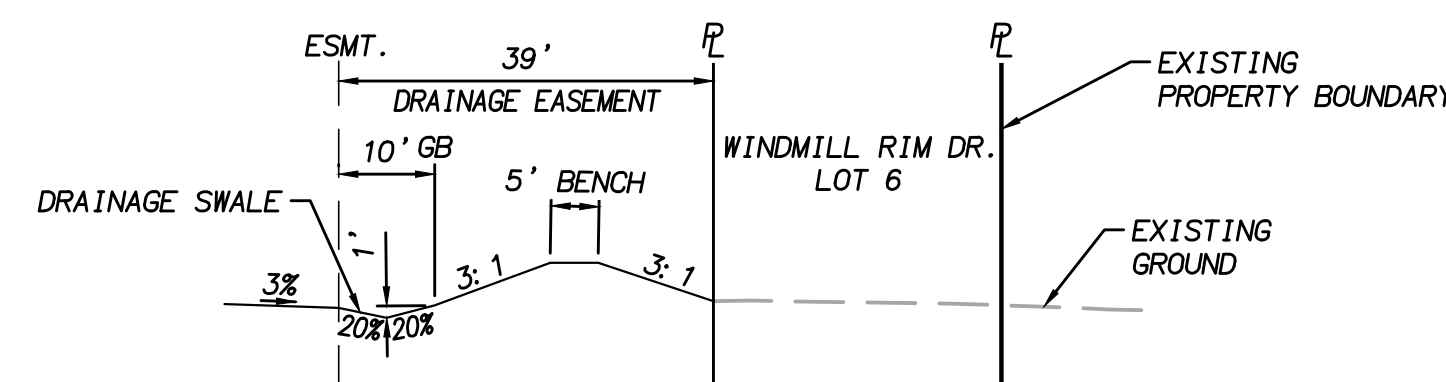
SECTION F-F

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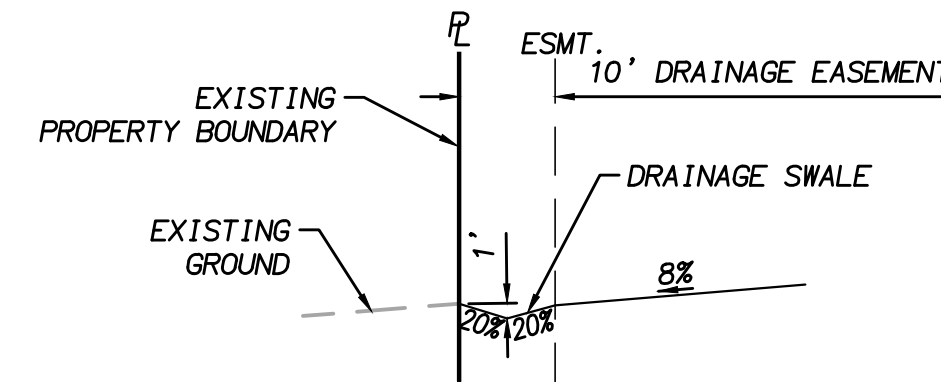
SECTION J-J

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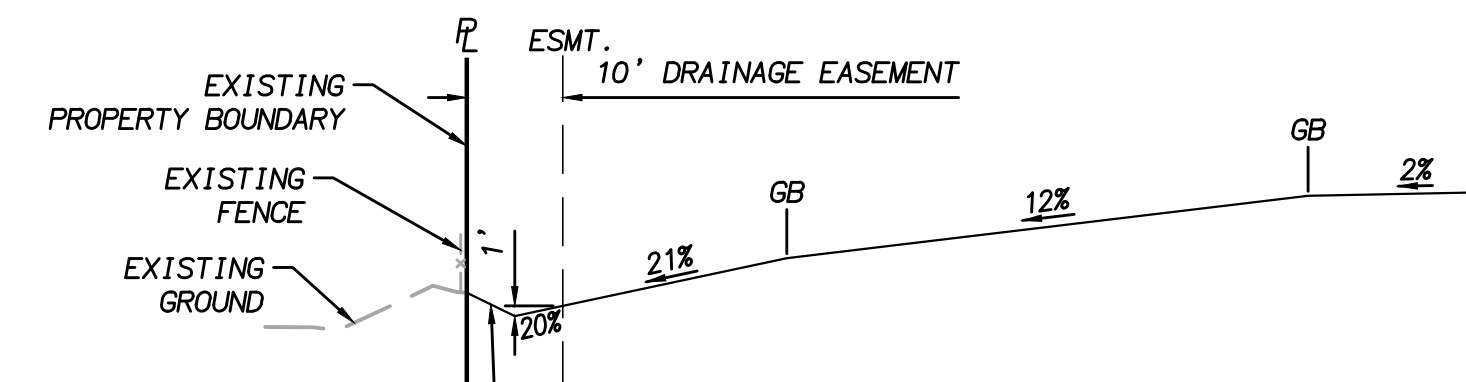
SECTION C-C

