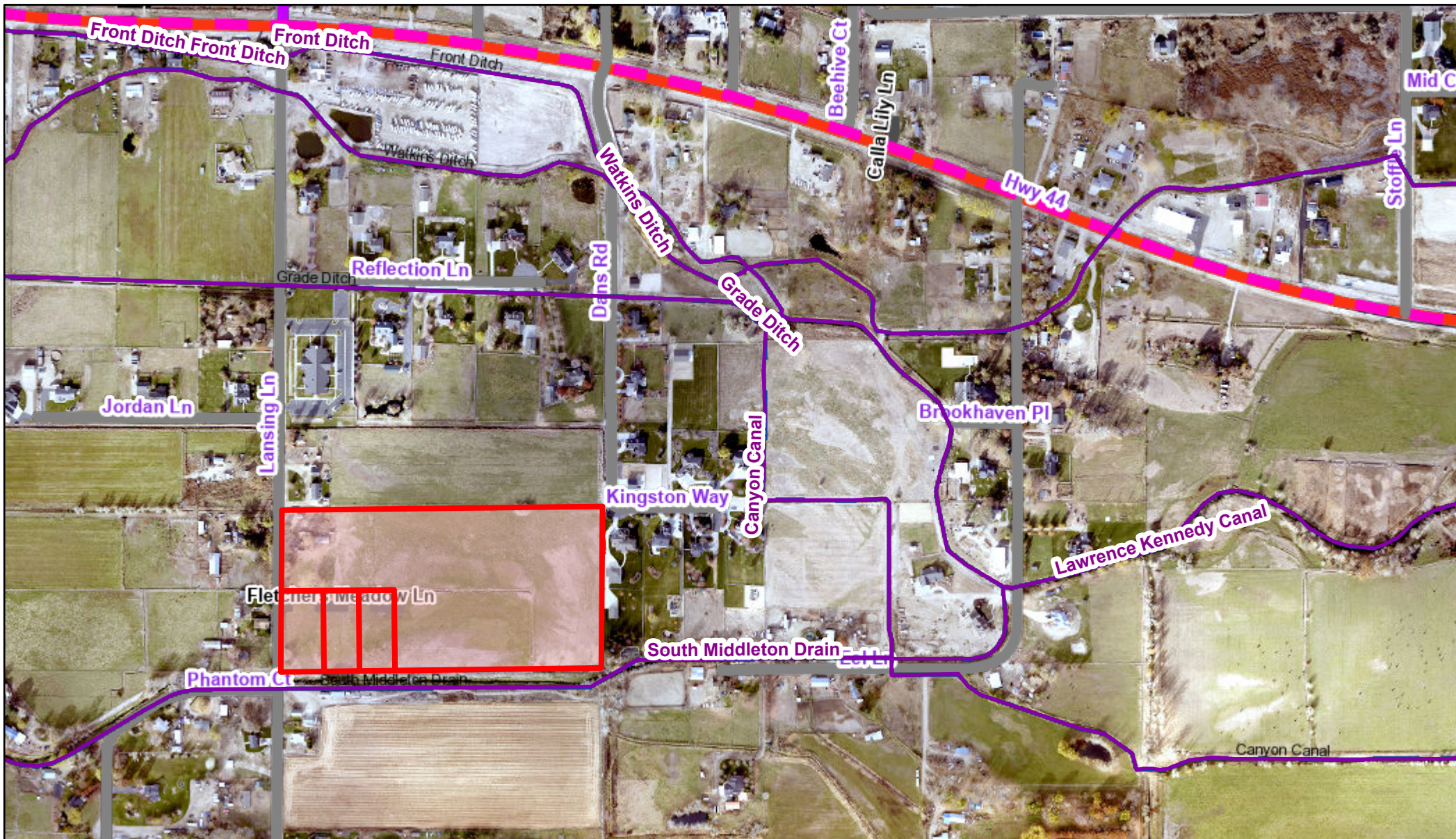
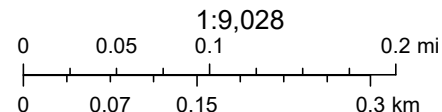


# Canyon County, ID Web Map



6/27/2023, 2:20:00 PM

- Multiple Parcel Search\_Query result
- Hydro\_NHDFlowline
- Hydro\_NHDFlowline
- CC\_PrivateRoads
- CanyonCountyRoads
- Hwy
- Roads
- ITDFunctionalClassification
- Major Collector
- Other Principal Arterials
- Canyon County Imagery\_2019
- Red: Band\_1
- Green: Band\_2



Bureau of Land Management, State of Oregon, State of Oregon DOT, State of Oregon GEO, Esri Canada, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA



# PRELIMINARY PLAT SUBMITTAL LIST

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



### THE FOLLOWING ITEMS MUST BE SUBMITTED WITH THIS CHECKLIST:

<input checked="" type="checkbox"/> Master Application completed and signed
<input checked="" type="checkbox"/> Irrigation Plan
<input checked="" type="checkbox"/> Detailed letter fully describing the request or project, include total number of lots, buildable lots, open space lots, size of lots, improvements and how you will mitigate adverse impacts
<input checked="" type="checkbox"/> Subdivision Worksheet
<input type="checkbox"/> Private Road Name application (if internal roads are private) - <i>public rd</i>
<input type="checkbox"/> Easement reduction application (if requesting an easement width less than 60 feet)
<input checked="" type="checkbox"/> Preliminary Drainage Plan
<input checked="" type="checkbox"/> Preliminary Irrigation Plan
<input checked="" type="checkbox"/> Preliminary Grading plan
<input checked="" type="checkbox"/> Copy of Preliminary Plat
<input checked="" type="checkbox"/> Deed or evidence of property interest to all subject properties.
<input type="checkbox"/> <b>\$1440 + \$10/lot +\$100 (if in a city area of impact) non-refundable fee</b>

### NOTES:

1. After the plat is reviewed and found to be in compliance, an **additional five (5) copies and one electronic version of the final plat** shall be submitted.
2. It is highly recommended you approach Idaho Department of Water Resources and Southwest District Health to have a pre-application regarding your proposed development meeting prior to submittal to this department.

### PROCESS: PUBLIC HEARING

# MASTER APPLICATION

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx)

Phone: 208-454-7458

Fax: 208-454-6633



<b>PROPERTY OWNER</b>	OWNER NAME: Gennie L. Fishburn
	MAILING ADDRESS: 22990 Huckleberry Lane, Middleton, ID 83644
	PHONE: [REDACTED] EMAIL: [REDACTED]

I consent to this application and allow DSD staff / Commissioners to enter the property for site inspections. If owner(s) are a business entity, please include business documents, including those that indicate the person(s) who are eligible to sign.

