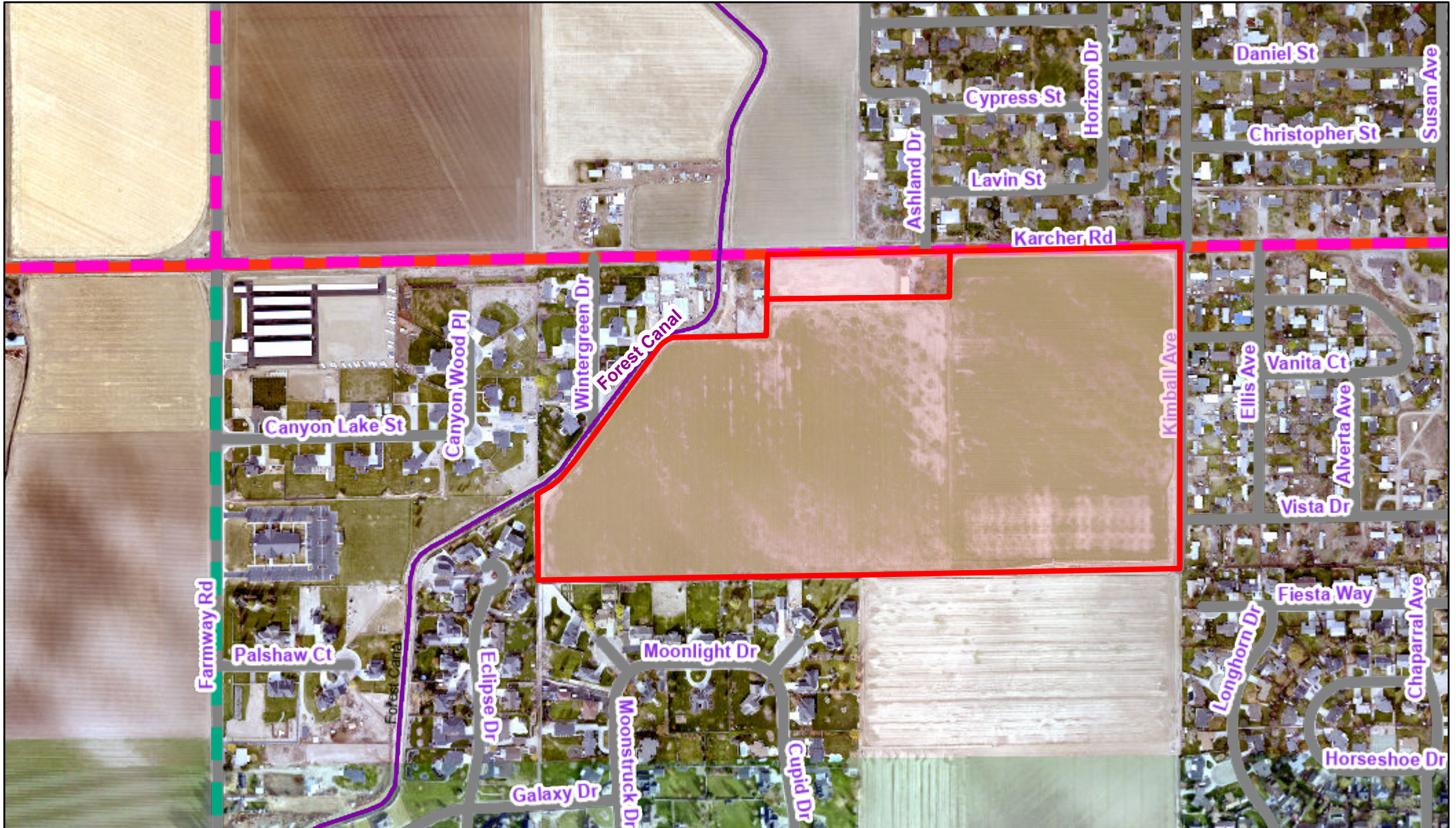
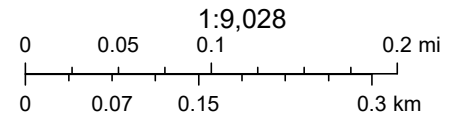


Canyon County, ID Web Map



6/27/2023, 1:54:22 PM

- Multiple Parcel Search_Query result
- Hydro_NHDFlowline
- Hydro_NHDFlowline
- CanyonCountyRoads Hwy
- CanyonCountyRoads Roads
- ITDFunctionalClassification Minor Arterial
- ITDFunctionalClassification Other Principal Arterials
- Canyon County Imagery_2019 Red: Band_1



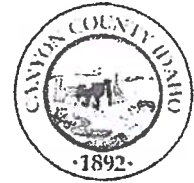
Bureau of Land Management, State of Oregon, State of Oregon DOT, State of Oregon GEO, Esri Canada, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

MASTER APPLICATION

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11th Avenue, #140, Caldwell, ID 83605

www.canyonco.org/dsd.aspx Phone: 208-454-7458 Fax: 208-454-6633



PROPERTY OWNER	OWNER NAME: <input checked="" type="checkbox"/> 1. William B. McGuire 2011 Revocable Trust <input checked="" type="checkbox"/> 2. Glen C. Eaton, Trustee, The William B. McGuire 2021 Irrevocable Trust
	MAILING ADDRESS: [REDACTED]
	PHONE: [REDACTED] EMAIL: [REDACTED]

I consent to this application and allow DSD staff / Commissioners to enter the property for site inspections. If owner(s) are a business entity, please include business documents, including those that indicate the person(s) who are eligible to sign.

Signature: [Handwritten Signature]

Date: 5-27-2022

(AGENT)	CONTACT NAME: Penelope Constantikes
ARCHITECT ENGINEER BUILDER	COMPANY NAME: Riley Planning Services LLC
	MAILING ADDRESS: P.O. Box 405, Boise, ID 83701
	PHONE: 208.908.1609 EMAIL: penelope@rileyplanning.com

SITE INFO	STREET ADDRESS: 15453 Karcher Road, Caldwell
	PARCEL #: R3286200000 LOT SIZE/AREA: 69.161 R3286201000
	LOT: BLOCK: SUBDIVISION:
	QUARTER: N 1/4 SECTION: 16 TOWNSHIP: 3N RANGE: 3W
	ZONING DISTRICT: AG FLOODZONE (YES/NO): No

HEARING LEVEL APPS	<input type="checkbox"/> CONDITIONAL USE <input type="checkbox"/> COMP PLAN AMENDMENT <input checked="" type="checkbox"/> CONDITIONAL REZONE
	<input type="checkbox"/> ZONING AMENDMENT (REZONE) <input type="checkbox"/> DEV. AGREEMENT MODIFICATION <input type="checkbox"/> VARIANCE > 33%
	<input type="checkbox"/> MINOR REPLAT <input type="checkbox"/> VACATION <input type="checkbox"/> APPEAL
	<input type="checkbox"/> SHORT PLAT SUBDIVISION <input checked="" type="checkbox"/> PRELIMINARY PLAT SUBDIVISION <input type="checkbox"/> FINAL PLAT SUBDIVISION

DIRECTORS DECISION APPS	<input type="checkbox"/> ADMINISTRATIVE LAND DIVISION <input type="checkbox"/> EASEMENT REDUCTION <input type="checkbox"/> SIGN PERMIT
	<input type="checkbox"/> PROPERTY BOUNDARY ADJUSTMENT <input type="checkbox"/> HOME BUSINESS <input type="checkbox"/> VARIANCE 33% >
	<input type="checkbox"/> PRIVATE ROAD NAME <input type="checkbox"/> TEMPORARY USE <input type="checkbox"/> DAY CARE
	<input type="checkbox"/> OTHER

CASE NUMBER: SD2022-0044	DATE RECEIVED: 9/8/2022
RECEIVED BY: SH	APPLICATION FEE: \$2,190 (CK) MO CC CASH

PRELIMINARY PLAT SUBMITTAL LIST

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11th Avenue, #140, Caldwell, ID 83605

www.canyonco.org/dsd.aspx Phone: 208-454-7458 Fax: 208-454-6633



THE FOLLOWING ITEMS MUST BE SUBMITTED WITH THIS CHECKLIST:

<input checked="" type="checkbox"/> Master Application completed and signed
<input checked="" type="checkbox"/> Irrigation Plan
<input checked="" type="checkbox"/> Review and approval by Idaho Department of Water Resources and Southwest District Health
<input checked="" type="checkbox"/> Detailed letter fully describing the request or project, include total number of lots, buildable lots, open space lots, size of lots, improvements and how you will mitigate adverse impacts
<input checked="" type="checkbox"/> Subdivision Worksheet
<input checked="" type="checkbox"/> Neighborhood Meeting Sign-Up sheet and copy of neighbor letter
<input type="checkbox"/> Private Road Name application (if internal roads are private)
<input type="checkbox"/> Easement reduction application (if requesting an easement width less than 60 feet)
<input checked="" type="checkbox"/> Preliminary Drainage Plan
<input checked="" type="checkbox"/> Preliminary Irrigation Plan
<input checked="" type="checkbox"/> Preliminary Grading plan
<input checked="" type="checkbox"/> Copy of Preliminary Plat
<input checked="" type="checkbox"/> Deed or evidence of property interest to all subject properties.
<input checked="" type="checkbox"/> \$1440 + \$10/lot + \$100 (if in a city area of impact) non-refundable fee

1550

NOTES:

1. After the plat is reviewed and found to be in compliance, an **additional five (5) copies and one electronic version of the final plat** shall be submitted.

PROCESS: PUBLIC HEARING

MASTER APPLICATION

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11th Avenue, #140, Caldwell, ID 83605

www.canyonco.org/dsd.aspx Phone: 208-454-7458 Fax: 208-454-6633



PROPERTY OWNER	OWNER NAME: <input checked="" type="checkbox"/> 1. William B. McGuire 2011 Revocable Trust <input checked="" type="checkbox"/> 2. Glen C. Eaton, Trustee, The William B. McGuire 2021 Irrevocable Trust
	MAILING ADDRESS: [REDACTED]
	PHONE: [REDACTED] EMAIL: [REDACTED]

I consent to this application and allow DSD staff / Commissioners to enter the property for site inspections. If owner(s) are a business entity, please include business documents, including those that indicate the person(s) who are eligible to sign.

Signature: [Signature] Date: 05/27/2022

(AGENT) ARCHITECT ENGINEER BUILDER	CONTACT NAME: Penelope Constantikes
	COMPANY NAME: Riley Planning Services LLC
	MAILING ADDRESS: P.O. Box 405, Boise, ID 83701
	PHONE: 208.908.1609 EMAIL: penelope@rileyplanning.com

SITE INFO	STREET ADDRESS: 15453 Karcher Road, Caldwell		
	PARCEL #: R3286200000 R3286201000	LOT SIZE/AREA: 69.161	
	LOT:	BLOCK:	SUBDIVISION:
	QUARTER: N 1/4	SECTION: 16	TOWNSHIP: 3N RANGE: 3W
	ZONING DISTRICT: AG	FLOODZONE (YES/NO):	No

HEARING LEVEL APPS	<input type="checkbox"/> CONDITIONAL USE	<input type="checkbox"/> COMP PLAN AMENDMENT	<input checked="" type="checkbox"/> CONDITIONAL REZONE
	<input type="checkbox"/> ZONING AMENDMENT (REZONE)	<input type="checkbox"/> DEV. AGREEMENT MODIFICATION	<input type="checkbox"/> VARIANCE > 33%
	<input type="checkbox"/> MINOR REPLAT	<input type="checkbox"/> VACATION	<input type="checkbox"/> APPEAL
	<input type="checkbox"/> SHORT PLAT SUBDIVISION	<input type="checkbox"/> PRELIMINARY PLAT SUBDIVISION	<input type="checkbox"/> FINAL PLAT SUBDIVISION

DIRECTORS DECISION APPS	<input type="checkbox"/> ADMINISTRATIVE LAND DIVISION	<input type="checkbox"/> EASEMENT REDUCTION	<input type="checkbox"/> SIGN PERMIT
	<input type="checkbox"/> PROPERTY BOUNDARY ADJUSTMENT	<input type="checkbox"/> HOME BUSINESS	<input type="checkbox"/> VARIANCE 33% >
	<input type="checkbox"/> PRIVATE ROAD NAME	<input type="checkbox"/> TEMPORARY USE	<input type="checkbox"/> DAY CARE
	<input type="checkbox"/> OTHER _____		

CASE NUMBER:	DATE RECEIVED:
RECEIVED BY:	APPLICATION FEE: CK MO CC CASH

IRRIGATION PLAN APPLICATION

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11th Avenue, #140, Caldwell, ID 83605

www.canyonco.org/dsd.aspx Phone: 208-454-7458 Fax: 208-454-6633



Applicant(s) Penelope Constantikes, Riley Planning Services 208.908.1609
Name Daytime Telephone Number
P.O. Box 405 P.O. Box 405, Boise, ID 83701
Street Address City, State Zip

Representative Name Same
Daytime Telephone Number / E-mail Address
Street Address City, State Zip

Location of Subject Property: 15453 Karcher Road, Caldwell / SW corner of Karcher and Kimball
Two Nearest Cross Streets or Property Address City

Assessor's Account Number(s): R 32862010000 / R32862000000 Section 16 Township 3N Range 3W

This land:

- Has water rights available to it. Irrigation well and domestic well only - no surface water rights
 Is dry and has no water rights available to it. If dry, please sign this document and return to the Development Services Department representative from whom you received it.