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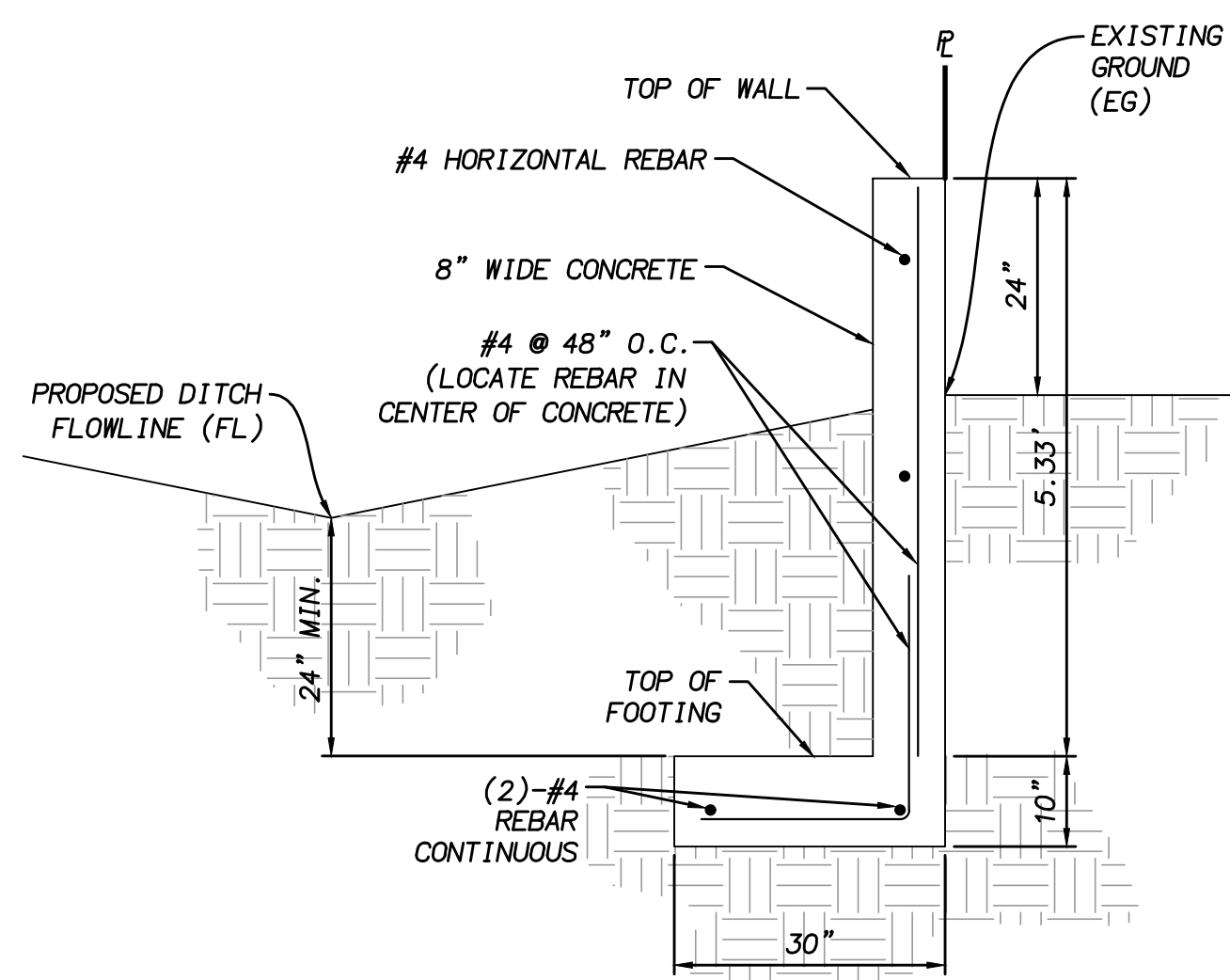
SECTION G-G

NTS



SECTION K-K

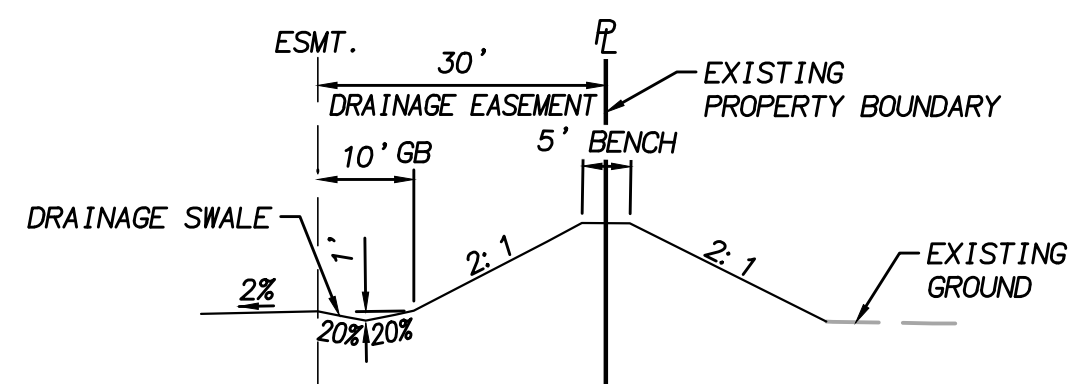
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CONCRETE SPLASH WALL

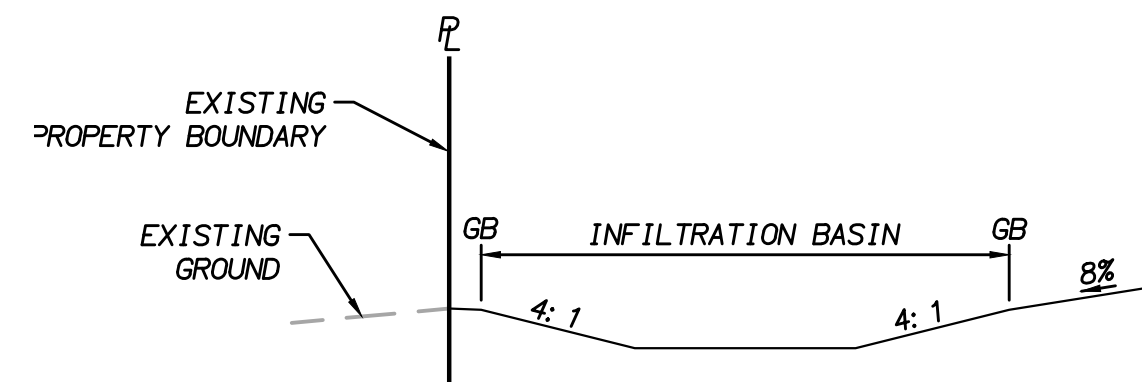
NTS

NOTE:  
1. ALL REBAR TO BE ASTM SPEC. A615, GRADE 40 MINIMUM.  
2. ALL REBAR LAP SPLICES TO BE 24" MINIMUM.  
3. REBAR TO BE CENTERED IN CONCRETE.