Signature: Gennie L. Fishburn

Date: 8/24/2022

<b>(AGENT) ARCHITECT ENGINEER BUILDER</b>	CONTACT NAME: Penelope Constantikes
	COMPANY NAME: Riley Planning Services
	MAILING ADDRESS: P.O. Box 405, Boise, ID 83701
	PHONE: 208.908.1609 EMAIL: penelope@rileyplanning.com

<b>SITE INFO</b>	STREET ADDRESS: 22334 Lansing Ln, Middleton, ID 83644
	PARCEL #: R23944, R2394410, R23944011, R23944012 LOT SIZE/AREA: 19.63
	LOT: 25 & 26 BLOCK: SUBDIVISION: Lemp Park Urban Tracts AMD
	QUARTER: NW SW SECTION: 10 TOWNSHIP: 4N RANGE: 2W
	ZONING DISTRICT: AG FLOODZONE (YES/NO): Partial

<b>HEARING LEVEL APPS</b>	<input type="checkbox"/> CONDITIONAL USE <input checked="" type="checkbox"/> COMP PLAN AMENDMENT <input checked="" type="checkbox"/> CONDITIONAL REZONE
	<input checked="" type="checkbox"/> ZONING AMENDMENT (REZONE) <input type="checkbox"/> DEV. AGREEMENT MODIFICATION <input type="checkbox"/> VARIANCE > 33%
	<input type="checkbox"/> MINOR REPLAT <input type="checkbox"/> VACATION <input type="checkbox"/> APPEAL
	<input type="checkbox"/> SHORT PLAT SUBDIVISION <input checked="" type="checkbox"/> PRELIMINARY PLAT SUBDIVISION <input type="checkbox"/> FINAL PLAT SUBDIVISION

<b>DIRECTORS DECISION APPS</b>	<input type="checkbox"/> ADMINISTRATIVE LAND DIVISION <input type="checkbox"/> EASEMENT REDUCTION <input type="checkbox"/> SIGN PERMIT
	<input type="checkbox"/> PROPERTY BOUNDARY ADJUSTMENT <input type="checkbox"/> HOME BUSINESS <input type="checkbox"/> VARIANCE 33% >
	<input type="checkbox"/> PRIVATE ROAD NAME <input type="checkbox"/> TEMPORARY USE <input type="checkbox"/> DAY CARE
	<input type="checkbox"/> OTHER _____

CASE NUMBER: <u>SD 2022-0048</u>	DATE RECEIVED: <u>9/16/2022</u>
RECEIVED BY: <u>Sage H</u>	APPLICATION FEE: \$ <u>1550.00</u> (CK) MO CC CASH

+ 120.00 } SD2022-0048  
 + 100.00 }  
 + 1,400.00 - CR2022-0028 Revised 1/3/21  
 + 2,800.00 - CR2022-0009  
 \$5,970.00

2

# IRRIGATION PLAN APPLICATION

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



Applicant(s) Gennie Fishburn [REDACTED]  
Name 22990 Stoffel Lane Daytime Telephone Number  
Middleton, ID  
Street Address City, State Zip

Representative Name Penelope Constantikes,  
Riley Planning Services 208.908.1609 / [penelope@rileyplanning.com](mailto:penelope@rileyplanning.com)  
Daytime Telephone Number / E-mail Address  
P.O. Box 405, Boise, ID 83701  
Street Address City, State Zip

Location of Subject Property: 22334 Lansing Lane, Middleton  
Two Nearest Cross Streets or Property Address City

Assessor's Account Number(s): R R23944; R23944010  
R23944 011; R23944012 Section 15 Township 3N Range 1E

This land:

- Has water rights available to it.
- Is dry and has no water rights available to it. If dry, please sign this document and return to the Development Services Department representative from whom you received it.

**Idaho Code 31-3805 states that when all or part of a subdivision is "located within the boundaries of an existing irrigation district or canal company, ditch association, or like irrigation water delivery entity ... no subdivision plat or amendment to a subdivision plat or any other plat or may recognized by the city or county for the division of land will be accepted, approved, and recorded unless:"**

- a. The appropriate water rights and assessment of those water rights have been transferred from said lands or excluded from an irrigation entity by the owner; or
- b. The owner, person, firm, or corporation filing the subdivision plat or amendment to a subdivision plat or map has provided underground tile or conduit for lots of one (1) acre or less, or a suitable system for lots of more than one (1) acre which will deliver water to those land owners within the subdivision who are also within the irrigation entity with the appropriate approvals:
  1. For proposed subdivisions located within negotiated area of city impact, both city and county zoning authorities must approve such irrigation system in accordance with Idaho Code Section 50-1306. In addition, the irrigation entity charged with the delivery of water to said lands must be advised regarding the irrigation system.

2. For proposed subdivisions outside of negotiated areas of city impact, the delivery system must be approved by the Planning and Zoning Commission and the Board of County Commissioners with the advice of the irrigation entity charged with the delivery of water to said lands.

To better understand your irrigation request, we need to ask you a few questions. A list of the map requirements follows the short questionnaire. **Any information missing information may result in the delay of your request before the Planning and Zoning Commission and ultimately the approval of your irrigation plan by the Board of County Commissioners.**

1. Are you within an area of negotiated City Impact?  Yes  No  
If yes, please include a copy of approvals by the City Planning & Zoning Commission and City Council of your Irrigation Plan.

2. What is the name of the irrigation and drainage entities servicing the property?

Irrigation: Canyon County Water Company

Drainage: N/A

3. How many acres is the property being subdivided? 19.77

4. What percentage of this property has water? 100

5. How many inches of water are available to the property? 18 miners inches

6. How is the land currently irrigated?  Surface  Irrigation Well  
 Sprinkler  Above Ground Pipe  Underground Pipe

7. How is the land to be irrigated after it is subdivided?  Surface  Irrigation Well  
 Sprinkler  Above Ground Pipe  Underground Pipe

8. Please describe how the head gate/pump connects to the canal and irrigated land and where ditches and/or pipes go.

See attached Irrigation Plan

9. Are there irrigation easement(s) on the property?  Yes  No

10. How do you plan to retain storm and excess water on each lot?  
Road drainage and front of the lot will be collected in roadside swales; the remainder of the drainage (rear portion of lot) will be held on the lots

11. How do you plan to remove the storm water /excess irrigation water prior to it entering the established drainage system? (i.e. oil, grease, contaminated aggregates)  
N/A

===== Applicant Acknowledgement =====

I, the undersigned, agree that prior to the Development Services Department accepting this application I am responsible to have all of the required information and site plans.

I further acknowledge that the irrigation system, as approved by the Planning and Zoning Commission and ultimately the Board of County Commissioners, must be bonded and/or installed prior the Board's signature on the final plat.