Idaho Code 31-3805 states that when all or part of a subdivision is "located within the boundaries of an existing irrigation district or canal company, ditch association, or like irrigation water delivery entity ... no subdivision plat or amendment to a subdivision plat or any other plat or may recognized by the city or county for the division of land will be accepted, approved, and recorded unless:"

- a. The appropriate water rights and assessment of those water rights have been transferred from said lands or excluded from an irrigation entity by the owner; or
- b. The owner, person, firm, or corporation filing the subdivision plat or amendment to a subdivision plat or map has provided underground tile or conduit for lots of one (1) acre or less, or a suitable system for lots of more than one (1) acre which will deliver water to those land owners within the subdivision who are also within the irrigation entity with the appropriate approvals:
 1. For proposed subdivisions located within negotiated area of city impact, both city and county zoning authorities must approve such irrigation system in accordance with Idaho Code Section 50-1306. In addition, the irrigation entity charged with the delivery of water to said lands must be advised regarding the irrigation system.

2. For proposed subdivisions outside of negotiated areas of city impact, the delivery system must be approved by the Planning and Zoning Commission and the Board of County Commissioners with the advice of the irrigation entity charged with the delivery of water to said lands.

To better understand your irrigation request, we need to ask you a few questions. A list of the map requirements follows the short questionnaire. **Any information missing information may result in the delay of your request before the Planning and Zoning Commission and ultimately the approval of your irrigation plan by the Board of County Commissioners.**

1. Are you within an area of negotiated City Impact? Yes No
If yes, please include a copy of approvals by the City Planning & Zoning Commission and City Council of your Irrigation Plan.

2. What is the name of the irrigation and drainage entities servicing the property?

Irrigation: N/A

Drainage: No Drianage District

3. How many acres is the property being subdivided? 69.161

4. What percentage of this property has water? 100

5. How many inches of water are available to the property? 301.50 AFY Irrigation +0.04 Domestic

6. How is the land currently irrigated? Surface Irrigation Well
 Sprinkler Above Ground Pipe Underground Pipe

7. How is the land to be irrigated after it is subdivided? Surface Irrigation Well
 Sprinkler Above Ground Pipe Underground Pipe

8. Please describe how the head gate/pump connects to the canal and irrigated land and where ditches and/or pipes go.

9. Are there irrigation easement(s) on the property? Yes No Ditch is located in parcel to the south

10. How do you plan to retain storm and excess water on each lot?

Road drainage and front of the lot will be collected in roadside swales; the remainder of the drainage (rear portion of lot) will be held on the lots

11. How do you plan to remove the storm water /excess irrigation water prior to it entering the established drainage system? (i.e. oil, grease, contaminated aggregates)

N/A

===== Applicant Acknowledgement =====

I, the undersigned, agree that prior to the Development Services Department accepting this application I am responsible to have all of the required information and site plans.

I further acknowledge that the irrigation system, as approved by the Planning and Zoning Commission and ultimately the Board of County Commissioners, must be bonded and/or installed prior the Board's signature on the final plat.

Signed: _____ Date: ____/____/____
Property Owner (Application Submitted)

Signed: Penelope Constantines, Riley Planning Date: 8/30/22
Applicant/Representative (if not property owner) (Application Submitted)

Accepted By: _____ Date: ____/____/____
Director / Staff

Irrigation Plan Map Requirements

The irrigation plan **must be on a scalable map** and show all of the irrigation system including all supply and drainage structures and easements. Please include the following information on you map:

- 1 All canals, ditches, and laterals with their respective names.
- 2 Head gate location and/or point of delivery of water to the property by the irrigation entity.
- 3 Rise locations and types, if any.
- 4 Easements of all private ditches that supply adjacent properties (i.e. supply ditches and drainage ways).
- 5 Slope of the property in various locations.
- 6 Direction of water flow (use short arrows → on your map to indicate water flow direction).
- 7 Direction of wastewater flow (use long arrows -----→ on you map to indicate wastewater direction).
- 8 Location of drainage ponds or swales, anywhere wastewater will be retained on the property.
- 9 Other information: _____

Also, provide the following documentation: N/A

- Copy of any water users' association / agreement (s) that are currently in effect, which outlines water schedules and maintenance responsibilities.



RECEIPT

Paid By:

RILEY PLANNING SERVICES
P O BOX 405 BOISE ID 83701

For:

TILLMAN RIDGE SUBDIVISION
SW CORNER-KARCHE & KIMBALL
CALDWELL 83607 ID

Account Number: 011028

Date	Service(s)	Charges	Payments
30-Jun-22	Pre- Development Meeting	100.00	
01-Jul-22	Payment Pre- Development Meeting - TILLMAN RIDGE SUBDIVISION [012202]		-100.00

Amount Due 0.00

Payment method Check

Receipt Number 164836

Reference # 012202/011028 ck # 474

Message TILLMAN RIDGE SUBDIVISION

Printed on July 1, 2022 10:50 AM

Janis Davis

Healthier Together

13307 Miami Lane - Caldwell, Idaho 83607 - (208) 455-5400 - Fax (208) 455-5405

SUBDIVISION WORKSHEET

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11th Avenue, #140, Caldwell, ID 83605

www.canyonco.org/dsd.aspx Phone: 208-454-7458 Fax: 208-454-6633



GENERAL

- HOW MANY LOTS ARE YOU PROPOSING?**
Residential 54 Non-buildable 0 Common 0
- AVERAGE LOT SIZE OF THE RESIDENTIAL PARCELS**
1.07 ACRES

IRRIGATION

- IRRIGATION WATER IS PROVIDED VIA:**
 Irrigation Well Surface Water
- WHAT PERCENTAGE OF THE PROPERTY HAS WATER?** 100 %
- HOW MANY INCHES OF WATER ARE AVAILABLE TO PROPERTY?** 301.50 AFY Irrigation +0.04 Domestic
- HOW DO YOU PLAN TO RETAIN STORM AND EXCESS WATER ON EACH LOT?**
See attached preliminary Engineering
- HOW DO YOU PLAN TO PROCESS STORM WATER / EXCESS IRRIGATION WATER PRIOR TO IT ENTERING THE ESTABLISHED DRAINAGE SYSTEM?**
N/A

ROADS

- ROADS WITHIN THE DEVELOPMENT WILL BE:**
 Public Private N/A

* Private Road names must be approved by the County and the private road application submitted with the Preliminary Plat*

HILLSIDE DEVELOPMENT N/A

- OF THE TOTAL LOTS REQUESTED, HOW MANY OF THE LOTS WILL CONTAIN SLOPES GREATER THAN 15%?**
Residential _____ Non-Buildable _____ Common _____
- WILL THE PROPOSED ROAD (S) BE LOCATED WITHIN ANY AREA THAT HAS SLOPES GREATER THAN 15%?**
 YES NO

*If YES, a grading plan is required.

SUBDIVISION WORKSHEET

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11th Avenue, #140, Caldwell, ID 83605

www.canyonco.org/dsd.aspx Phone: 208-454-7458 Fax: 208-454-6633



SUBDIVISIONS WITHIN AN AREA OF CITY IMPACT

1. **WILL YOU BE REQUESTING WAIVERS OF SUBDIVISION IMPROVEMENT REQUIREMENTS FROM THE CITY?**
 YES NO TBD - see project description

2. **IF YES, WHICH WAIVERS WILL YOU BE REQUESTING?**
 CURBS GUTTERS SIDEWALKS STREETLIGHTS LANDSCAPING

September 6, 2022

Canyon County Board of County Commissioners
Canyon County Planning & Zoning Commission
c/o Daniel Lister, Planning Official
Canyon County Development Services
111 N. 11th Avenue
Caldwell, ID 83605

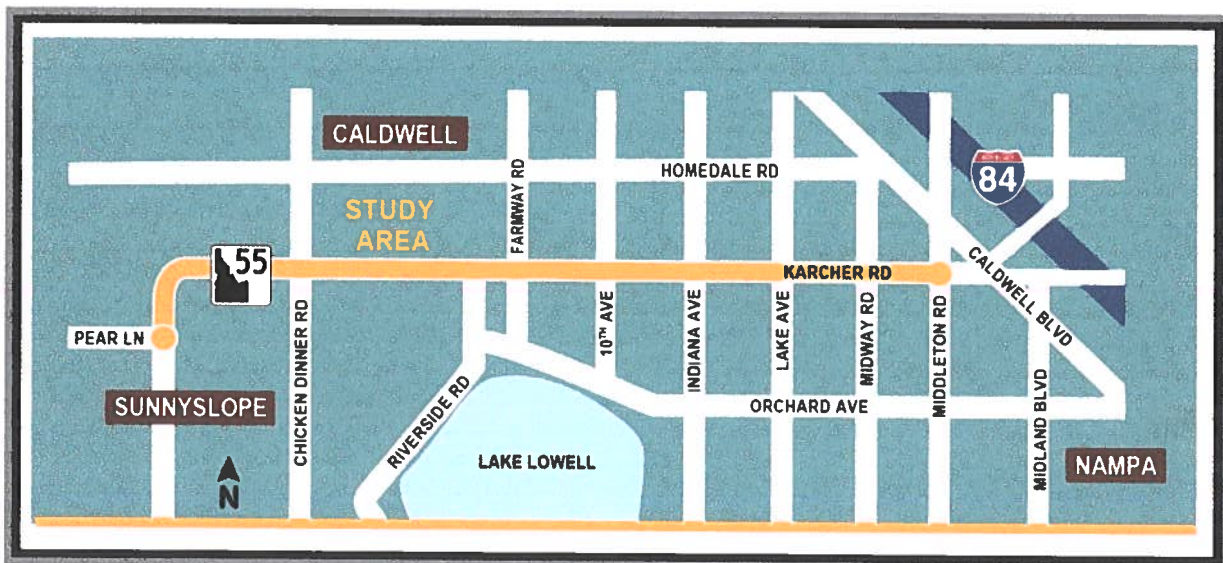
**RE: TILLMAN SUBDIVISION
 REZONE & PRELIMINARY PLAT APPLICATIONS
 15453 KARCHER ROAD**

Dear Commissioners:

On behalf of the property owners, please accept the attached Rezone and Preliminary Plat Applications for Tillman Subdivision. The site is generally located at the southwest corner of Kimball and Karcher Road, Caldwell. This site was previously approved for a 55 lot subdivision by Canyon County in November of 2002.

In summary, the discussion that follows provides information about significant changes occurring in this area of Caldwell, the current and known future conditions, the character of the surrounding area, the requested entitlements and pertinent process information.

The site is composed of two parcels with a total of 69.16 acres and is currently being leased for farming. With the Karcher Road Corridor study underway and initial design materials expected in the near future to increase Karcher Road / HWY 55 to at least 5 lanes, this area of the Caldwell Area of Impact will be substantially changed in character.



According to materials published by Idaho Transportation Department, the intermediate design plans are slated to be available in 2022. The section of the corridor abutting the site will have the suburban road section shown below.



In addition to the substantial change in the character of the State Highway abutting the north boundary of the site, Kimball Avenue is to be closed on the south side of of HWY 55 and access to the higher classified roads will be via Vista Drive to north bound 10th Avenue. Kimball does not extend past the south boundary of the subject site and cannot be extended southward, according to CHD #4, because of existing residences that encroach into area that would be needed for right-of-way. Additional details are available in the Traffic Impact Study provided with the application.