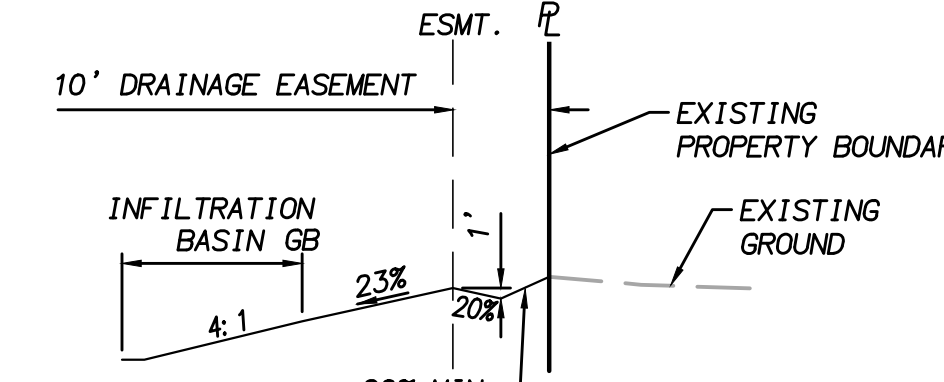
SECTION D-D

NTS



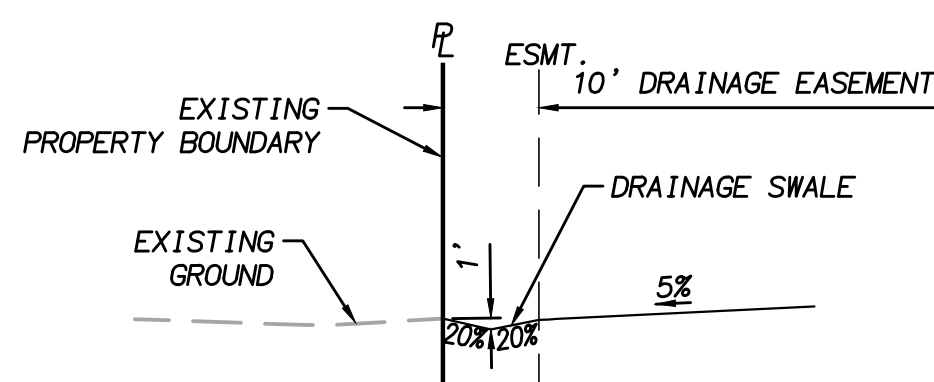
SECTION H-H

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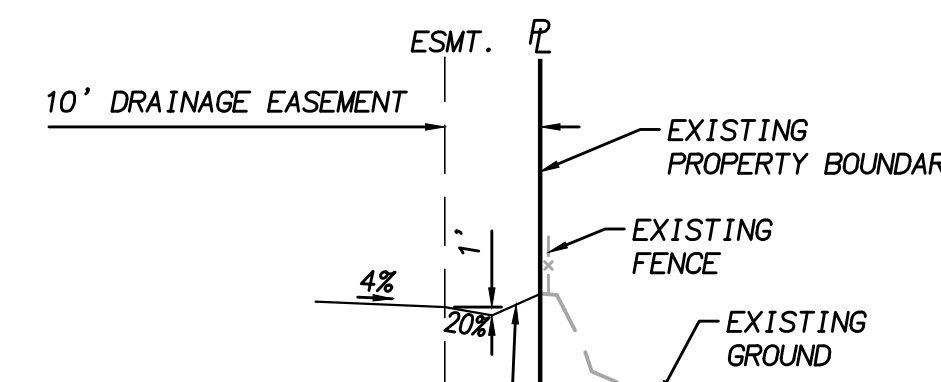
SECTION L-L

NTS



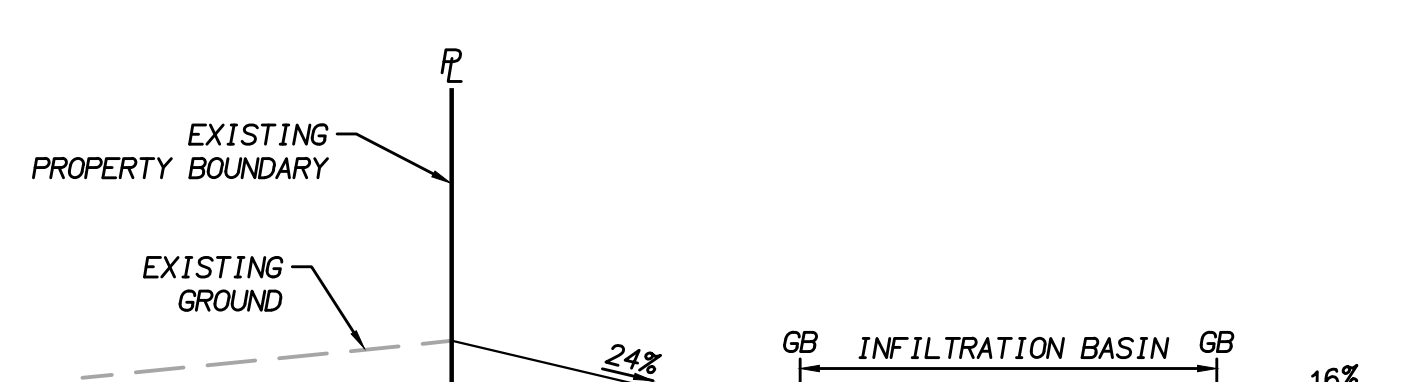
SECTION E-E

NTS



SECTION I-I

NTS



SECTION M-M

NTS

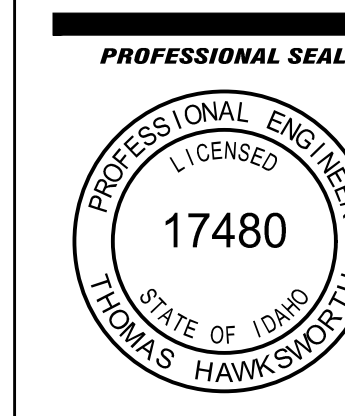


DRAWING ISSUE RECORD	
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REVISION RECORD		
NO.	DATE	DESCRIPTION

THUNDER RIDGE SUBDIVISION  
CANYON COUNTY, IDAHO

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SHEET TITLE  
**TYPICAL SECTIONS AND DETAILS**