Signed: Jennie L Fishburn Date: 8, 24, 2022  
Property Owner (Application Submitted)

Signed: P. Constantines Date: 8, 29, 2022  
Applicant/Representative (if not property owner) (Application Submitted)

Accepted By: \_\_\_\_\_ Date: \_\_\_\_/\_\_\_\_/\_\_\_\_  
Director / Staff

## Irrigation Plan Map Requirements

The irrigation plan **must be on a scalable map** and show all of the irrigation system including all supply and drainage structures and easements. Please include the following information on you map:

- 1  All canals, ditches, and laterals with their respective names.
- 2  Head gate location and/or point of delivery of water to the property by the irrigation entity.
- 3  Rise locations and types, if any.
- 4  Easements of all private ditches that supply adjacent properties (i.e. supply ditches and drainage ways).
- 5  Slope of the property in various locations.
- 6  Direction of water flow (use short arrows → on your map to indicate water flow direction).
- 7  Direction of wastewater flow (use long arrows -----→ on you map to indicate wastewater direction).
- 8  Location of drainage ponds or swales, anywhere wastewater will be retained on the property.
- 9  Other information: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Also, provide the following documentation:

- Copy of any water users' association / agreement (s) that are currently in effect, which outlines water schedules and maintenance responsibilities.

# SUBDIVISION WORKSHEET

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



### GENERAL

1. **HOW MANY LOTS ARE YOU PROPOSING?**  
Residential 12 Non-buildable 0 Common 0
2. **AVERAGE LOT SIZE OF THE RESIDENTIAL PARCELS**  
1.498 ACRES

### IRRIGATION

1. **IRRIGATION WATER IS PROVIDED VIA:**  
 Irrigation Well  Surface Water
2. **WHAT PERCENTAGE OF THE PROPERTY HAS WATER?** 100 %
3. **HOW MANY INCHES OF WATER ARE AVAILABLE TO PROPERTY?** 18 Miners Inches
4. **HOW DO YOU PLAN TO RETAIN STORM AND EXCESS WATER ON EACH LOT?**  
Swale
5. **HOW DO YOU PLAN TO PROCESS STORM WATER / EXCESS IRRIGATION WATER PRIOR TO IT ENTERING THE ESTABLISHED DRAINAGE SYSTEM?**  
See attach Civil Drawings. Subject site is not located in a Drainage District

### ROADS

1. **ROADS WITHIN THE DEVELOPMENT WILL BE:**  
 Public  Private  N/A

\* Private Road names must be approved by the County and the private road application submitted with the Preliminary Plat\*

### HILLSIDE DEVELOPMENT N/A

1. **OF THE TOTAL LOTS REQUESTED, HOW MANY OF THE LOTS WILL CONTAIN SLOPES GREATER THAN 15%?**  
Residential \_\_\_\_\_ Non-Buildable \_\_\_\_\_ Common \_\_\_\_\_
2. **WILL THE PROPOSED ROAD (S) BE LOCATED WITHIN ANY AREA THAT HAS SLOPES GREATER THAN 15%?**  
 YES  NO

\*If YES, a grading plan is required.

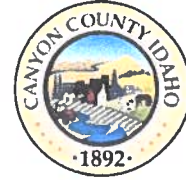


# **SUBDIVISION WORKSHEET**

## **CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT**

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



### **SUBDIVISIONS WITHIN AN AREA OF CITY IMPACT**

1. **WILL YOU BE REQUESTING WAIVERS OF SUBDIVISION IMPROVEMENT REQUIREMENTS FROM THE CITY?**  
 YES  NO
  
2. **IF YES, WHICH WAIVERS WILL YOU BE REQUESTING?**  
 CURBS  GUTTERS  SIDEWALKS  STREETLIGHTS  LANDSCAPING

# SITE PLAN & LETTER OF INTENT - CHECKLIST

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



**The site plan is a detailed GRAPHICAL description of existing and proposed site features. Include all applicable items on your site plan:**

- All existing and proposed structures and dimensions (i.e. 40'X30' shop, 20'x20' shed, 40'x50' house, 10' windmill, etc. )
- Infrastructure: well, septic, irrigation ditch, settling ponds, drainage swales, etc.
- Transportation: parking, loading areas, driveways, etc. adjacent driveways, roads, highways or other accesses
- Easement locations and dimensions
- Setbacks from property lines, section lines, collectors and arterial roads and/or building envelope
- Areas of steep slopes, wetlands, and/or floodplain
- Existing or proposed fences
- Signs
- Major landscaping or hardscaping, such as large trees, berms, or retaining walls, water features
- Areas of activity, outdoor seating, food vendor area, stockpiling, open pit, etc.
- Any other site features worth noting

**The Letter of Intent is a detailed WRITTEN description of proposed and existing uses at the site. Include all applicable items in your letter:**

- A description of the proposed use and existing uses
- A description of the proposed request and why it is being requested
- Expected traffic counts and patterns
- Phasing of development N/A
- How proposed use may affect neighboring uses
- A description or further explanation of the site features (see site plan list above)
- Explanation of any other permits through other agencies that may be required
- Description of business operations, such as number of employees, hours of operation, delivery and shipping
- A description of how the proposed use is consistent with specific zoning criteria or comprehensive plan policies
- Any other items which may require further explanation



**MEMORANDUM**

**TO:** Daniel Lister, CCDS Planning Official  
**FROM:** Penelope Constantikes *PC*  
**DATE:** September 22, 2022  
**RE:** **FLETCHERS MEADOW P-PLAT AND REZONE APPLICATIONS**

---

Attached is the submittal packet for the Fletchers Meadow applications.

This application packet supersedes the previously submitted materials. Please discard the old application and replace with this submittal.

I have also provided information about the EPA's Best Practices for Storm Water in association with the street related waivers.

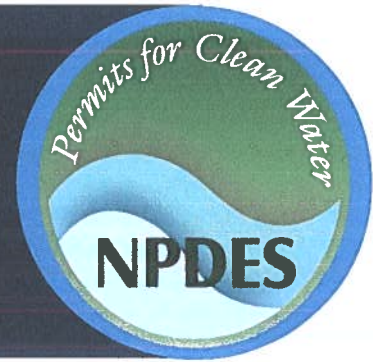
Please do not hesitate to contact me if you have questions or need additional materials.

Thank you very much!



# Stormwater Best Management Practice

## Eliminating Curbs and Gutters



Minimum Measure: Post Construction Stormwater Management in New Development and Redevelopment  
Subcategory: Innovative Practices for Site Plans

### Description

Curbs and gutters quickly convey stormwater from the street to the storm drain and, ultimately, to a local receiving water. Consequently, they remove little to no stormwater pollutants. Instead, curbs often trap deposited pollutants in between storms that are washed away during the next storm.