While *Idaho Statute 49-619. SLOW MOVING VEHICLES* does not explicitly prohibit operating slow moving equipment on a state highway there are criteria including prohibiting vehicles that obstruct the free movement of traffic on highways. Inclusion in the City of Caldwell Area of Impact as well as the challenges to farming this site, the proposed subdivision is an appropriate transition with 1+ acre lots complementary in nature to the surrounding subdivisions developed over the last several decades.

A Traffic Impact Study has been prepared and submitted to ITD and CHD #4. The preliminary plat does not include ROW acquisition of additional Karcher Road frontage as the plans have not been finalized and ITD has not approached the applicants regarding acquiring right-of-way. The applicant understands that there will be some loss of area along the north property line. The layout does include compliance with the CHD #4 standards for road width and corner radii.

Supplemental information regarding the Highway 55 Corridor and the above referenced Idaho Statute are included in the application packet.

The proposed subdivision includes 54 lots based on current conditions with an average lot size of 1.07 acres. The subdivision name and street names have been approved by CCDS. This site does not have surface water rights, but does have a priority right irrigation well which will be used for PI

for the proposed residences. City municipal utilities are not available – each site will have a septic system and well. The site is not in a NP Area of concern and a pre-application meeting was held with Southwest District. The receipt for the meeting fee is included in the application packet. Below is a snapshot from the ITD Karcher Corridor Project Page that shows the proposed road alignment, closure of Kimball on both sides of the highway, and the surrounding development. A new subdivision just north of Orchard is approved and in process with access via Widget Avenue. Two undeveloped parcels separate the subject site from the new subdivision to the south.



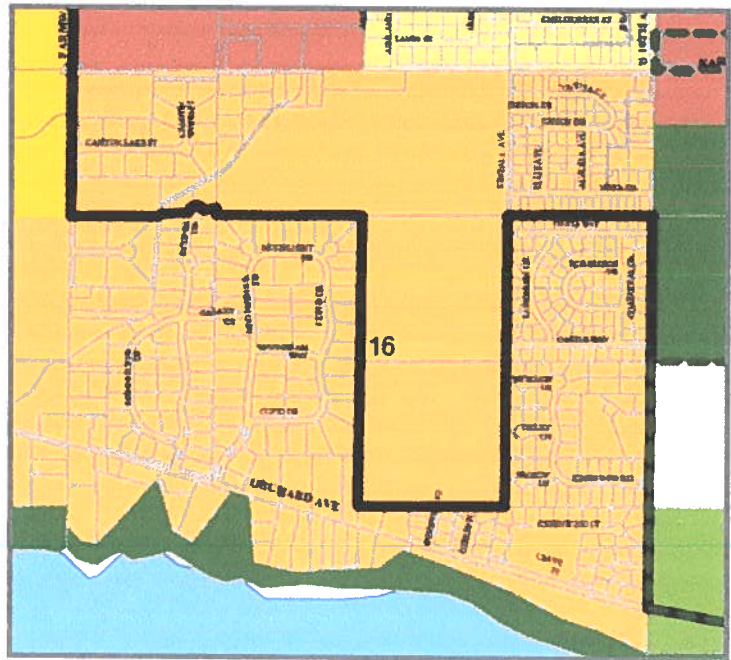
In addition to the preliminary plat application, a rezone (Zoning Map Amendment) to R-1 consistent with the Caldwell Future Land Use Map designation of Residential is requested. Based on the criteria provided by the Canyon County Code, the site location and known future conditions a conditional rezone does not appear to be warranted. The requested zone change is consistent with the surrounding area and reflects the vision of the City of Caldwell based on their published Future Land Use Map. Adequate facilities and services including legal access are available or can be provided and appropriate mitigation is discussed in the TIS. The applicant and project team are happy, however, to defer to the preference of Canyon County.

A rural local road section is proposed for the site. The maximum trip generation during the PM peak hour from this site will be 25 trips although this trip rate will be reduced by the number of lots that will be lost to ITD ROW based on the current factor of 0.47 PM trips per residence.

The site will be substantially isolated due to the highway expansion and this presents an excellent opportunity to request the CHD road section detailed in 3020.020. In addition, there are environmental benefits to the use of appropriately designed and constructed swales. An EPA Stormwater Best Management Practice fact sheet on elimination of curb and gutter is included in the application packet. According to this fact sheet, swales reduce pollutants concentrations as well as other benefits. This subdivision appears to meet the appropriate CHD criteria as well. Of the surrounding subdivisions the preponderance utilize a swale system and many do not have sidewalks.

A pre-application conference was held with CCDS on January 12, 2022, a parcel inquiry was issued by CCD under the Tracking Number PI2019-0361 and a neighborhood meeting was held at the Caldwell City Library on March 30, 2022 with about 15 attendees. Nine of those that attended the meeting signed in on the included neighborhood meeting sign-in sheet.

The requested Zone of R-1 is consistent with both the current 2020 Comprehensive Plan and the in-process Comprehensive Plan update given the site is within the Caldwell Area of Impact and its proximity to the City boundary. The proposed density of one (1) unit per acre is appropriately lower than the allowed density detailed in the Residential Estates information provided in Chapter 5 of the current Comprehensive Plan.



Recently approved annexation into the City of Caldwell and development east of this site that includes commercial services such as a much needed grocery store adjacent to Karcher Road enhances the desirability of residential development in this area.

The project team looks forward to working with CCDS staff and respectfully requests a positive staff analysis, a P&Z Commission recommendation of approval and approval by the Board of County Commissioners.

Please do not hesitate to contact me if you have questions or need additional materials.

Best regards,

RILEY PLANNING SERVICES LLC

Penelope Constantikes
Principal

NEIGHBORHOOD MEETING SIGN-UP

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11th Avenue, #140, Caldwell, ID 83605

www.canyonco.org/dsd.aspx

Phone: 208-454-7458

Fax: 208-454-6633



NEIGHBORHOOD MEETING SIGN UP SHEET CANYON COUNTY ZONING ORDINANCE §07-01-15

Applicants shall conduct a neighborhood meeting for any proposed comprehensive plan amendment, zoning map amendment (rezone), subdivision, variance, conditional use, zoning ordinance map amendment, or other requests requiring a public hearing.

SITE INFORMATION

Site Address: 15453 Karcher Road	Parcel Number: R3286201000; R3286200000	
City: Caldwell	State:	ZIP Code:
Notices Mailed Date:	Number of Acres:	Current Zoning:
Description of the Request: Large lot residential subdivision.		

APPLICANT / REPRESENTATIVE INFORMATION

Contact Name: Penelope Constantikes		
Company Name: Riley Planning Services LLC		
Current address: P.O. Box 405		
City: Boise	State: ID	ZIP Code: 83701
Phone: 208.908.1609	Cell:	Fax:
Email: penelope@rileyplanning.com		

MEETING INFORMATION

DATE OF MEETING: March 30, 2022	MEETING LOCATION: Caldwell City Library	
MEETING START TIME: 6:00	MEETING END TIME: Scheduled for 6:30 - stayed until 7:30	
ATTENDEES: See attached sign in sheet		
NAME (PLEASE PRINT)	SIGNATURE:	ADDRESS:
1.		
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		

10.
11.
12.
13.
14.
15.
16.
17.
18.
19.
20.

NEIGHBORHOOD MEETING CERTIFICATION:

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accordance with Canyon County Zoning Ordinance § 07-01-15.

APPLICANT/REPRESENTATIVE (Please print):

Penelope Constantikes, Riley Planning Services LLC

APPLICANT/REPRESENTATIVE (Signature): P. Constantikes

DATE: 03 / 30 / 2022

Account	OwnerName	InCareOf	Address	City	State	ZipCode
R26678	ODLUM DANIEL		15336 LAVIN ST	CALDWELL	ID	83607
R26679	SCHUYLER RICHARD L		15360 LAVIN ST	CALDWELL	ID	83605
R26680	WRIGHT BRIAN C		15374 LAVIN ST	CALDWELL	ID	83607
R26681	TORRES CYNTHIA G		15406 LAVIN ST	CALDWELL	ID	83607
R26682	REEVES JAMES B SR		15428 LAVIN ST	CALDWELL	ID	83607
R26932	BROWN LYNDSEY		16058 KIMBALL AVE	CALDWELL	ID	83607
R26671	DUNBAR BENJAMIN SCOTT		16057 KIMBALL AVE	CALDWELL	ID	83607
R26664	DEKKER GERALD P		16056 HORIZON DR	CALDWELL	ID	83607
R26944	DEWEESE JEFFRY LEE		15200 KARCHER RD	CALDWELL	ID	83607
R26945	STECHER MUTUAL WATER ASSN \$	AKAGI SHIRLEY =	15073 DAVID ST	CALDWELL	ID	83607
R26945010	MACKENZIE MARK N 2018 FAMILY TRUST		15212 KARCHER RD	CALDWELL	ID	83607
R26672	KRAMER DENNIS AND DEBORAH LIVING TRUST		16029 KIMBALL AVE	CALDWELL	ID	83607
R26663	PLATT WENDELL B		15311 LAVIN ST	CALDWELL	ID	83605
R26662	HARTMAN BECKY JO		15325 LAVIN ST	CALDWELL	ID	83607
R26661	CASTRO FELIX		15359 LAVIN ST	CALDWELL	ID	83607
R26660	SOTO SALVADOR N		15385 LAVIN ST	CALDWELL	ID	83607
R26659	STARK RICHARD M		15409 LAVIN ST	CALDWELL	ID	83607
R26658	PYLES RICHARD		15433 LAVIN ST	CALDWELL	ID	83607
R32869	LEE KAREN		1005 TIETON DR	YAKIMA	WA	98902
R21723	CULLEY ROBERT D		15196 FIESTA WAY	CALDWELL	ID	83607
R21724	SMITH CHERYL K		15214 FIESTA WAY	CALDWELL	ID	83607
R21725	GENTRY KENNETH L JR		15231 FIESTA WAY	CALDWELL	ID	83607
R21726	BOYUM ERIC P		15232 FIESTA WAY	CALDWELL	ID	83607
R21727	BEUGHER SHARON A		15213 FIESTA WAY	CALDWELL	ID	83607
R27627	DESERT DENIM RENTALS LLC		926 N RIVIERA DR	BOISE	ID	83703
R27626	SHARP F DALE		2170 E SPRINGWOOD DR	MERIDIAN	ID	83642
R27625	ESQUIVEL ANTONIO J		15231 DEVON DR	CALDWELL	ID	83607
R27640	ROSSER DAVID A		15884 KIMBALL AVE	CALDWELL	ID	83607
R27628	STEWART LIVING TRUST		15885 ELLIS AVE	CALDWELL	ID	83607
R27629	LYNSKEY BRAD P		15865 ELLIS AVE	CALDWELL	ID	83607
R27639	LYNSKEY BRAD P		15865 ELLIS AVE	CALDWELL	ID	83607
R27630	ARELLANO JOSE		15855 ELLIS AVE	CALDWELL	ID	83607
R27638	STOWE MERVIN R		15856 KIMBALL AVE	CALDWELL	ID	83607
R27631	SHARP DALE V		15839 ELLIS AVE	CALDWELL	ID	83607
R27637	LEOS ENRIQUE		15830 KIMBALL AVE	CALDWELL	ID	83607
R27632	MONTANA JOHN W		15823 ELLIS AVE	CALDWELL	ID	83607
R27636	LEOS ENRIQUE		15830 KIMBALL AVE	CALDWELL	ID	83607
R27633	PROVENCIO CHERYL L		541 W PALMER DR	NAMPA	ID	83686