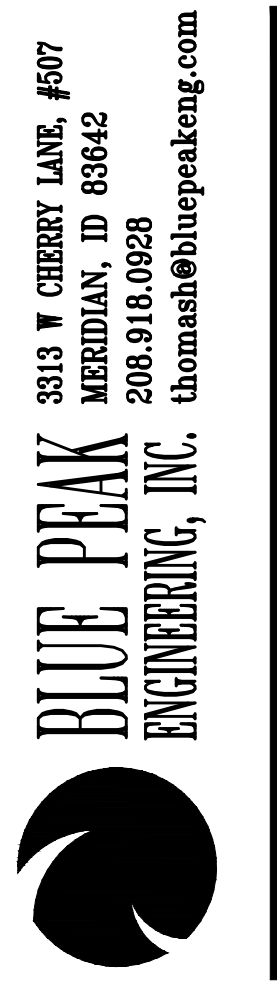
SHEET NUMBER  
**2 of 10**

DATE: 6/7/2021

DAVID DAROLD DAY  
12741 W LANKTREE GULCH ROAD  
STAR, ID 83669

CLINT HINCKLEY  
12728 W. BAND DR  
STAR, ID 83669

LONTOC FAMILY TRUST  
45496 CORTE NARBONNE  
TEMECULA, CA 92592



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DATE DESCRIPTION

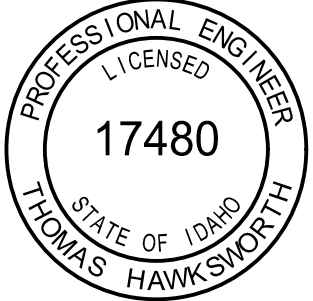
REVISION RECORD  
NO. DATE DESCRIPTION

PROJECT NAME

**THUNDER RIDGE SUBDIVISION**  
CANYON COUNTY, IDAHO

PRELIMINARY - NOT FOR CONSTRUCTION

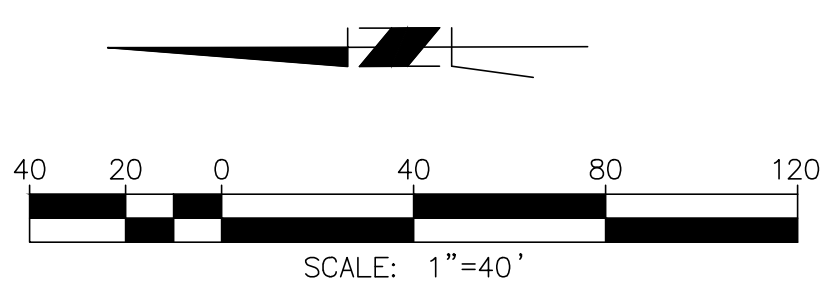
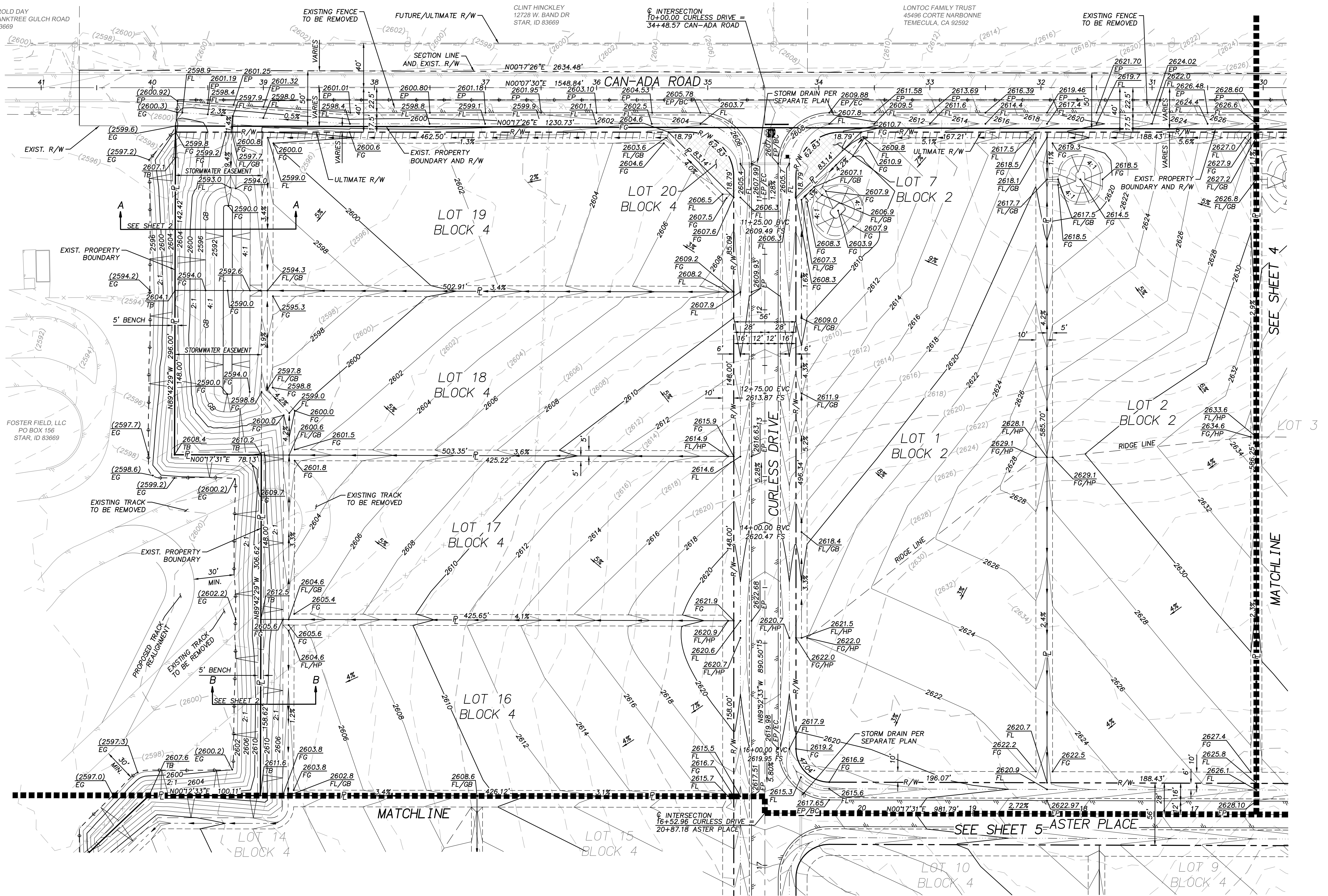
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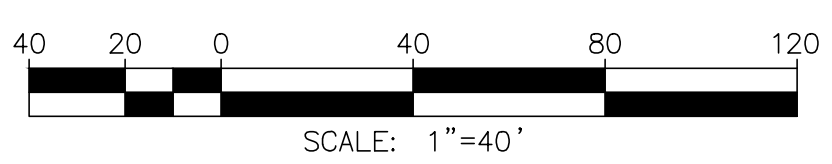
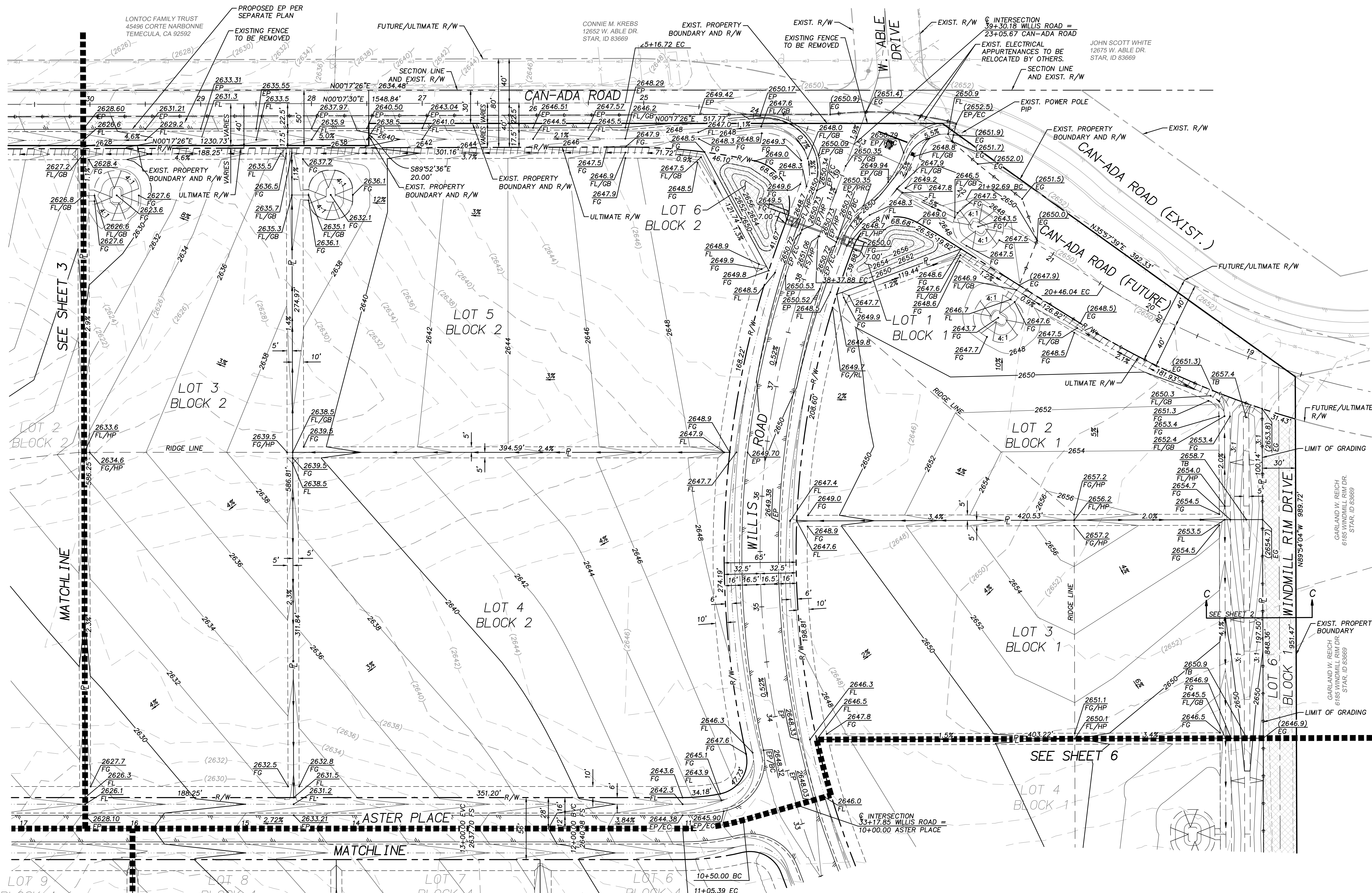