Green infrastructure alternatives to curbs and gutters exist that—in addition to conveying stormwater—can address some of the problems associated with curbs and gutters. These alternatives include grassed swales, vegetated bioswales, bioretention systems or rain gardens, tree boxes and permeable pavement; all of these can provide a range of additional benefits, including stormwater discharge reduction, pollutant removal and enhanced curb appeal (Harris, 2013; Ruby & Gillespie, n.d.; U.S. EPA, 2007). Often, a community can best implement these practices as part of a larger Green Streets program.

Many communities require curbs and gutters as standard elements of road sections. Traditionally, the alternative to curbs and gutters has been grassed swales. In some cases, localities would need to revise current local road and drainage regulations to promote greater use of green infrastructure alternatives in lieu of curbs and gutters.

### Applicability

Alternatives to curbs and gutters vary according to site or neighborhood conditions. Alternatives that need more space, such as grassed or vegetated swales, are more suitable in low- and medium-density residential zones where the soils, slope and housing density may accommodate them. Developers can overcome space limitations, to an extent, if they implement swales in conjunction with narrower streets or alternative street designs and patterns. For applications in higher-density residential, commercial or industrial areas that require curbs for parking purposes, developers can use regularly spaced curb cuts to direct small accumulations of



Curb cuts that drain to green infrastructure practices can be used as an alternative to traditional curbs and gutters.

Credit: Photo by Center for Neighborhood Technology on Flickr (Creative Commons license)

stormwater to compact practices such as bioretention practices or tree boxes. Examples of successful curb cut applications appear in the City of Mesa's *Low Impact Development Toolkit* as well as the California Water Boards' guidance for low impact development projects.

### Siting and Design Considerations

Several factors—not just the space constraints mentioned above—determine whether eliminating curbs and gutters is appropriate and which green infrastructure alternative practices best suit a particular site.

The following fact sheets provide more detailed siting and design considerations for suitable green infrastructure alternatives to curbs and gutters:

- Grassed Swales
- Bioretention (Rain Gardens)
- Permeable Pavements
- Site Design and Planning Strategies
- Right-Sized Residential Streets



**Development density.** Practices such as grassed swales are often difficult to use when development density increases above four dwelling units per acre because the number of driveway culverts increases and the swale essentially becomes a broken-pipe system. In higher-density areas, other practices such as permeable pavement or tree boxes may be more appropriate.

**Contributing drainage area.** Most green infrastructure practices are for small or “micro” applications, not large drainage areas. For any individual green infrastructure practice serving as an alternative to curbs and gutters, where drainage areas are mostly—if not all—impervious, the drainage area should generally be smaller than 0.5 acres. In many cases, drainage areas less than 0.1 acres may be best.

**Soils.** Hydrologic soil groups A and B are most suitable for practices with an infiltration component. For hydrologic soil groups C and D, engineers may need to design practices with an underdrain to minimize the ponding of water.

## Limitations

A number of real and perceived limitations hinder the use of green infrastructure alternatives to curbs and gutters:

- **Snowplow operations can be more difficult without a defined road edge.** However, roadside swales can offer more room for snow storage at the road edge; thus, smaller snowplows may be adequate. Communities may also mark the road edge using poles to help guide snowplow operators.
- A pavement edge along a swale or pervious area can experience more cracking and structural failure, increasing maintenance costs. Developers can alleviate the potential for pavement failure at the road/grass interface by “hardening” the interface with grass pavers, permeable concrete or geosynthetics placed beneath the grass. Other options include placing a low-rising concrete strip along the pavement edge.
- **Local code can require the use of curbs and gutters.** Communities can consider initiating a local site-planning round table to change some of these regulations, starting with a collective effort to review local codes to promote better site design. The

following resources may be helpful in addressing and overcoming barriers to implementation:

- *Tackling Barriers to Green Infrastructure: An Audit of Local Codes and Ordinances*
- *Green Infrastructure Opportunities and Barriers in the Greater Los Angeles Region*
- *Barriers and Gateways to Green Infrastructure*
- EPA's Water Quality Scorecard

## Maintenance Considerations

Curbs and gutters generally require little maintenance aside from regular street cleaning and debris removal. Communities can remove accumulated pollutants in curbs and gutters using street sweepers. Maintenance requirements for vegetated roadside practices are different and can be more demanding depending on the type of practice. Practices with grass, such as swales or open pervious areas, require mowing during the growing season, while vegetated systems such as bioretention practices require periodic trimming and debris removal. In addition, it may be necessary to remove sediment deposits from the bottom of the roadside practice if clogging becomes a concern.

## Effectiveness

Replacing curbs and gutters with green infrastructure practices can decrease peak flow rates and total discharge of stormwater and can provide enhanced pollutant removal in some cases. Developers can enhance the effectiveness of these approaches by implementing them within a comprehensive Green Streets design. EPA's Green Streets handbook provides guidance on how to design and implement an effective Green Streets program. A groundbreaking project in Seattle, Washington, dubbed the Street Edge Alternatives, incorporated vegetated swales, bioretention cells and narrower streets without curbs within a single neighborhood to reduce stormwater discharge and enhance infiltration. Compared to a conventional curb and gutter system, the project reduced the volume of stormwater discharge by 99 percent and reduced peak flows to pre-developed rates. There are additional examples of successful projects that eliminated curbs and gutters in the EPA report *Reducing Stormwater Costs through Low Impact Development (LID) Strategies and Practices*.

## Cost Considerations<sup>1</sup>

The cost of curbs and gutters ranges from about \$20 to \$40 per linear foot (RS Means, 2019). This standalone cost is often used to justify the cost-effectiveness of this traditional approach. However, this cost does not include drainage pipes or downstream stormwater controls necessary to treat stormwater discharge that is generated by this practice. Especially for new development projects, a comprehensive comparison of all relevant costs of traditional curbs and gutters and alternative practices is necessary to provide a more accurate evaluation of cost-effectiveness. In many cases, sound design using green infrastructure can offer cost savings compared to traditional curb and gutter approaches. In the case of Seattle's Street Edge Alternatives, which incorporated bioretention and other

green infrastructure alongside curbless streets, the total cost was approximately \$1 million, compared to an estimated cost of \$1.3 million for a conventional curb and gutter approach. Moreover, at a total project length of 660 feet, curb and gutter costs would have only been around \$40,000 (3 percent of the total conventional cost), illustrating how small their direct costs are relative to total system costs. In a review of the cost of 12 green infrastructure projects compared to conventional counterparts, U.S. EPA (2007) similarly found average cost savings of 35 percent in 11 of the 12 projects.

<sup>1</sup> Prices updated to 2019 dollars. Inflation data obtained from the Bureau of Labor Statistics CPI Inflation Calculator Web site: <https://data.bls.gov/cgi-bin/cpicalc.pl>. Reference dates for the calculation are January 2001 and January 2019.