R27634	HICKMAN FRED C			15216 VISTA DR	CALDWELL	ID	83607
R27635	TUCKER PEGGY			15806 S KIMBALL AVE	CALDWELL	ID	83607
R27649507	CLARKE NATHAN			15207 VISTA AVE	CALDWELL	ID	83607
R27649505	DEANDA IRMA			15221 VISTA DR	CALDWELL	ID	83605
R27649504	QUIBB JUANITA L LIVING TRUST			15237 VISTA DR	CALDWELL	ID	83607
R27618	ROBINSON CLYDE			15973 ELLIS AVE	CALDWELL	ID	83607
R27617	SANCHEZ VIVIAN REBECCA LIVING TRUST			3525 WHEELER CIR	NAMPA	ID	83686
R27616	SHIMMIN RUSSELL R			15235 KARCHER RD	CALDWELL	ID	83605
R27619	ANDERSON LOWELL			15204 DEVON DR	CALDWELL	ID	83607
R27620	HORN SUZANN M		WAGNER SUZANN=	16333 COPPERRIDGE WAY	CALDWELL	ID	83607
R27621	JEFFS JOHN O			15948 KIMBALL AVE	CALDWELL	ID	83607
R32884156	THIEL STEFANIE A			15548 STARGAZE CT	CALDWELL	ID	83607
R32884157	ZINGG RONALD A			15540 STARGAZE CT	CALDWELL	ID	83607
R32884155	JENSON WILLIAM J			15568 STARGAZE CT	CALDWELL	ID	83607
R32884154	BALLANCE HARRY C			15596 MOONLIGHT DR	CALDWELL	ID	83607
R32884153	BOYD LISA LEANN			15624 MOONLIGHT DR	CALDWELL	ID	83607
R32884152	EHMANN BRIAN			15652 MOONLIGHT DR	CALDWELL	ID	83607
R32884151	PRATT MERTON L AND PRATT GLORIA TRUST			15616 VENUS CT	CALDWELL	ID	83607
R32884150	SHEEHAN MARK J			PO BOX 36	CALDWELL	ID	83606
R32884149	SMITH ANGEL MARIE			15702 VENUS CT	CALDWELL	ID	83607
R32884148	STUMM ROBERT S			15722 VENUS CT	CALDWELL	ID	83607
R32906138	HART CONSTANCE L			15766 ECLIPSE DR	CALDWELL	ID	83605
R32906137	ROBERSON FAMILY TRUST			15761 ECLIPSE DR	CALDWELL	ID	83607
R32906139	MANCHESTER LIVING TRUST			15738 ECLIPSE DR	CALDWELL	ID	83607
R32906136	WONG STEVEN			15741 ECLIPSE DR	CALDWELL	ID	83607
R32906140	GOOSSENS SCOTT R			15708 ECLIPSE DR	CALDWELL	ID	83607
R32906141	WJH FAMILY MANAGEMENT LLC			15682 ECLIPSE DR	CALDWELL	ID	83607
R32906100	MOONSTRUCK WEST HOMEOWNERS		MOOSO DWAIN=	15592 E ECLIPSE DR	CALDWELL	ID	83607
R32900200	ALPHA MORTGAGE FUND II TRUSTEE			7971 W MARIGOLD	BOISE	ID	83714
R32900207	ANDERSON JASON W			15892 CANYON WOOD PL	CALDWELL	ID	83607
R32900206	CRILL JOSHUA			15866 CANYON WOOD PL	CALDWELL	ID	83607
R32900205	WRIGHT MATTHEW THOMAS			15809 CANYON LAKE ST	CALDWELL	ID	83607
R32862010	MCGUIRE WILLIAM B 2011 REVOCABLE TRUST			4023 SPYGLASS RD	CHICO	CA	95973
R32909	SANCHEZ JOSEPH F			15579 KARCHER RD	CALDWELL	ID	83607
R32908011	JAHELKA PAMELA R			15633 KARCHER RD	CALDWELL	ID	83607
R32908206	FOWLER PHILLIP			15962 WINTERGREEN DR	CALDWELL	ID	83607
R32908205	WISEMAN ALLEN			15946 WINTERGREEN DR	CALDWELL	ID	83607
R32908201	LANE TOBY J			15939 WINTERGREEN DR	CALDWELL	ID	83607
R32908204	JOB KARMA D			15914 WINTERGREEN DR	CALDWELL	ID	83607

R32908202	KNEER ERIK	15895 WINTERGREEN DR	CALDWELL	ID	83607
R32908203	BROWN MITCHELL JAY	15877 WINTERGREEN DR	CALDWELL	ID	83607
R32862	MCGUIRE WILLIAM B 2011 REVOCABLE TRUST	4023 SPVGLASS RD	CHICO	CA	95973
R32683011	OSTERHOUDT DONALD D	16075 ASHLAND DR	CALDWELL	ID	83607
R32684011A	DOWEN TAD J	1802 FILLMORE ST	CALDWELL	ID	83605
R32684011	DOWEN LARRY J @@	15622 KARCHER RD	CALDWELL	ID	83607
R32683010	HARVEY GEORGE THOMAS	16039 ASHLAND DR	CALDWELL	ID	83607
R32908	JAHELKA PAMELA R	15633 KARCHER RD	CALDWELL	ID	83607
R32908012	JAHELKA PAMELA R	15633 KARCHER RD	CALDWELL	ID	83607

CANYON COUNTY LISTING - R32862 & R32862010 - 300 feet

September 10, 2021



PROPERTY LISTING DISCLAIMER

This information should be used for informational use only and does not constitute a legal document for the description of these properties. Every effort has been made to insure the accuracy of these data & is subject to change without notice; however, the Assessor's Office assumes no liability nor do we imply any particular level of accuracy. The Canyon County Assessor's Office disclaims any responsibility or liability for any direct or indirect damages resulting from the use of these property listings.

March 19, 2022

Dear Neighbor:

Please join me for a neighborhood meeting about a proposed subdivision at 15453 Karcher Road, Caldwell. A vicinity map of the site is provided below. Each lot is larger than 1 acre and a total of 54 lots are proposed. Applications anticipated for this project are a Preliminary Plat and a Rezone of the site to R-1 with Canyon County Development Services.

WHEN: Wednesday, March 30th 6:00 – 6:30 PM

WHERE: Caldwell Public Library, 1010 Dearborn St. in the Dean Miller Conference Room

The purpose of this meeting is to provide neighbors in the vicinity of the site with an opportunity to learn more about the proposed subdivision. A representative of the property owner will be present at the meeting to answer your questions.

This is not a public hearing and no public elected or appointed officials will be in attendance.

Thank you in advance for your interest. I can be reached at penelope@rileyplanning.com.

Riley Planning Services LLC



RILEY PLANNING SERVICES
P.O. BOX 405
BOISE, ID 83701

BOISE ID 836

19 MAR 2022 PM 3 L



Riley PLANNING SERVICES
P.O. Box 405
BOISE, ID 83701
















NEIGHBORHOOD MEETING SIGN-IN SHEET
Wednesday, March 30, 2022 - 6:00 to 6:30 PM
CALDWELL PUBLIC LIBRARY

NAME	ADDRESS	EMAIL ADDRESS
Shari Robinson	15160 Fiesta Way	[REDACTED]
Suganta Sumbhi	15237 Vista Dr	
Regina Becker	15806 S Kamille	
Don Job	15914 Wintergreen	
Dennis L. KRAMER	16029 Kimbell Ave	
Lisa Boyd ^{Brody} King	15024 Moonlight Dr	
Pam Janelka	15633 Karcher	
Joe Sheehan	15698 Venus Ct	
Angel Smith	15702 Venus Ct.	

idwr? →

*

APPLICATION SUBMITTAL MATERIALS

Name	Date modified	Type
 AVERAGE LOT SIZE CALCS	9/3/2022 4:54 PM	Adobe Acrobat D...
 bmp-eliminating-curbs-and-gutters	9/5/2022 7:10 PM	Adobe Acrobat D...
 CHD #4 3020.020	9/8/2022 10:27 AM	Adobe Acrobat D...
 Civil 5 PAGE PACKAGE	8/27/2022 1:44 PM	Adobe Acrobat D...
 DEEDS	9/3/2022 4:53 PM	Adobe Acrobat D...
 GEOTECH REPORT	9/3/2022 10:18 AM	Adobe Acrobat D...
 IDAHO STATUTE 49-619	9/8/2022 10:25 AM	Adobe Acrobat D...
 ITD Corridor Update 09.01.22	9/3/2022 4:28 PM	Adobe Acrobat D...
 Karcher-Kimball TIS	7/14/2022 8:58 PM	Adobe Acrobat D...
 LTR OF INTENT CHECKLIST	9/3/2022 4:38 PM	Adobe Acrobat D...
 MASTER APP_P-PLAT_IRR_SUB WKSHEE...	9/8/2022 11:33 AM	Adobe Acrobat D...
 PRELIMINARY PLAT	8/27/2022 2:01 PM	Adobe Acrobat D...
 PROJECT DESCRIPTION	9/3/2022 11:50 AM	Adobe Acrobat D...
 REZONE APPLICATION	9/8/2022 10:04 AM	Adobe Acrobat D...
 REZONE DESCRIPTION_CLOSURE	9/3/2022 4:50 PM	Adobe Acrobat D...



<https://portal.horrocks.com/arcgis/apps/StorytellingSwipe/index.html?appid=bf7ccb233b8456483be617c57b11233#>

Intermediate Design Plans-2022

The Idaho Transportation Department has modified the preliminary design plans for SH-55 between Farmway and Middleton roads. The preliminary design plans were developed in the SH-55 Pear Lane to Middleton Road study in 2021. To see the modifications, [click here](#).

These modified, intermediate plans will help ITD develop final design plans. The public will be invited to review and comment on final design plans in the summer of 2022.

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46718.00
46779.00
46780.00
46775.00
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44560.00
44385.00
44390.00
44272.00
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44509.00
44391.00
45223.00
45216.00
45035.00
45057.00
44702.00
77792.00
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44293.00
45401.00
44894.00
45116.00
45316.00
53189.00
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50073.00

2526726/54 = 1.07 A

2526726.00

developer shall request the most recent version of the Functional Classification or adopted Transportation Map/Plan from the District and follow its requirements.

3020.020. All arterials and collectors designated as urban roadways shall meet the urban roadway requirements in these standards. The District may administratively waive the urban roadway requirements for local roads at the District’s sole discretion and may consider the following criteria in making such determination:

- A. The use of rural road criteria is consistent with existing developments abutting or within a half (½) mile of the proposed development.
- B. Lot sizes are one (1) acre or greater and plat provisions prohibit re-subdivision.
- C. The anticipated traffic volumes on the roadway are very low volume.
- D. Water and sewer utilities are not available to the site and dry lines are not required and the future construction of these utilities would be more costly and disruptive in an urban roadway section.
- E. The right-of-way is sufficient for the rural and potential future urban roadway sections.
- F. Use of rural section encourages public roads.

3020.030. Collector roadways (refer to functional classification map) shall be required at quarter (¼) section lines unless waived by the District.

3030. Right-of-Way

3030.010. The required width of right-of-way is as follows:

Type of Roadway	Minimum Right-of-Way ¹
Expressway	200 ft.
Arterial ^{2,3}	100 ft.
Collector ^{2,3}	80 ft.
Local Rural Road ⁴	60 ft.
Local Urban Road	56 ft.
Low Volume Local Rural Road	56 ft.
Low Volume Local Urban Road	50 ft.



Idaho Statutes

TITLE 49 MOTOR VEHICLES CHAPTER 6

RULES OF THE ROAD

49-619. SLOW MOVING VEHICLES – RESTRICTIONS AND EXCEPTIONS, EQUIPMENT – EMBLEMS ON CERTAIN MACHINERY – LIMITED EXEMPTION. (1) It shall be unlawful to operate a slow moving vehicle on the highways at the following times and under the following circumstances:

(a) From one-half (1/2) hour after sunset to one-half (1/2) hour before sunrise, unless the vehicle or equipment is equipped with lights as required by section 49-916, Idaho Code;

(b) At a speed in excess of twenty-five (25) miles per hour, unless the vehicle or equipment, including towed units of farm equipment, is designed to safely travel at speeds in excess of twenty-five (25) miles per hour, but no such vehicle or equipment shall exceed the posted maximum speed limit and shall be operated by a licensed driver;

(c) In such a manner as to obstruct the free movement of traffic on the highways.

(2) A slow moving vehicle shall be equipped with a braking system and with a mechanical signaling device as required for other similarly constructed vehicles.

(3) All slow moving vehicles, farm tractors, road rollers and implements of husbandry shall have affixed at the rear of the vehicle an emblem identifying them as slow moving equipment. The Idaho traffic safety commission shall recommend to the board the minimum standards for the emblem.

(4) Emergency and snow removal vehicles owned and operated by the state or its political subdivisions when en route to, from, or in the performance of activities essential to the public safety, shall be exempt from the provisions of paragraphs (a) and (c) of subsection (1) of this section.