SHEET TITLE  
**ROUGH GRADING PLAN**

SHEET NUMBER  
**3 of 10**

DATE: 6/7/2021





DRAWING ISSUE RECORD	
DATE	DESCRIPTION

REVISION RECORD	
NO.	DATE DESCRIPTION

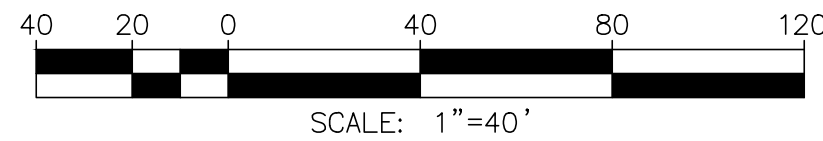
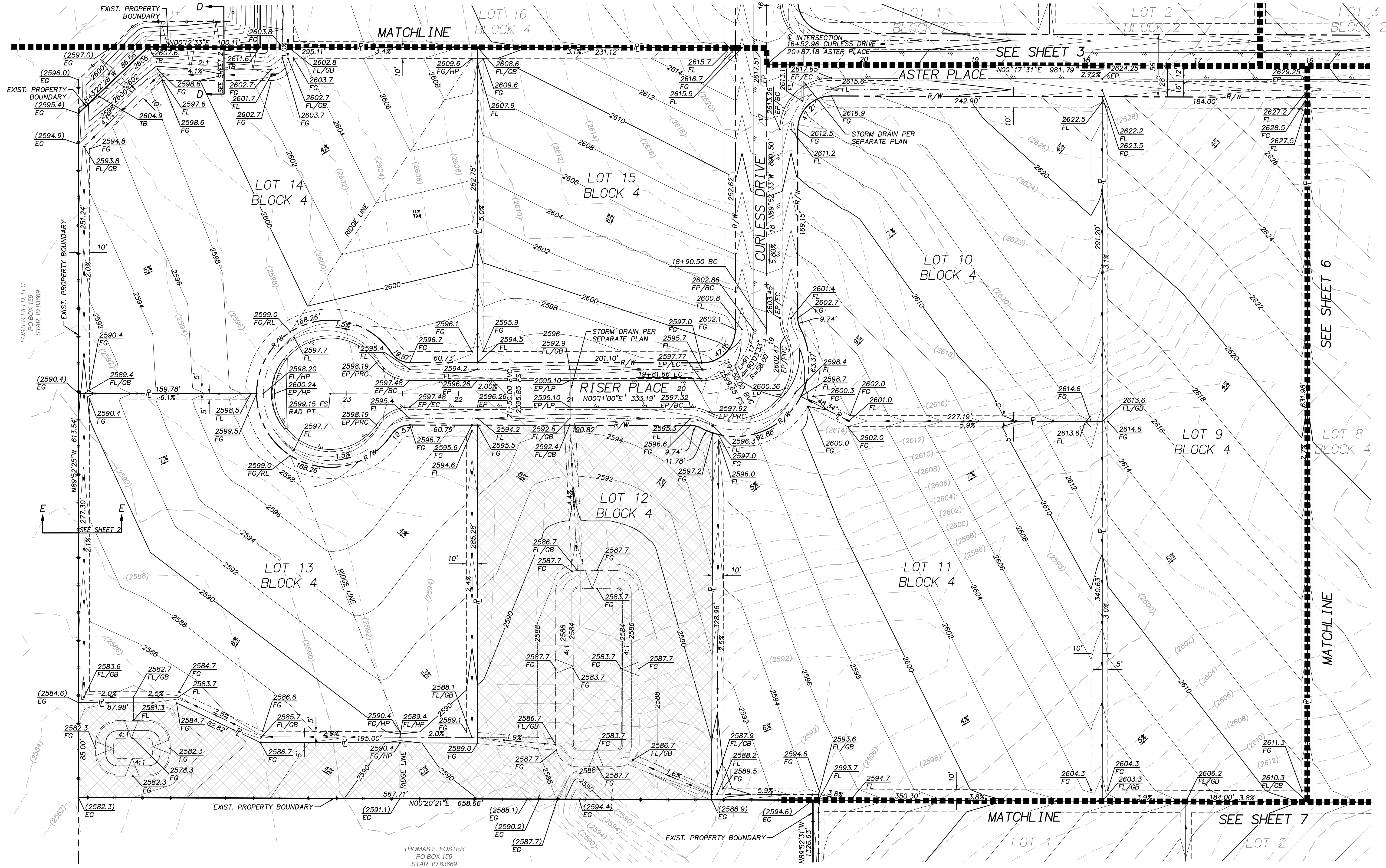
PROJECT NAME