### Additional Information

Additional information on related practices and the Phase II MS4 program can be found at EPA's National Menu of Best Management Practices (BMPs) for Stormwater website

## References

- Harris, H. (2013). *Alternatives to curb and gutter on streets: Benefits and challenges* [Fact sheet]. Kansas Local Technical Assistance Program.
- RSMeans. (2019). RSMeans data from Gordian [Online data file]. 3216 Curbs, gutters, sidewalks and driveways.
- Ruby, E., & Gillespie, D. (n.d.). *Low impact development (LID): A sensible approach to land development and stormwater management* [Fact sheet]. Office of Environmental Health Hazard Assessment and the California Water & Land Use Partnership.
- U.S. Environmental Protection Agency (U.S. EPA). (2007). *Reducing stormwater costs through low impact development (LID) strategies and practices* (EPA 841-F-07-006).

### Disclaimer

*This fact sheet is intended to be used for informational purposes only. These examples and references are not intended to be comprehensive and do not preclude the use of other technically sound practices. State or local requirements may apply.*





Date	Sept 21, 2007
Project Number	21026
Drawn	J Smith
Checked	R Smith, P.E.

**FLETCHER'S MEADOW SUBDIVISION**  
**22334 S. LANSING LANE, CANYON COUNTY, ID**  
**Gennie Fishburn**  
**NOTES**

1 GENERAL CONSTRUCTION NOTES	2 ROADWAY CONSTRUCTION NOTES	3 SEWER CONSTRUCTION NOTES	4 WATER CONSTRUCTION NOTES	5 PRESSURE IRRIGATION NOTES
<p><b>GENERAL CONSTRUCTION:</b></p> <ol style="list-style-type: none"> <li>All construction work shall be done in accordance with the current version of the Idaho Standards for Public Works Construction (ISWC), the City of Middleton Supplemental Specifications to the ISWC (and any amendments), the requirements of the Idaho Highway Department, and the requirements of the Canyon Highway Transportation Department (CHD). The more stringent of any of these standards shall be the controlling standards or specification.</li> <li>The Contractor shall have a copy of the latest City of Middleton Standards Specifications and Drawing on site at all times during construction (available on the website). Failure to have a current copy of the Standard Specifications on site could be grounds for a stop work order until the situation is resolved.</li> <li>The Contractor shall have stamped "Approved for Construction" by City of Middleton Public Works Department and Canyon Highway District No. 4 on site at all times. Only plans not stamped "Approved for Construction" shall be used for construction. Use of plans not stamped "Approved for Construction" shall be grounds for the issuance of a stop work order.</li> <li>All Contractors, Subcontractors, and Utility Contractors shall attend a pre-construction conference prior to start of work.</li> <li>Contractors shall notify the appropriate agency when work may begin on any project without twenty-four (24) hours prior notice.</li> <li>All material furnished on or for the project must meet the specifications of the approved agency. The Engineer, in the event of the contractor's failure to meet the Engineer, Contractor shall furnish proof that all materials installed on this project meet the specification requirements set forth in General Construction Note No. 1.</li> <li>Work subject to approval by any governmental agency must be approved prior to (a) installing trenches for pipes (b) placing of aggregate base; (c) placing of concrete; (d) placing of asphalt paving. Work done without such approval does not prevent the Contractor from the approval of performing the work in an acceptable manner.</li> <li>Inspection, approval, and final acceptance of all water sewer construction shall be by the Public Works Inspectors. Shall not relieve the contractor from the responsibility of performing the work in an acceptable manner in accordance with the DEQ/IDPE approved construction plans.</li> <li>Any deviation from the approved plans and specifications must have the applicable agency approval in writing prior to construction.</li> <li>Take all for safe site development - see Sheets 3 through 5.</li> <li>The contractor shall maintain all existing drainage and design improvements in place and functioning.</li> <li>All contractors working within the project boundaries are responsible for compliance with applicable safety laws and regulations. The contractor shall be responsible for all hazardous materials, debris, and control of traffic within and around the construction area.</li> <li>The locations of existing underground utilities are shown on an appropriate map only. The contractor shall verify the location of all utilities before commencing work. The contractor assumes all responsibility for any and all damages caused by his failure to correctly locate and/or recover any and all underground utilities.</li> <li>Quantity and placement of street lights is contingent upon the electrical design by Idaho Power Company. The electrical contractor will be provided a street light map by Middleton Public Works and Building Department with the issuance of an electrical permit.</li> <li>The contractor shall keep on site at all times a copy of the approved construction plans on which is recorded the actual location of the constructed pipe, man and any other locations to the design engineer for use in the production of record drawings, prior to final approval of the pipe line installation.</li> </ol>	<p><b>ROADWAY CONSTRUCTION NOTES:</b></p> <ol style="list-style-type: none"> <li>All contractors working within the public road right of way are required to secure a right-of-way construction permit from Canyon Highway District No. 4 (RTO at least twenty-four (24) hours prior to any construction.</li> <li>The contractor shall maintain all existing drainage facilities within the construction area until the drainage improvements are in place and functioning.</li> <li>The Contractor shall be responsible for providing and paying for all costs associated with a) testing of materials by the Engineer. All tests shall be performed by a certified testing laboratory and certified test results shall be submitted to the Owner, Engineer. Work performed without certified test results shall not be accepted.</li> <li>Impact Mitigation shall be Class II with a nominal maximum aggregate size of 0.5 inch (1/2") PG-64-28 Performance Graded Asphalt Binder) shall be used. A minimum of 0.5% Air Stripping additive is specified.</li> <li>Canyon Highway District No. 4 or ITD will inspect all work within the public right-of-way to include utility trenches above the pipe zone.</li> <li>Middleton City Public Works or the project engineer will inspect storm drainage improvements serving private roads and parking lot improvements outside the public right-of-way.</li> <li>Location of stormwater disposal facilities (including detention basins) shall be approved by the City Engineer. This requirement does not apply to catch basins or sand and grease traps.</li> <li>Abandoned buildings, test pits or waterways located within the right-of-way shall be removed or backfilled with compacted fill. All test pits shall be backfilled with compacted fill per ISWC specifications and a copy of the completion tests.</li> <li>Set the top of all valve boxes and sewer manholes flush with the slope of the finished street grade. Place all water valves, blow-offs, and manholes so that they do not conflict with any concrete curb and gutter, valley gutter or sidewalk improvements.</li> <li>If any utility or irrigation facility intersects with required street improvements, all such utilities or irrigation facilities shall be relocated at the owner's expense so as not to interfere with required street improvements.</li> <li>Retain and protect all utilities unless noted otherwise on these plans.</li> <li>Direction of Slope (Type) <math>\rightarrow</math></li> <li>Refer to architectural drawings for landscaping, landscaping must slope for proper drainage.</li> <li>The contractor shall contact Digline 48 hours prior to digging to verify the location of existing utilities.</li> <li>Compaction shall not be less than 95% of the Standard Proctor Density.</li> </ol>	<p><b>SEWER NOTES:</b></p> <ol style="list-style-type: none"> <li>All work shall be done in accordance with the latest Sewer Specifications and Standard Drawings of the Idaho Standards for Public Works Construction (ISWC), Middleton Public Works Department, and/or the Canyon Highway Districts.</li> <li>The Contractor shall construct the sanitary sewer in accordance with the stamped plans approved by the Middleton Public Works Department. These plans will be provided to the Contractor by the project engineer prior to construction. Work shall not be done without the current set of approved plans.</li> <li>Final approval and acceptance of all sewer construction will be by the Middleton Public Works Department.</li> <li>Sewer inspection will be by the Middleton Public Works Department and their decision should be considered as final. The Contractor will provide periodic inspections for the right-of-way. 48 hours prior to construction, Middleton City will notify the Middleton Public Works Department (from 8:00 a.m. to 5:00 p.m.) of the location of the normal work, including right-of-way boundaries. Opening inspection notes and list of legal holidays can be obtained from the Middleton Public Works Department.</li> <li>Sewer construction will meet specific details and requirements of the Idaho Standards for Public Works Construction (ISWC), Middleton City resolution, and the ISWC Standard Drawings as available online.