History:

[49-619, added 1988, ch. 265, sec. 154, p. 659; am. 2004, ch. 174, sec. 1, p. 552.]

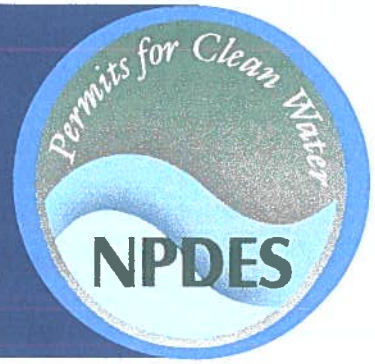
How current is this law?

Search the Idaho Statutes and Constitution



Stormwater Best Management Practice

Eliminating Curbs and Gutters



Minimum Measure: Post Construction Stormwater Management in New Development and Redevelopment
Subcategory: Innovative Practices for Site Plans

Description

Curbs and gutters quickly convey stormwater from the street to the storm drain and, ultimately, to a local receiving water. Consequently, they remove little to no stormwater pollutants. Instead, curbs often trap deposited pollutants in between storms that are washed away during the next storm.

Green infrastructure alternatives to curbs and gutters exist that—in addition to conveying stormwater—can address some of the problems associated with curbs and gutters. These alternatives include grassed swales, vegetated bioswales, bioretention systems or rain gardens, tree boxes and permeable pavement; all of these can provide a range of additional benefits, including stormwater discharge reduction, pollutant removal and enhanced curb appeal (Harris, 2013; Ruby & Gillespie, n.d.; U.S. EPA, 2007). Often, a community can best implement these practices as part of a larger **Green Streets** program.

Many communities require curbs and gutters as standard elements of road sections. Traditionally, the alternative to curbs and gutters has been grassed swales. In some cases, localities would need to revise current local road and drainage regulations to promote greater use of green infrastructure alternatives in lieu of curbs and gutters.

Applicability

Alternatives to curbs and gutters vary according to site or neighborhood conditions. Alternatives that need more space, such as grassed or vegetated swales, are more suitable in low- and medium-density residential zones where the soils, slope and housing density may accommodate them. Developers can overcome space limitations, to an extent, if they implement swales in conjunction with narrower streets or alternative street designs and patterns. For applications in higher-density residential, commercial or industrial areas that require curbs for parking purposes, developers can use regularly spaced curb cuts to direct small accumulations of



Curb cuts that drain to green infrastructure practices can be used as an alternative to traditional curbs and gutters.

Credit: Photo by Center for Neighborhood Technology on Flickr (Creative Commons license)

stormwater to compact practices such as **bioretention practices** or tree boxes. Examples of successful curb cut applications appear in the City of Mesa's *Low Impact Development Toolkit* as well as the California Water Boards' guidance for low impact development projects.

Siting and Design Considerations

Several factors—not just the space constraints mentioned above—determine whether eliminating curbs and gutters is appropriate and which green infrastructure alternative practices best suit a particular site.

The following fact sheets provide more detailed siting and design considerations for suitable green infrastructure alternatives to curbs and gutters:

- Grassed Swales
- Bioretention (Rain Gardens)
- Permeable Pavements
- Site Design and Planning Strategies
- Right-Sized Residential Streets

Development density. Practices such as grassed swales are often difficult to use when development density increases above four dwelling units per acre because the number of driveway culverts increases and the swale essentially becomes a broken-pipe system. In higher-density areas, other practices such as permeable pavement or tree boxes may be more appropriate.

Contributing drainage area. Most green infrastructure practices are for small or “micro” applications, not large drainage areas. For any individual green infrastructure practice serving as an alternative to curbs and gutters, where drainage areas are mostly—if not all—impervious, the drainage area should generally be smaller than 0.5 acres. In many cases, drainage areas less than 0.1 acres may be best.

Soils. Hydrologic soil groups A and B are most suitable for practices with an infiltration component. For hydrologic soil groups C and D, engineers may need to design practices with an underdrain to minimize the ponding of water.

Limitations

A number of real and perceived limitations hinder the use of green infrastructure alternatives to curbs and gutters:

- **Snowplow operations can be more difficult without a defined road edge.** However, roadside swales can offer more room for snow storage at the road edge; thus, smaller snowplows may be adequate. Communities may also mark the road edge using poles to help guide snowplow operators.
- A pavement edge along a swale or pervious area can experience more cracking and structural failure, increasing maintenance costs. Developers can alleviate the potential for pavement failure at the road/grass interface by “hardening” the interface with grass pavers, permeable concrete or geosynthetics placed beneath the grass. Other options include placing a low-rising concrete strip along the pavement edge.
- **Local code can require the use of curbs and gutters.** Communities can consider initiating a local site-planning round table to change some of these regulations, starting with a collective effort to review local codes to promote better site design. The

following resources may be helpful in addressing and overcoming barriers to implementation:

- *Tackling Barriers to Green Infrastructure: An Audit of Local Codes and Ordinances*
- *Green Infrastructure Opportunities and Barriers in the Greater Los Angeles Region*
- *Barriers and Gateways to Green Infrastructure*
- EPA’s Water Quality Scorecard

Maintenance Considerations

Curbs and gutters generally require little maintenance aside from regular street cleaning and debris removal. Communities can remove accumulated pollutants in curbs and gutters using [street sweepers](#). Maintenance requirements for vegetated roadside practices are different and can be more demanding depending on the type of practice. Practices with grass, such as swales or open pervious areas, require mowing during the growing season, while vegetated systems such as bioretention practices require periodic trimming and debris removal. In addition, it may be necessary to remove sediment deposits from the bottom of the roadside practice if clogging becomes a concern.

Effectiveness

Replacing curbs and gutters with green infrastructure practices can decrease peak flow rates and total discharge of stormwater and can provide enhanced pollutant removal in some cases. Developers can enhance the effectiveness of these approaches by implementing them within a comprehensive [Green Streets](#) design. EPA’s [Green Streets handbook](#) provides guidance on how to design and implement an effective Green Streets program. A groundbreaking project in Seattle, Washington, dubbed the [Street Edge Alternatives](#), incorporated vegetated swales, bioretention cells and narrower streets without curbs within a single neighborhood to reduce stormwater discharge and enhance infiltration. Compared to a conventional curb and gutter system, the project reduced the volume of stormwater discharge by 99 percent and reduced peak flows to pre-developed rates. There are additional examples of successful projects that eliminated curbs and gutters in the EPA report [Reducing Stormwater Costs through Low Impact Development \(LID\) Strategies and Practices](#).

Cost Considerations¹

The cost of curbs and gutters ranges from about \$20 to \$40 per linear foot (RS Means, 2019). This standalone cost is often used to justify the cost-effectiveness of this traditional approach. However, this cost does not include drainage pipes or downstream stormwater controls necessary to treat stormwater discharge that is generated by this practice. Especially for new development projects, a comprehensive comparison of all relevant costs of traditional curbs and gutters and alternative practices is necessary to provide a more accurate evaluation of cost-effectiveness. In many cases, sound design using green infrastructure can offer cost savings compared to traditional curb and gutter approaches. In the case of Seattle's *Street Edge Alternatives*, which incorporated bioretention and other

green infrastructure alongside curbless streets, the total cost was approximately \$1 million, compared to an estimated cost of \$1.3 million for a conventional curb and gutter approach. Moreover, at a total project length of 660 feet, curb and gutter costs would have only been around \$40,000 (3 percent of the total conventional cost), illustrating how small their direct costs are relative to total system costs. In a review of the cost of 12 green infrastructure projects compared to conventional counterparts, U.S. EPA (2007) similarly found average cost savings of 35 percent in 11 of the 12 projects.

¹ Prices updated to 2019 dollars. Inflation data obtained from the Bureau of Labor Statistics CPI Inflation Calculator Web site: <https://data.bls.gov/cgi-bin/cpicalc.pl>. Reference dates for the calculation are January 2001 and January 2019.

Additional Information

Additional information on related practices and the Phase II MS4 program can be found at EPA's National Menu of Best Management Practices (BMPs) for Stormwater website

References

- Harris, H. (2013). *Alternatives to curb and gutter on streets: Benefits and challenges* [Fact sheet]. Kansas Local Technical Assistance Program.
- RSMeans. (2019). RSMeans data from Gordian [Online data file]. 3216 Curbs, gutters, sidewalks and driveways.
- Ruby, E., & Gillespie, D. (n.d.). *Low impact development (LID): A sensible approach to land development and stormwater management* [Fact sheet]. Office of Environmental Health Hazard Assessment and the California Water & Land Use Partnership.
- U.S. Environmental Protection Agency (U.S. EPA). (2007). *Reducing stormwater costs through low impact development (LID) strategies and practices* (EPA 841-F-07-006).

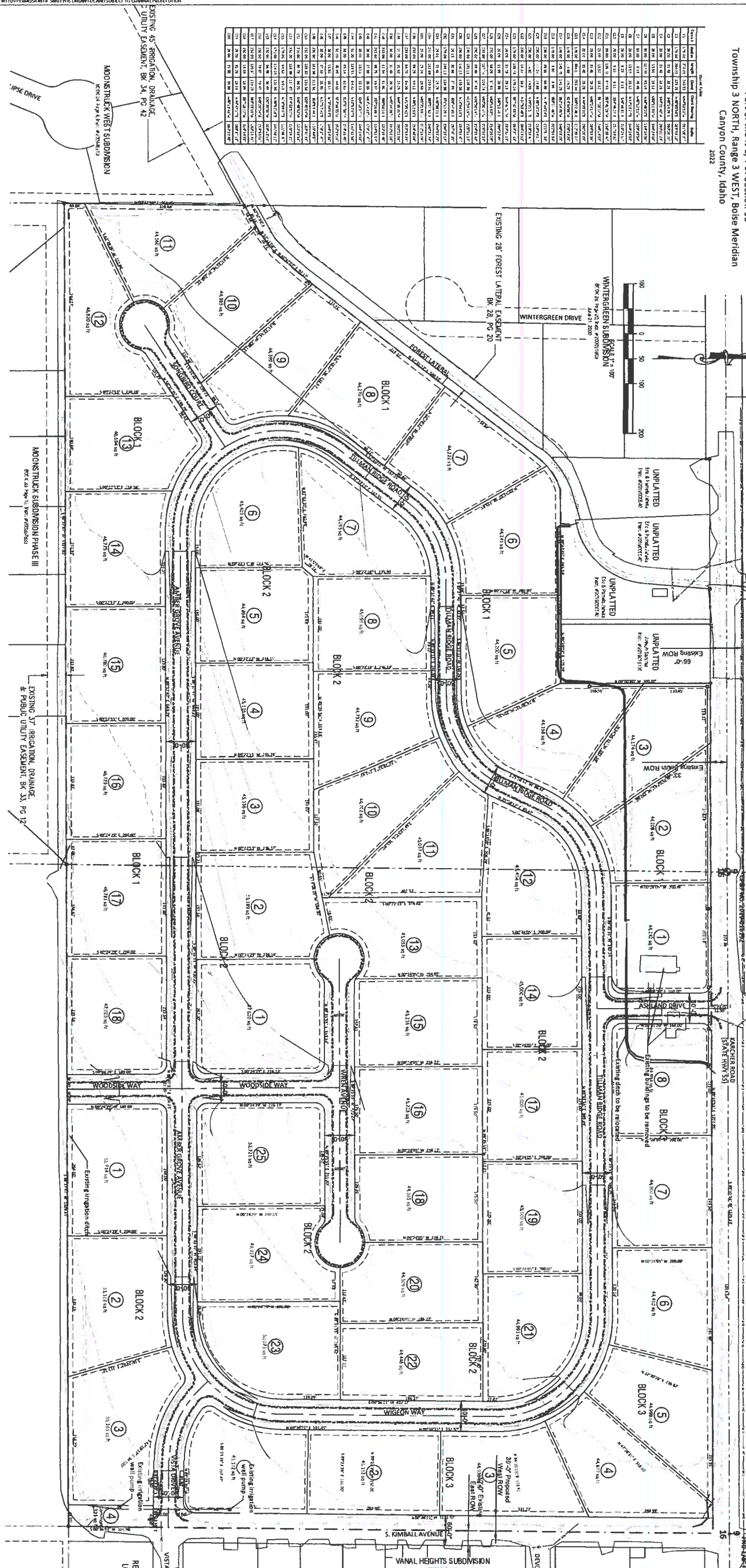
Disclaimer

This fact sheet is intended to be used for informational purposes only. These examples and references are not intended to be comprehensive and do not preclude the use of other technically sound practices. State or local requirements may apply.