**THUNDER RIDGE SUBDIVISION**  
CANYON COUNTY, IDAHO  
**PRELIMINARY - NOT FOR CONSTRUCTION**

PROFESSIONAL SEAL  
PROFESSIONAL ENGINEER  
LICENSED  
17480  
STATE OF IDAHO  
THOMAS HAWKSWORTH

SHEET TITLE  
**ROUGH GRADING PLAN**

SHEET NUMBER  
**4 of 10**  
DATE: 6/7/2021



THOMAS F. FOSTER  
 P.O. BOX 158  
 STAR, ID 83669

DRAWING ISSUE RECORD	
DATE	DESCRIPTION

REVISION RECORD		
NO.	DATE	DESCRIPTION

PROJECT NAME

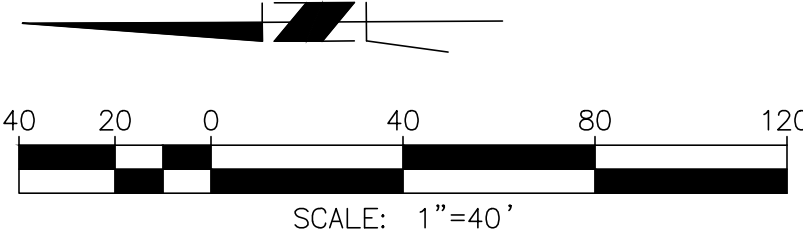
**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO

**PRELIMINARY - NOT FOR CONSTRUCTION**



SHEET TITLE  
**ROUGH GRADING PLAN**

SHEET NUMBER  
**5 of 10**



**DRAWING ISSUE RECORD**

DATE	DESCRIPTION

**REVISION RECORD**

NO.	DATE	DESCRIPTION

**THUNDER RIDGE SUBDIVISION**  
CANYON COUNTY, IDAHO

**PRELIMINARY - NOT FOR CONSTRUCTION**

**PROFESSIONAL SEAL**

PROFESSIONAL ENGINEER  
LICENSED  
17480  
STATE OF IDAHO  
THOMAS HAWKS-WORTH

**SHEET TITLE**  
ROUGH GRADING PLAN

**SHEET NUMBER**  
6 of 10

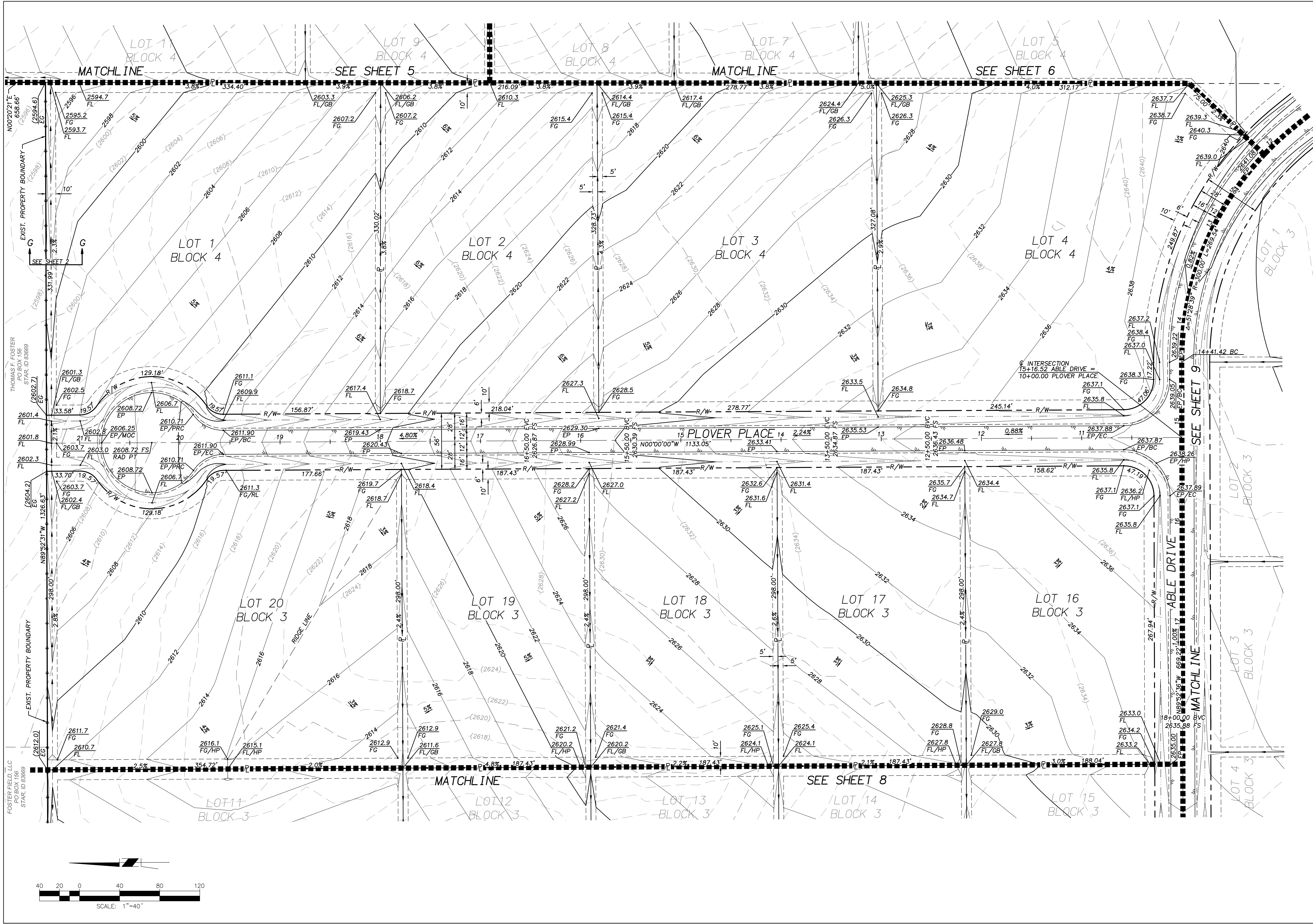
DATE: 6/7/2021

3313 W CHERRY LANE, #607  
MERIDIAN, ID 83642  
208.918.0928  
thomash@bluepeakeng.com

**GARLAND W. REICH**  
6165 WINDMILL RIM DR.  
STAR, ID 83669

**BRAD AND DAMA HILD TRUST**  
6165 WINDMILL RIM DR.  
STAR, ID 83669





**DRAWING ISSUE RECORD**

DATE	DESCRIPTION

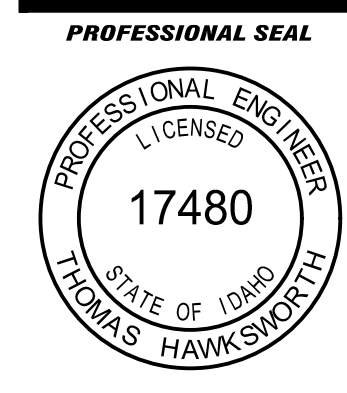
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NO.	DATE	DESCRIPTION

**PROJECT NAME**

**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO

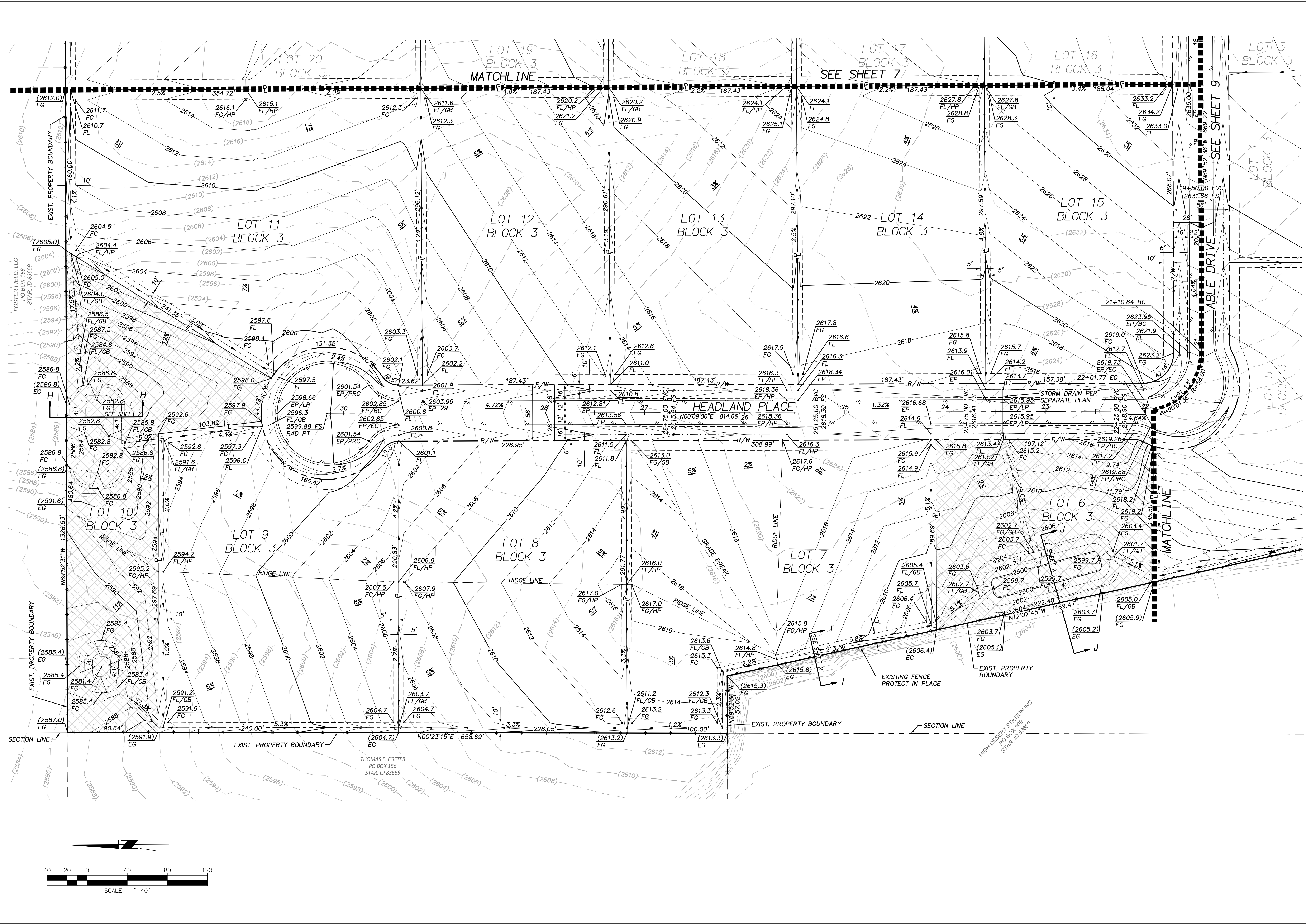
**PRELIMINARY - NOT FOR CONSTRUCTION**



**SHEET TITLE**  
**ROUGH GRADING PLAN**

**SHEET NUMBER**  
**7 of 10**

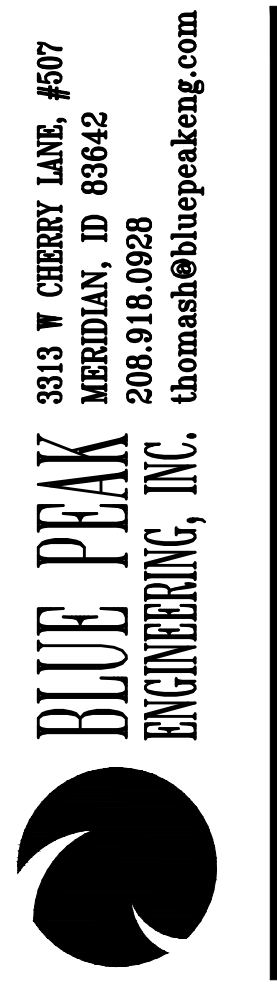
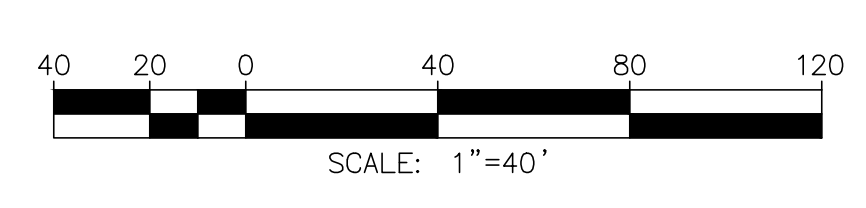
**DATE:** 6/7/2021