</li> <li>Groundwater French shall be maintained below the bottom of the trench during the pipe laying and pipe joining operations. All manholes located within limits of seasonal groundwater have the exterior of pipe concrete surfaces coated with two coats of DOW 19 Epoxy.</li> <li>Service lines shall be installed in accordance with the specifications and standard drawing SD-112. Service line markers shall remain in place during construction and be present for final inspection. On lots where roof drains are utilized, the contractor shall cover the roof drain markers to clearly differentiate roof drain markers from sewer service markers.</li> <li>The horizontal separation of the water and sewer main shall be a minimum of ten (10) feet. Where it is necessary for sewer and water to cross each other and the sewer line is less than 18 inches below or above the water main, the sewer line crossing shall be PVC pressure pipe conforming to AWWA C-300 or ASTM D2242, for a distance of 10' on both sides of water line. One full length of both water main and sewer main shall be removed over the crossing point to 18" in place with 90' from the crossing as per ISWC.</li> <li>All stationing relates to the gravity sewer centerline.</li> <li>The Contractor shall provide Middleton City's inspector with "cut sheets" for the cutting provided for construction of the sanitary sewer. "Cut sheets" shall be provided to the City prior to construction. Additionally, temporary bench marks must be provided to the Middleton Public Works Department, inspection station prior to the commencement of construction.</li> <li>Prior to construction, temporary bench marks (TBM's) shall be set in the field to a known elevation of engineer and shall be tagged and spaced no more than 400 feet apart. A TBM shall be located within 200 feet of the tie to existing sewer and spaced no more than 500 feet along the sewer alignment thereafter. TBM's shall have elevations tied to the NAVD 1988 Datum.</li> <li>Sanitary sewer pipe shall be laid and right-angled, applied, chloride pipe, SD 35, ASTM C-2026 for 48 inch (48") and ASTM 1679 for 48 inch (48") and 24 inch (24") shall be ductile iron conforming to AWWA C-151 or AWWA C-151 minimum Class 50. A rubber ring is to be installed where the pipe is in contact with the manhole base and/or its chamber in order to ensure a water-tight seal.</li> <li>The sewer contractor shall supply all lid assemblies and the required number of fire and grade rings. Elevations match final street grades. The minimum height of the grade rings shall be such that the finished grade elevation of the manhole frame and cover shall not be more than twenty-one (21") inches above the top of the manhole cone.</li> <li>The paving contractor shall set the grade rings and pour the concrete collars per Standard Drawing No. SD-308. The paving contractor shall contact Canyon Highway District No. 4 24 hours prior to pouring concrete collars.</li> <li>The trench backfill above the pipe zone will be inspected by the Canyon Highway District No. 4 or by the developer's engineer in accordance with the latest edition of the "Construction Quality Assurance Manual". Completion tests are required on the backfill above the pipe zone, within public right-of-way. Testing shall be conducted to meet all Canyon Highway District No. 4 requirements and the results shall be submitted to Middleton Public Works Department and Canyon Highway District No. 4 prior to final acceptance.</li> <li>The Middleton Public Works Department may test the completion of the sewer pipeline bedding. Testing will be done by an independent testing laboratory. The cost of the first test will be paid by the Middleton Public Works Department. If the first test fails to meet required construction, all remaining shall be tested by an independent testing laboratory. The cost of the remaining tests shall be the responsibility of the contractor and/or testing laboratory to schedule the tests prior to any pipe laying and backfilling.</li> <li>The Contractor shall leave the excavator on for the upstream end of all services lines open for field verification of the invert elevation by the City's inspector. The Contractor shall not backfill the cross of the excavation of service line until field verification.</li> <li>Prior to final acceptance, after all utilities are in and prior to paving, an air test shall be conducted. The Contractor shall contact the City of Middleton a minimum of 24 hours prior to testing. All manholes shall be tested in accordance with the ISWC and Middleton City's modifications.</li> <li>The sewer main shall be tested for deflection in accordance with the ISWC and Middleton City's modifications. All sewer lines shall be tested with a closed circuit television camera in accordance with the ISWC and Middleton City's modifications. No standing water shall be present.</li> </ol>	<p><b>WATER NOTES:</b></p> <ol style="list-style-type: none"> <li>Construction of the water system shall conform to the standards in the Idaho Rules for Public Drinking Water Specifications referred to as General Construction Note No. 1.</li> <li>The horizontal separation of potable water main and non-potable water main (sanitary sewer, storm drain, and manhole) for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with section 542.07 of the Idaho Rules (IDAPA 58.01.161).</li> <li>The horizontal separation of non-potable water main and potable water main shall be a minimum of ten (10) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with section 542.07 of the Idaho Rules (IDAPA 58.01.161) and section 430.02 of the Wastewater Rules (IDAPA 58.01.161).</li> <li>Place water service lines in two (2) inch diameter pipe with a minimum of 18 inches of vertical separation from the water main. The pipe material used for laying shall be impervious to contamination from petroleum products and must be approved by the Idaho Department of Environmental Quality (IDAPA 58.01.161).</li> <li>The Contractor shall be responsible for providing continuous water service all existing water affected by construction.</li> <li>All water works component shall be AWWA and Standard requirements and must meet all rules for public drinking water (IDAPA 58.01.161).</li> <li>All water pipe and fittings shall comply with applicable provisions of a Middlesex Standard Specifications and Drawings approved by Middleton Public Works.</li> <li>Use (2) inch of cover shall be provided for all water mains located in a section of the water main. The cover shall be four (4) feet of cover shall be provided for all other water mains. See Middleton Standard Specifications and Drawings for water main installation and for standard trench construction.</li> <li>Locate underground storm water disposal facilities (including infiltration beds and drywells) at least 25 feet from man water lines. This requirement does not apply to catch basins or sand and grease traps.</li> <li>Pipe no. 12 direct burial along the north and east side of water mains and service lines.</li> <li>The contractor shall complete water system installation with Middleton Public Works.</li> <li>The water system must be constructed, pressure-tested, and disinfected in accordance with Middleton Public Works.</li> <li>The contractor shall be responsible for locating and marking all existing sewer connections per Middleton Public Works.</li> <li>Secure and anchor all test, plug, cap, bends, and other locations where undisturbed forces exert by variable thrust per Middleton Public Works.</li> </ol>	<p><b>PRESSURE IRRIGATION NOTES:</b></p> <ol style="list-style-type: none"> <li>Install all crossings of the public right-of-way, private roadways and treadways with pressure irrigation at a minimum depth of two-and-one-half (2 1/2) feet and in an AWWA C-200 pipe. Where with a water main, Middleton Public Works Department will inspect the crossing. Note: 4 90' in length of crossing prior to bedding.</li> <li>The horizontal separation of potable water mains and non-potable water main (sanitary sewer, storm drain, and manhole) for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with section 542.07 of the Idaho Rules (IDAPA 58.01.161) and section 430.02 of the Wastewater Rules (IDAPA 58.01.161).</li> <li>The horizontal separation of non-potable water mains and potable water main shall be a minimum of ten (10) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with section 542.07 of the Idaho Rules (IDAPA 58.01.161) and section 430.02 of the Wastewater Rules (IDAPA 58.01.161).</li> <li>Install under fence with all irrigation main. 12" pipe shall be two (2) inches wide, pipes in color, with the words DANGER - UNSAFE WATER or NON-POTABLE WATER clearly marked along its length. Place the pipe between 48 (6) inches below the surface and eighteen (18) inches above the top of the pipe.</li> <li>Label all irrigation lines and facets with durable labels carrying the warning DANGER - UNSAFE WATER or NON-POTABLE WATER.</li> <li>Label all valve boxes and vaults with durable tags carrying the warning DANGER - UNSAFE WATER or NON-POTABLE WATER. The valves and boxes are to be located a minimum of ten (10) feet outside of the right-of-way, private roadways and treadways.</li> <li>Install a reduced pressure backflow preventer in any connection between the potable water system and non-potable water system. The water system must be approved by the Idaho Department of Environmental Quality (DEQ) and Middleton Public Works.</li> <li>The Public Works Department shall inspect all pressurized irrigation unless a properly executed agreement for inspection and maintenance is in effect with the applicable irrigation District. Forty-eight (48) hour advance notice is required. Provide thrust blocking, as specified in these Water Company requirements.</li> </ol>