PRELIMINARY PLAT
TILLMAN RIDGE SUBDIVISION

Part of the N 1/4 of Section 16
 Township 3 NORTH, Range 3 WEST, Boise Meridian
 Canyon County, Idaho
 2022

Block	Lot	Area (sq. ft.)	Area (ac.)
1	1	4,422	0.101
1	2	4,422	0.101
1	3	4,422	0.101
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1	5	4,422	0.101
1	6	4,422	0.101
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1	98	4,422	0.101
1	99	4,422	0.101
1	100	4,422	0.101



OWNER/DEVELOPER
 WILLIAM MCGUIRE
 4023 Soudress Road
 Chilo, CA 95973
 bill.mcguire.hobie@gmail.com
 (530) 513-0085

ENGINEER
 SMITH CIVIL, INC.
 ROGER L. SMITH, P.E.
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 Eagle, ID 83616
 roger-f.smith@msn.com
 (208) 870-1015

PLANNER
 RILEY PLANNING SERVICES, LLC
 PENelope CONSTANTINES
 300 W. Myrtle Street, Suite 200 B
 PO Box 405
 Boise, ID 83701
 penelope@rileyplanning.com
 (208) 908-1609

ACREAGE
 67.95 acres (2,959,725 sq ft)

ZONING
 AG (Agricultural)

IRRIGATION DISTRICT
 Boise Project Board of Control

SCHOOL DISTRICT
 Caldwell School District

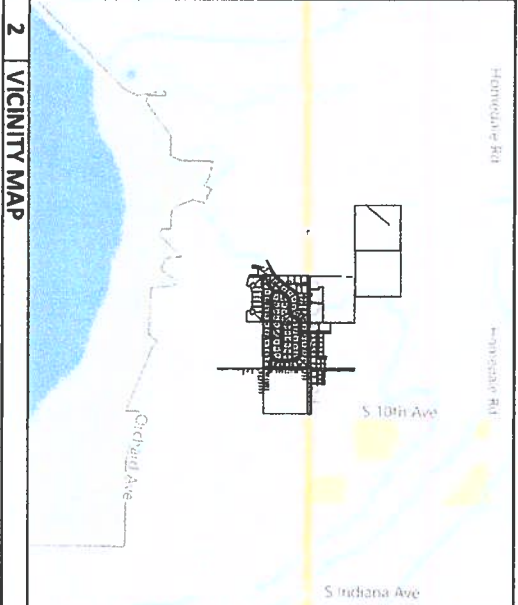
SEWER DISTRICT
 None

FIRE DISTRICT
 Caldwell

FLOOD ZONE
 X

- NOTES**
1. Utilities and drainage easements 5' wide at each corner for line and 10' wide at public R.O.W. and at subdivision exterior boundaries.
 2. Sewer will be provided by individual lot owners using septic drainfields.
 3. Water will be provided by individual lot owners using wells.
 4. Street from drainage will be collected in the borrow areas adjacent to the streets. Lot runoff will be retained on the lot or in the street borrow areas.
 5. Pressure irrigation will be provided using the existing irrigation pumps near the southeast corner of the subdivision.
 6. Power, gas, and communications utilities beyond may vary depending upon utility company routing.
 7. All roads are public.
 8. Site work and utility construction shall be performed in accordance with the requirements of the Idaho Department of Transportation (IDOT) and the Standard for Public Works Construction (SPWC), International Plumbing Code (IPC), OSHA, and all other applicable local, state, national requirements.

1 PRELIMINARY PLAT



2 VICINITY MAP

TILLMAN RIDGE SUBDIVISION
15453 KARCHER ROAD, CANYON COUNTY, ID
William McGuire
PRELIMINARY PLAT

REVISION	
Date	August 26, 2022
Project Number	21014
Drawn	R.J. Smith
Checked	R.J. Smith, P.E.

SMITH
 CIVIL, INC.
 2485 E. Oakborough Ct., Eagle, ID 83616
 (208) 870-1015

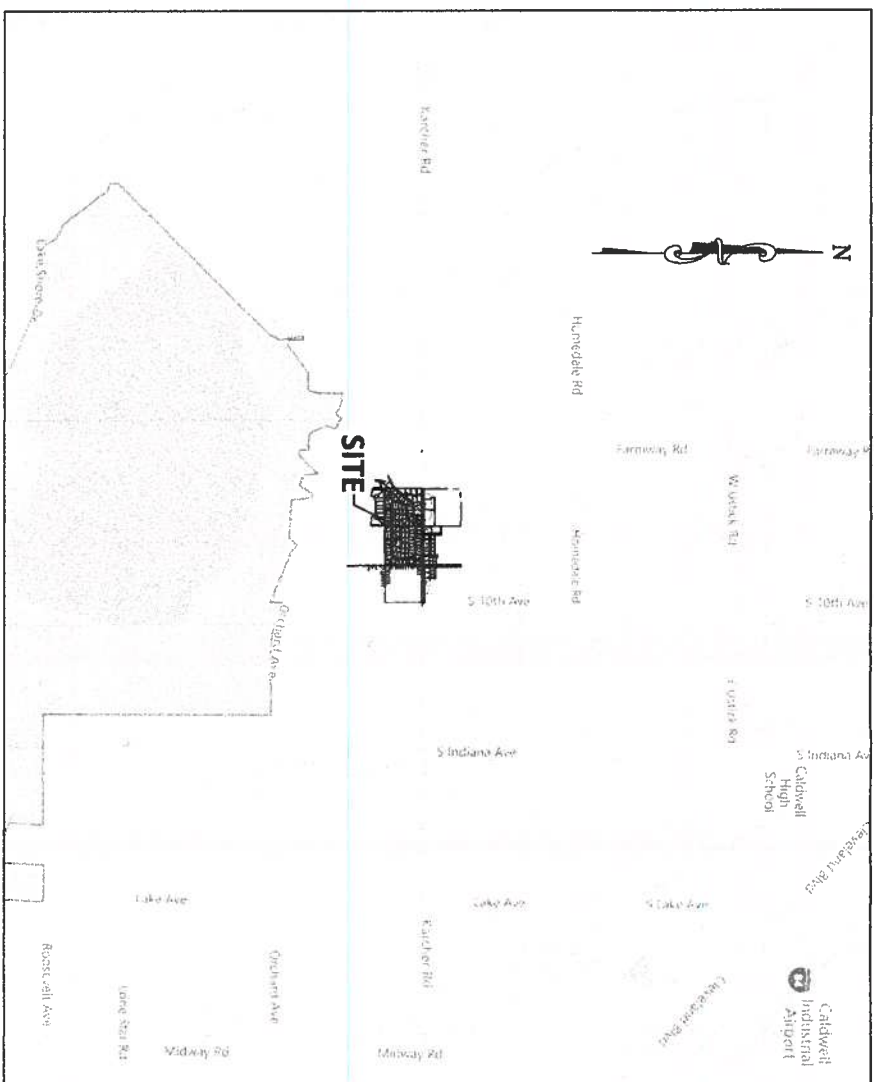
PROFESSIONAL ENGINEER
 8140
 ROGER L. SMITH

Sheet **3**

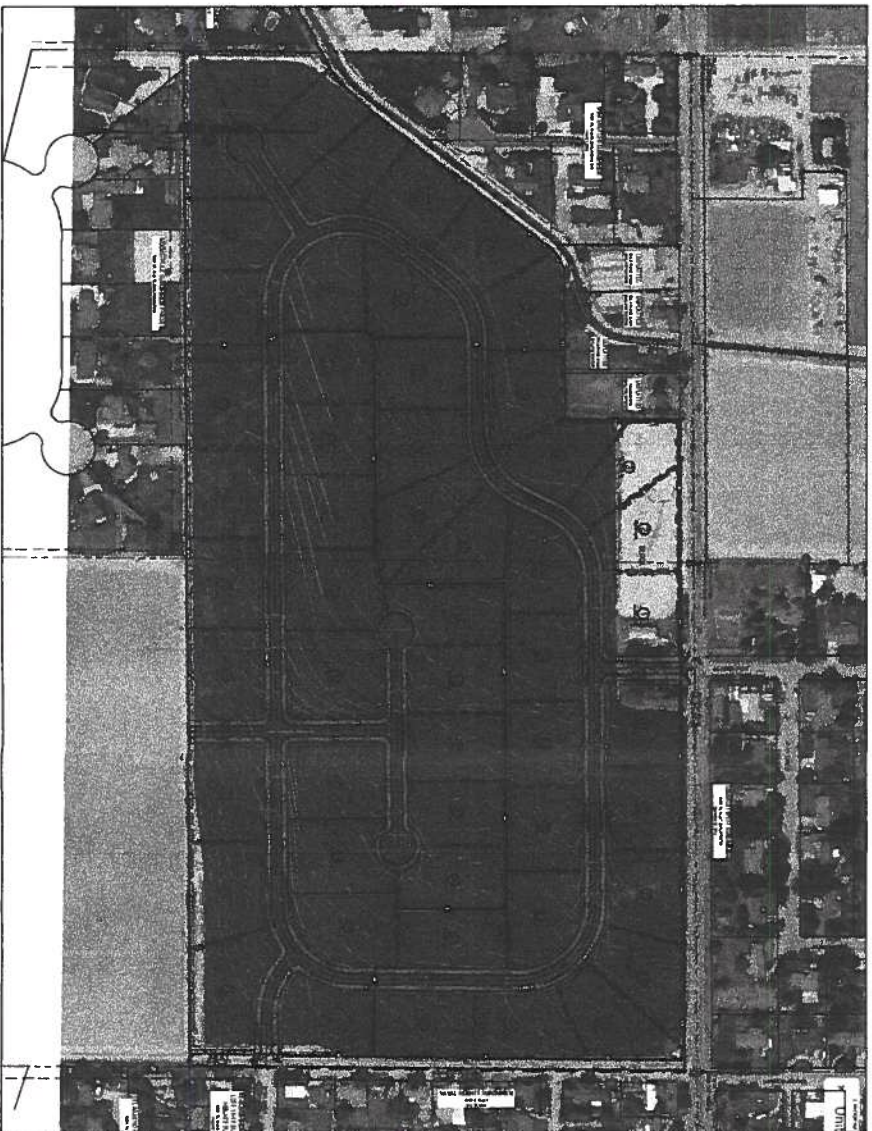
GENERAL LEGEND

- EXISTING WATER MAIN (SIZE)
- NEW WATER MAIN (SIZE)
- EXISTING SEWER MAIN (SIZE)
- NEW SEWER MAIN (SIZE)
- FIRE SERVICE LINE
- EXISTING OVERHEAD POWER
- EDGE OF PAVEMENT
- EXISTING FENCE LINE
- NEW FENCE LINE
- EDGE OF GRAVEL
- PRESSURE IRRIGATION LINE
- UNDERGROUND POWER
- EASEMENT
- EXISTING DECIDUOUS TREE
- SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING SEWER LINE CLEANOUT
- EXISTING POWER POLE
- EXISTING AIR CONDITIONING UNIT
- EXISTING GAS METER
- EXISTING ELECTRICAL METER
- EXISTING TELECOMMUNICATIONS BOX
- EXISTING TELEPHONE JUNCTION BOX
- SPOT ELEVATION
- TOP OF GRAVEL
- TOP OF ASPHALT
- EXISTING
- FINISHED FLOOR
- MATCH EXISTING
- TOP OF CONCRETE
- TOP OF GRAVEL
- SOILS TEST PIT LOCATION

GENERAL VICINITY MAP



AERIAL MAP



**COVER SHEET
TILLMAN RIDGE
SUBDIVISION**

SHEET INDEX

- 1 COVER SHEET
- 2 NOTES
- 3 PRELIMINARY PLAT
- 4 PRELIMINARY GRADING AND DRAINAGE PLAN
- 5 PRELIMINARY IRRIGATION PLAN

PROJECT SPECIFIC INFORMATION

OWNER/DEVELOPER
WILLIAM MCGUIRE
4023 Spyllass Road
Chico, CA 95973
bill.mcguire@hobie@gmail.com
(530) 513-0085

ENGINEER
SMITH CIVIL, INC.
ROGER J. SMITH, P.E.
2485 E. Oakborough Ct.
Eagle, ID 83616
roger-j-smith@msn.com
(208) 870-1015

PLANNER
RILEY PLANNING SERVICES, LLC
PENELOPE CONSTANTINES
300 W. Myrtle Street, Suite 200 B
PO Box 405
Boise, ID 83701
penelope@rileyplanning.com
(208) 908-1609

ACREAGE
67.95 acres (2,959,725 SF)

ZONING
AG (Agricultural)

IRRIGATION DISTRICT
Boise Project Board of Control

SCHOOL DISTRICT
Caldwell School District

SEWER DISTRICT
None

FIRE DISTRICT
Caldwell

FLOOD ZONE
None

REVISED

Date
August 26, 2022

Project Number
21014

Drawn
R J Smith

Checked
R J Smith, P.E.