FOSTER FIELD, LLC  
 PO BOX 156  
 STAR, ID 83669

THOMAS F. FOSTER  
 PO BOX 156  
 STAR, ID 83669

HIGH DESERT STATION, INC.  
 PO BOX 588  
 STAR, ID 83669



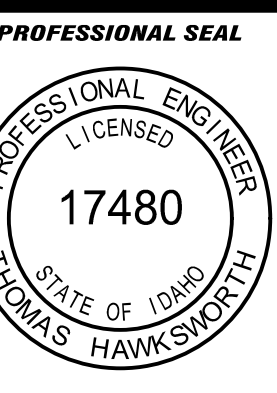
3813 W CHERRY LANE, #607  
 MERIDIAN, ID 83642  
 208.918.0928  
 thomash@bluepeakeng.com

DRAWING ISSUE RECORD  
 DATE DESCRIPTION

REVISION RECORD  
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PROJECT NAME

**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO  
**PRELIMINARY - NOT FOR CONSTRUCTION**

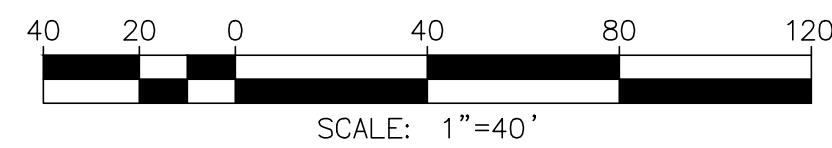
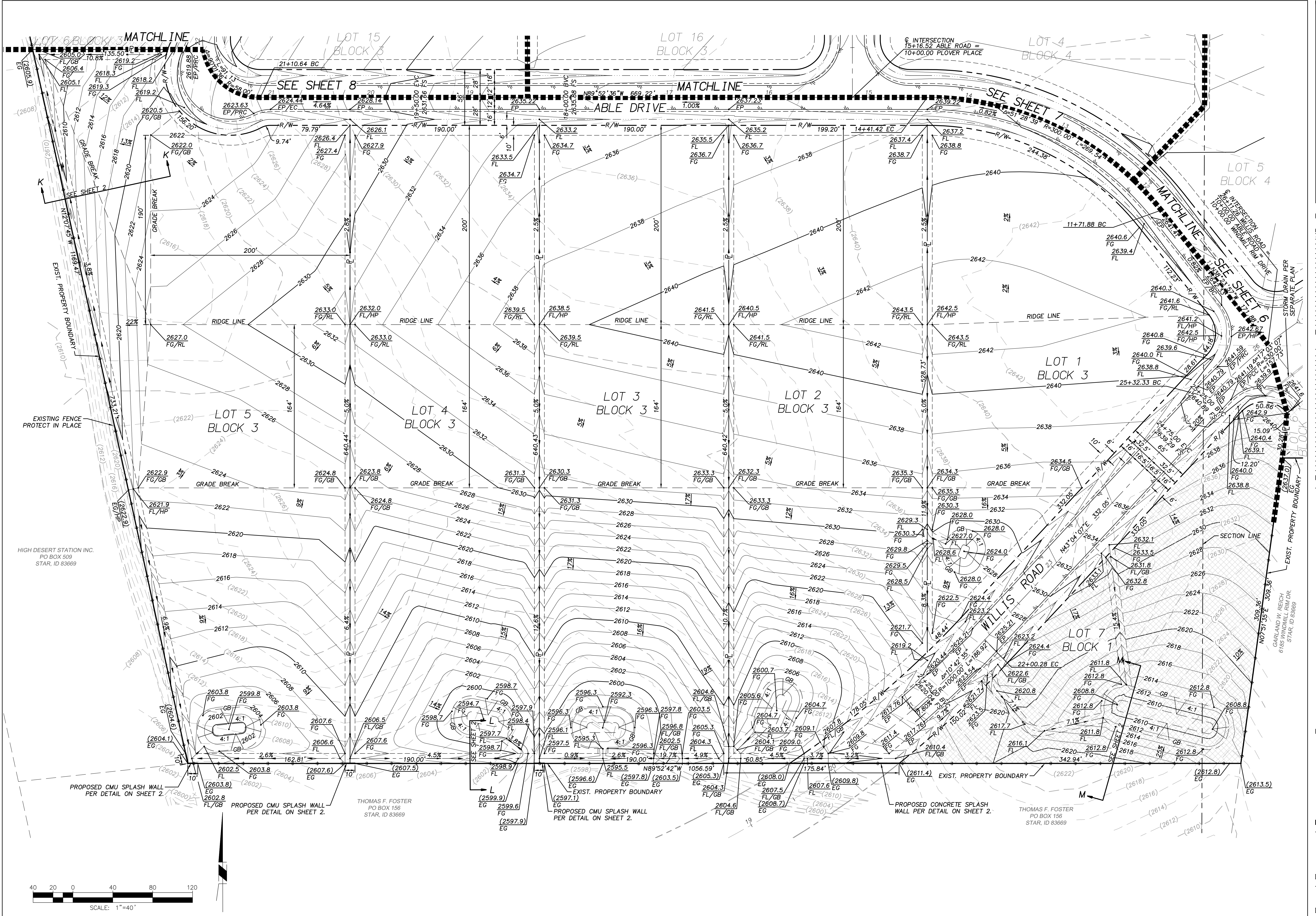


SHEET TITLE  
**ROUGH GRADING PLAN**

SHEET NUMBER

8 of 10

DATE: 6/7/2021



**DRAWING ISSUE RECORD**

DATE	DESCRIPTION

**REVISION RECORD**

NO.	DATE	DESCRIPTION

PROJECT NAME

**THUNDER RIDGE SUBDIVISION**  
 CANYON COUNTY, IDAHO

**PRELIMINARY - NOT FOR CONSTRUCTION**



SHEET TITLE  
**ROUGH GRADING PLAN**