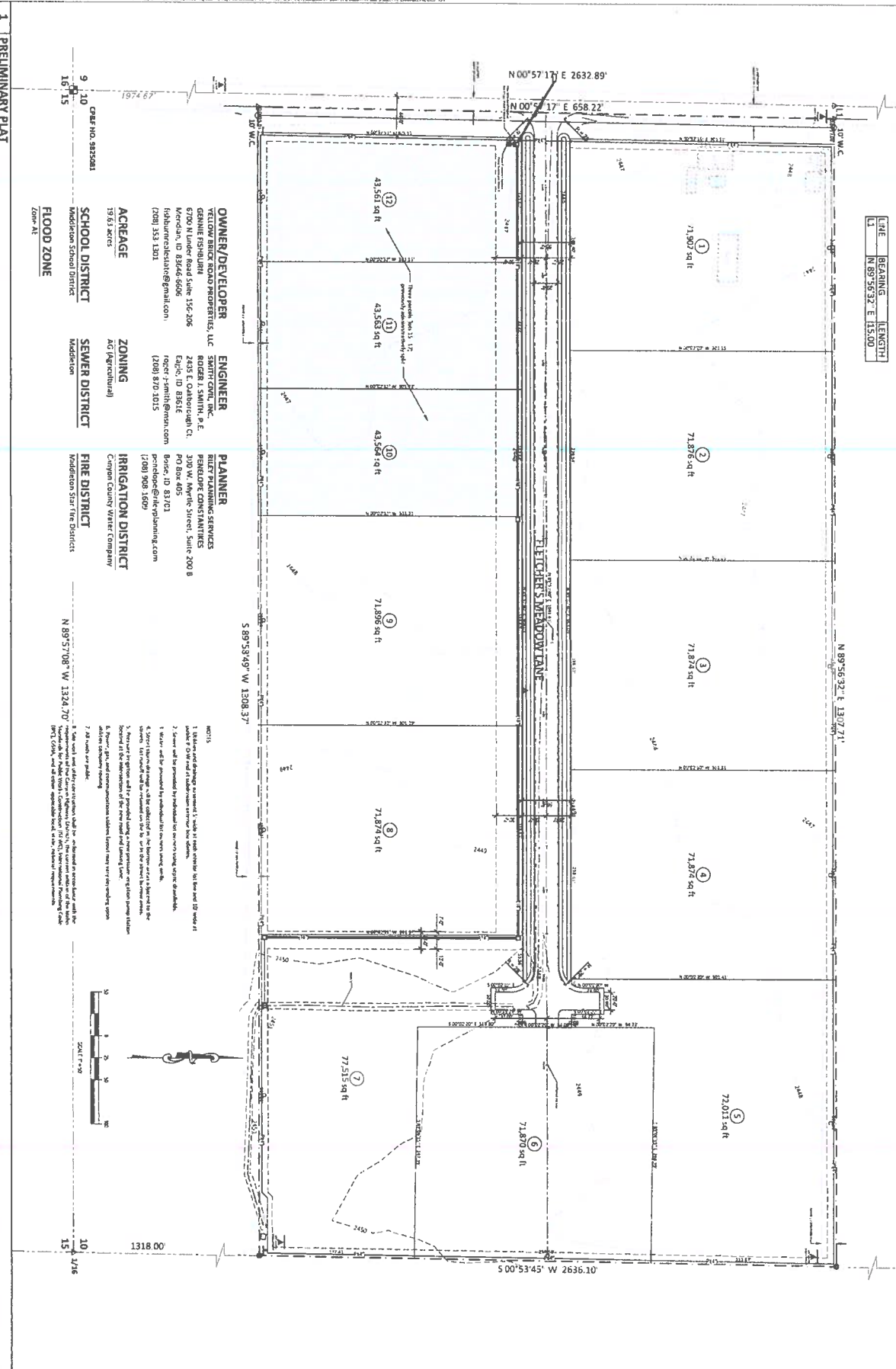




1/4 9 10  
 C&W 7/16  
 Section 10

**FLETCHER'S MEADOW SUBDIVISION**  
**PRELIMINARY PLAT**  
 N 89°54'25" E 1327.05'  
 Lot 26 and a portion of lot 25, 8 & V Subdivision in Section 15  
 Township 3 NORTH, Range 1 EAST, Boise Meridian  
 ADA COUNTY, IDAHO  
 2022