**TILLMAN RIDGE SUBDIVISION
15453 KARCHER ROAD, CANYON COUNTY, ID
William McGuire
COVER SHEET**



2485 E. Oakborough Ct., Eagle, ID 83616
(208) 870-1015



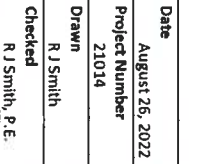
Sheet

1



The location of existing underground utilities are shown approximately only prior to construction. It shall be the responsibility of the contractor to determine the exact location of all existing utilities before commencing work. The contractor is responsible for any and all damage which may occur by failure to exactly locate and protect all utilities. Call 811, Inc. before commencing underground work. (800) 342-1585, (208) 342-1585, or 811.

1 GENERAL CONSTRUCTION NOTES	2 ROADWAY CONSTRUCTION NOTES	5 PRESSURE IRRIGATION NOTES
<p>GENERAL CONSTRUCTION:</p> <ol style="list-style-type: none"> All work shall be completed in accordance with the Idaho Standard for Public Works Construction (latest edition), the Highway Standards and Development Procedures for the Canyon Highway Districts, and the Project Specifications. The more stringent of any of these standards shall be the controlling standards or specifications. The Contractor shall have a copy of the latest Highway Standards and Development Procedures for the Canyon Highway Districts on site at all times during construction (available on the website). Failure to have a current copy of the Standard Specifications on site could be grounds for a stop work order until the situation is resolved. The Contractor shall have plans stamped "Approved for Construction" by Canyon Highway Districts on site at all times. All Contractors, Sub-Contractors, and Utility Contractors shall attend a pre-construction conference a minimum of two (2) days prior to commencing any construction on the project. Contractors shall notify the appropriate agency when materials are on site or inspection of the work is required. No work may begin on any project without twenty-four (24) hours prior notice. All material furnished on, or for the project must meet the minimum requirements of the approving agencies. At the request of the approving agency or the Design Engineer, Contractors shall furnish proof that all materials installed on this project meet the specification requirements set forth in General Construction Note No. 1. Work subject to approval by any governmental agency must be approved prior to: (A) backfilling trenches for pipe; (B) placing of aggregate base; (C) placing of concrete; (D) placing of asphalt paving. Any deviation from the approved plans and specifications must have the applicable agency approval in writing prior to construction. Take all lot and site dimensions and easements from the Final Plat for this development. The contractor shall maintain all existing drainage and irrigation facilities within the construction area until the drainage improvements are in place and functioning. All contractors working within the project boundaries are responsible for compliance with all applicable safety laws of any jurisdictional body. The contractor shall be responsible for all barricades, safety devices and control of traffic within and around the construction area. The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. The contractor assumes all responsibility for any and all damages caused by his failure to exactly locate and preserve any and all underground utilities. Quantity and placement of street lights is contingent upon the electrical design by Idaho Power Company. The contractor shall keep on site at all times a copy of the approved construction plans on which is recorded the actual locations of the constructed pipe line and any other utilities encountered. The contractor shall provide these locations to the design engineer for use in the production of record drawings prior to final approval of the pipe line installation. 	<p>ROADWAY CONSTRUCTION NOTES:</p> <ol style="list-style-type: none"> All Contractors working within the public road right-of-way are required to secure a right-of-way construction permit from Canyon Highway Districts or ITD at least twenty-four (24) hours prior to any construction. Canyon Highway Districts or ITD will inspect all work within the public rights-of-way to include utility trenches above the pipe zone. Abandoned buildings, test pits, or waterways located within current or future right-of-way shall be re-excavated to native soil and backfilled with structural fill per ISPW/C specifications. Provide soils data to verify native material meets the requirements for engineered fill per ISPW/C specifications and a copy of the compaction tests. Canyon Highway Districts will inspect all work within the Right-of-Ways. Set the tops of all valve boxes and sewer manholes flush with the slope of the finished street grades. Canyon Highway Districts will inspect and approve all storm drainage improvements. Place all water valves, blow-offs and manholes so that they do not conflict with any concrete curb and gutter, valley gutter or sidewalk improvements. Retain and protect all utilities unless noted otherwise on these plans. Compaction shall not be less than 95% of the Standard Proctor Density as determined by ASTM D-698. Direction of slope (typical) \rightarrow The contractor is to call Canyon Highway Districts for the inspection of all street construction. 24 hour notice is required. Drainage facilities will not be approved by Canyon Highway Districts unless this inspection is performed. The contractor shall have a stamped Canyon Highway Districts approved, set of plans at the worksite. The contractor shall contact Digline 48 hours prior to digging to verify the location of existing utilities. All construction in the public right-of-way shall conform to the latest edition of the ISPW/C and the Canyon Highway Districts specifications. No exception to district policy, standards, or the ISPW/C will be allowed unless specifically and previously approved in writing by Canyon Highway Districts. If any utility or irrigation facility interferes with required street improvements, all such utilities or irrigation facilities shall be relocated at the owner's expense so as not to interfere with required street improvements. Local street Plant Mix Pavement shall be Class II with a nominal maximum aggregate size of 0.5 inch (1/2"). PG-54-28 (Performance Graded Asphalt Binder) shall be used. A minimum of 0.5% Anti-Stripping additive is specified. All SD numbers refer to the Idaho Standards for Public Works Construction (ISPW/C) Manual Standard Drawings and the Canyon Highway Districts specifications as applicable. Prior to placement of any pavement markings contact Canyon Highway Districts for verification of compliance with policy and existing pavement markings. The Contractor shall be responsible for providing and paying for all costs associated with all testing required by the Project Specifications. All tests shall be performed by a certified testing laboratory and certified test results shall be submitted to the Owner's Engineer. Work performed without certified test results shall not be accepted. Locate subsurface stormwater disposal facilities (including infiltration beds and drywells) at least 25 feet from water mains. This requirement does not apply to catch basins or sand and grease vaults. 	<p>PRESSURE IRRIGATION NOTES:</p> <ol style="list-style-type: none"> Install all crossings of the Public Rights-of-Way, private roadways and travelways with pressure irrigation at a maximum depth of two-and one-half (2-1/2) feet and in an AWVA C-900 pipe sleeve with locator wire. Canyon Highway Districts shall inspect all crossings prior to backfilling. The horizontal separation of potable water mains and non-potable water mains (sanitary sewer, storm drain, and irrigation) shall be a minimum of ten (10) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with Section 542.07 of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) and Section 430.02 of the Wastewater Rules (IDAPA 58.01.16). The horizontal separation of non-potable services and potable water services or potable water mains shall be a minimum of six (6) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with Section 542.07 of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) and Section 430.02 of the Wastewater Rules (IDAPA 58.01.16). Install fender tape with all irrigation mains. Tape shall be two (2) inches wide, purple in color, with the words DANGER - UNSAFE WATER or NON-POTABLE WATER clearly marked along its length. Place the tape between six (6) inches below the surface and eighteen (18) inches above the top of the pipe. Label all irrigation risers and faucets with durable tags carrying the warning DANGER - UNSAFE WATER or NON-POTABLE WATER. Label all valve boxes and vaults with durable tags carrying the warning DANGER - UNSAFE WATER or NON-POTABLE WATER. The valves and boxes are to be located a minimum of ten (10) feet outside of the Public Right-of-Way, private roadways and travelways. Install a reduced pressure backflow preventer in any connection between the potable water system and the pressure irrigation system. The device must be approved by the Idaho Department of Environmental Quality (DEQ) and the Water Company. Provide thrust blocking as required.

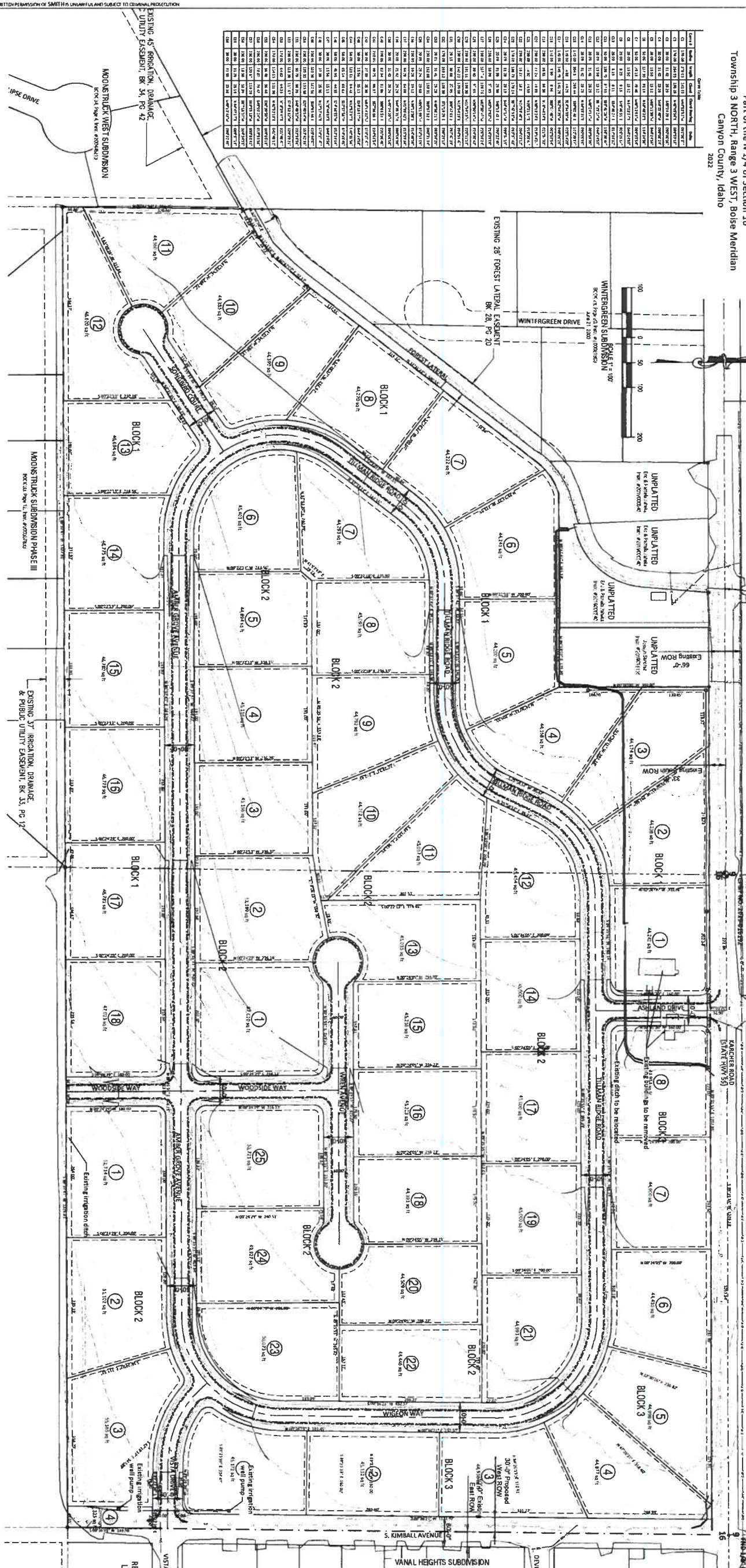
<p>REVISIONS</p> <p>2</p>	<p>Date August 26, 2022</p> <p>Project Number 22014</p> <p>Drawn R.J. Smith</p> <p>Checked R.J. Smith, P.E.</p>	<p style="text-align: center;">TILLMAN RIDGE SUBDIVISION 15453 KARCHER ROAD, CANYON COUNTY, ID William McGuire NOTES</p>	 <p style="text-align: center;">SMITH Civil Engineering</p> <p>2482 E. Oxborough Ct., Eagle, ID 83616 (208) 870-1015</p>
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PRELIMINARY PLAT
TILLMAN RIDGE SUBDIVISION

Part of the N 1/4 of Section 16
 Township 3 NORTH, Range 3 WEST, Boise Meridian
 Canyon County, Idaho
 2022

Corner Table

Corner	North	South	East	West
1	12.00	12.00	12.00	12.00
2	12.00	12.00	12.00	12.00
3	12.00	12.00	12.00	12.00
4	12.00	12.00	12.00	12.00
5	12.00	12.00	12.00	12.00
6	12.00	12.00	12.00	12.00
7	12.00	12.00	12.00	12.00
8	12.00	12.00	12.00	12.00
9	12.00	12.00	12.00	12.00
10	12.00	12.00	12.00	12.00
11	12.00	12.00	12.00	12.00
12	12.00	12.00	12.00	12.00
13	12.00	12.00	12.00	12.00
14	12.00	12.00	12.00	12.00
15	12.00	12.00	12.00	12.00
16	12.00	12.00	12.00	12.00
17	12.00	12.00	12.00	12.00
18	12.00	12.00	12.00	12.00
19	12.00	12.00	12.00	12.00
20	12.00	12.00	12.00	12.00
21	12.00	12.00	12.00	12.00
22	12.00	12.00	12.00	12.00
23	12.00	12.00	12.00	12.00
24	12.00	12.00	12.00	12.00
25	12.00	12.00	12.00	12.00



OWNER/DEVELOPER
 WILLIAM MCGUIRE
 4023 Springass Road
 Chino, CA 95973
 bill.mcguire.hobbs@gmail.com
 (530) 513-0085

ENGINEER
 SMITH CIVIL, INC.
 ROGER J. SMITH, P.E.
 2485 E. Oakborough Ct.
 Eagle, ID 83616
 roger.j.smith@msn.com
 (208) 870-1015

PLANNER
 RILEY PLANNING SERVICES, LLC
 PENELOPE CONSTANTINES
 300 W. Myrtle Street, Suite 200 B
 PO Box 405
 Boise, ID 83701
 penelope@rileyplanning.com
 (208) 908-1509

ACREAGE
 67.95 acres (2,959,725 SF)

ZONING
 Ag (Agricultural)

IRRIGATION DISTRICT
 Boise Project Board of Control

SCHOOL DISTRICT
 Caldwell School District

SEWER DISTRICT
 None

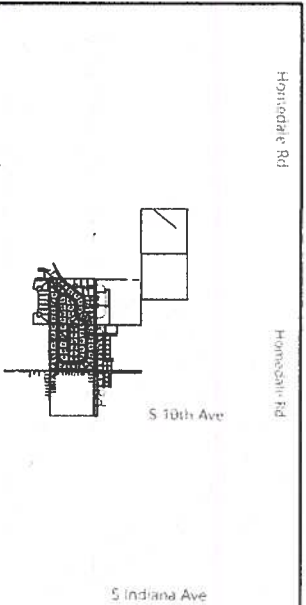
FIRE DISTRICT
 Caldwell

FLOOD ZONE
 X

- NOTES:**
1. Utilities and drainage easements 5' wide at each interior lot line and 10' wide at public ROW and at subdivision exterior boundaries.
 2. Sewer will be provided by individual lot owners using septic drainfields.
 3. Water will be provided by individual lot owners using wells.
 4. Street storm drainage will be collected in the borrow areas adjacent to the streets. Lot runoff will be retained on the lot or in the street borrow areas.
 5. Pressure irrigation will be provided using the existing irrigation pumps near the southeast corner of the subdivision.
 6. Power, gas, and communications utilities should be provided in accordance with the applicable codes and standards.
 7. All roads are public.
 8. Site work and utility construction shall be performed in accordance with the applicable codes and standards.

1 PRELIMINARY PLAT

2 VICINITY MAP

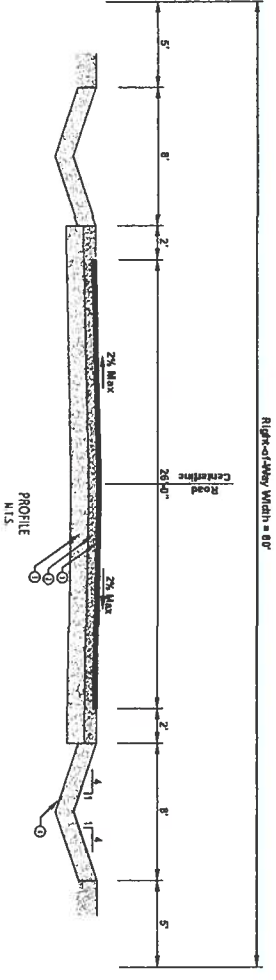


TILLMAN RIDGE SUBDIVISION
15453 KARCHER ROAD, CANYON COUNTY, ID
William McGuire
PRELIMINARY PLAT

REVISED	Date	August 25, 2022
	Project Number	21014
	Drawn	R. Smith
	Checked	R. Smith, P.E.



- NOTES
- 1 All construction shall be per IDOT specifications.
 - 2 Street longitudinal profile grades 0.5% minimum.
 - 3 Asphalt and aggregate base thicknesses are minimum allowed. Actual thickness shall be designed by the engineer based on the traffic index and "R" value of subgrade soils and approved by Canyon Highway District.
 - 4 Vertical curve and horizontal curve requirements based on AASHTO policy on geometric design of highways and streets.
 - 5 Grass conveyance swales and depressed driveway approaches may be constructed for nuisance water only. Storage may not be considered in drainage design.

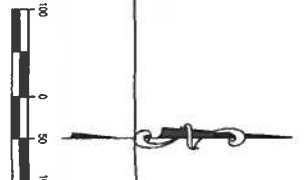
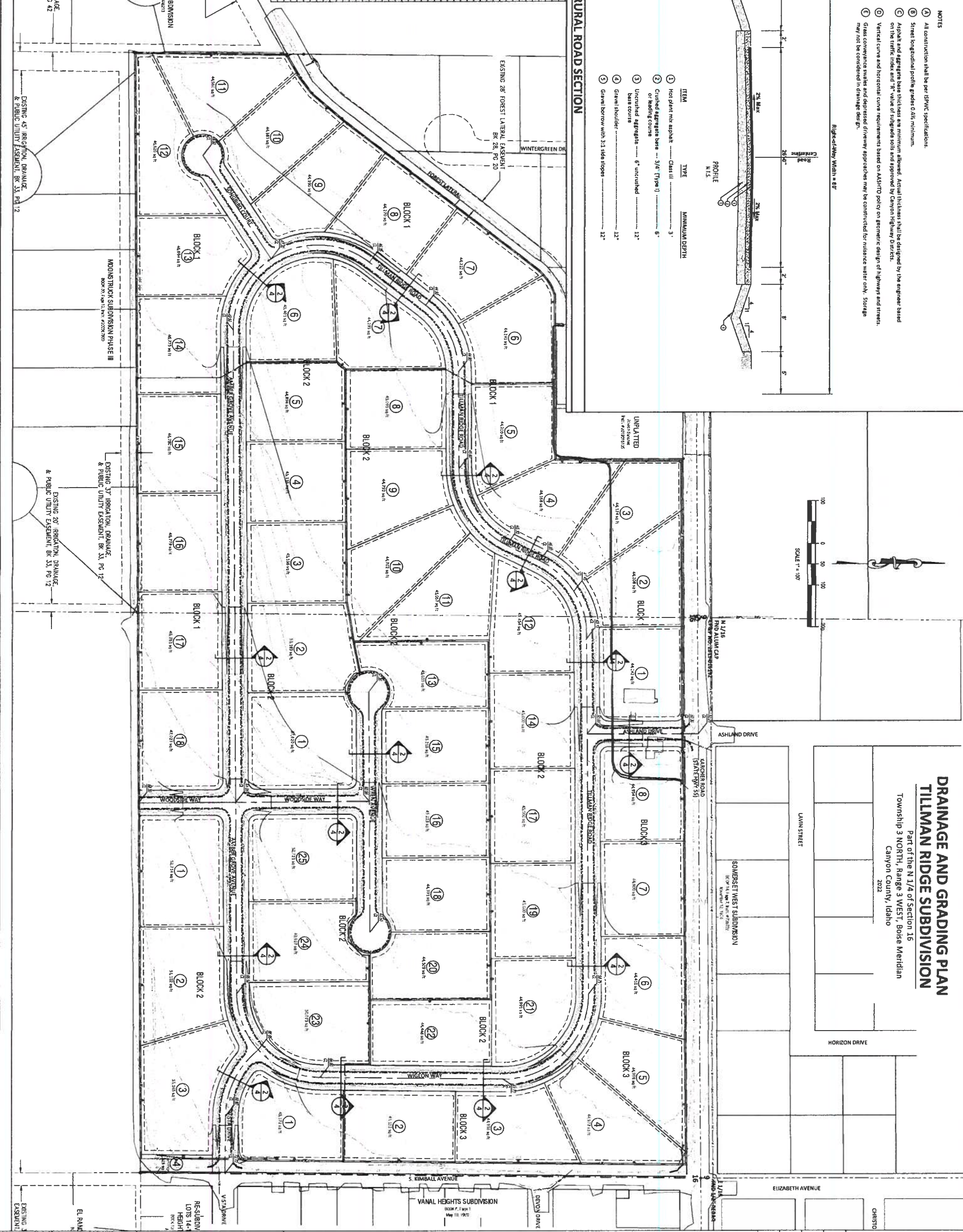


ITEM	TYPE	MINIMUM DEPTH
1	Hot plant mix asphalt - Class III or bedding course	3"
2	Crushed aggregate base - 3/4" (Type 1) or bedding course	6"
3	Unfinished aggregate base course	12"
4	Gravel shoulder	12"
5	Gravel borrow with 3:1 side slopes	12"

2 TWO LANE RURAL ROAD SECTION

STATION	TYPE	MINIMUM DEPTH
0+00	Gravel	12"
0+10	Gravel	12"
0+20	Gravel	12"
0+30	Gravel	12"
0+40	Gravel	12"
0+50	Gravel	12"
0+60	Gravel	12"
0+70	Gravel	12"
0+80	Gravel	12"
0+90	Gravel	12"
1+00	Gravel	12"
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30+90	Gravel	12"

1 SITE PLAN



DRAINAGE AND GRADING PLAN
TILLMAN RIDGE SUBDIVISION
 Part of the N 1/4 of Section 16
 Township 3 NORTH, Range 3 WEST, Boise Meridian
 Canyon County, Idaho
 2022

REVISION	
Date	August 26, 2022
Project Number	21014
Drawn	R J Smith
Checked	R J Smith, P.E.

TILLMAN RIDGE SUBDIVISION
15453 KARCHER ROAD, CANYON COUNTY, ID
William McGuire
DRAINAGE AND GRADING PLAN



Canyon County Development Services
111 N. 11th Ave. Room 140, Caldwell, ID 83605
(208) 454-7458

Building Division Email: buildinginfo@canyonco.org

Planning Division Email: zoninginfo@canyonco.org

Receipt Number: 76155

Date: 9/9/2022

Date Created: 9/9/2022

Receipt Type: Normal Receipt

Status: Active

Customer's Name: William B. McGuire / Riley Planning

Comments:

CHARGES

Item Being Paid For:	Application Number:	Amount Paid:	Prevs Pymnts:	Unpaid Amnt:
Planning - Zoning Amendment (Rezone)	RZ2022-0012	\$950.00	\$0.00	\$0.00
Planning - Preliminary Plat (Including Irrigation, Drainage, Grading Plans)	SD2022-0044	\$1,550.00	\$0.00	\$0.00
Planning - Preliminary Plat Additional City Impact Area Fee	SD2022-0044	\$100.00	\$0.00	\$0.00
Planning - Preliminary Plat Additional Per Lot Fee (Per Application)	SD2022-0044	\$540.00	\$0.00	\$0.00

Sub Total: \$3,140.00

Sales Tax: \$0.00

Total Charges: \$3,140.00

PAYMENTS

Type of Payment:	Check/Ref Number:	Amount:
Check	273	\$2,980.00
Check	137	\$160.00

Total Payments: \$3,140.00

ADJUSTMENTS

Receipt Balance: \$0.00