LINE	BEARING	LENGTH
1	N 89°56'32" E	135.00



**OWNER/DEVELOPER**  
 YELLOW BRICK ROAD PROPERTIES, LLC  
 GENNIE FISHBURN  
 6700 N Under Road Suite 156-206  
 Meridian, ID 83646-6606  
 fishburn@yellowbrick.com  
 (208) 333-1301

**ENGINEER**  
 SMITH CIVIL, INC.  
 ROBERT J. SMITH, P.E.  
 2435 E. Caldwell Blvd. Ct.  
 Eagle, ID 83616  
 rj@smithcivil.com  
 (208) 870-2015

**PLANNER**  
 RILEY PLANNING SERVICES  
 PENILOPE CONSTANTINES  
 310 W. Myrtle Street, Suite 200 B  
 PO Box 405  
 Boise, ID 83701  
 penlope@rileyplanning.com  
 (208) 308-1809

**ACREAGE**  
 19.61 acres

**ZONING**  
 AG (Agricultural)

**SCHOOL DISTRICT**  
 MADISON School District

**SEWER DISTRICT**  
 MADISON

**FIRE DISTRICT**  
 MADISON FIRE DISTRICT

**IRRIGATION DISTRICT**  
 Canyon County Water Company

**FLOOD ZONE**  
 Zone AE

**CRAT NO. 38250A1**

**PRELIMINARY PLAT**

16 15

9 10

1318.00

5 89°53'49" W 1308.37'

5 00°53'45" W 2636.10'

10 15

1372.71'

1327.05'

135.00'

2632.89'

658.22'

659.02'



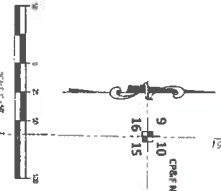
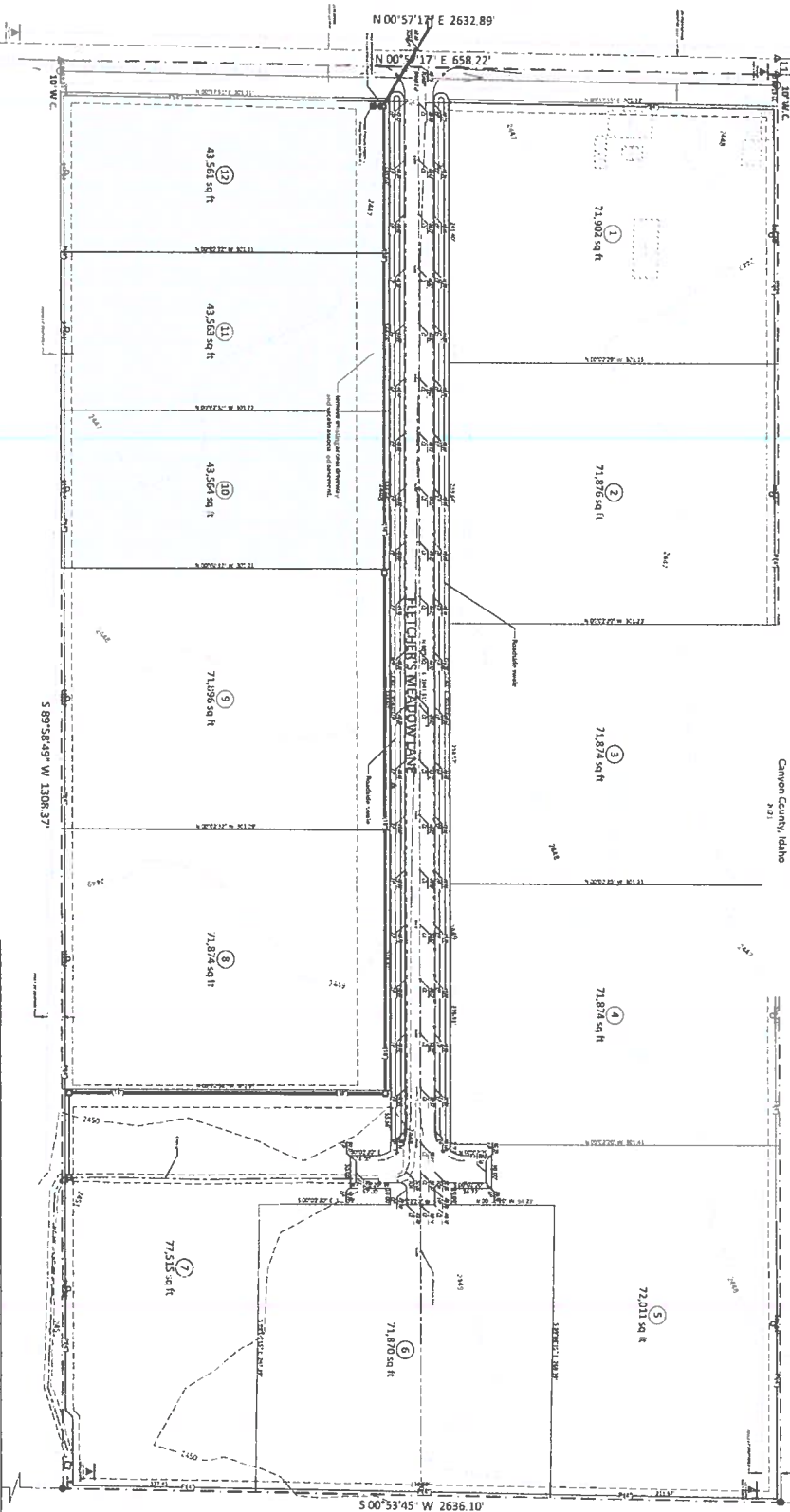
NOTES:

1. All areas and distances shown shall be as indicated on this plat with the understanding that the County of Idaho, the State of Idaho, the United States of America, the State of Oregon, the State of Nevada, the State of Utah, the State of Arizona, the State of California, the State of Washington, the State of Montana, the State of Wyoming, the State of Colorado, and the State of New Mexico are not bound by this plat.
2. The area and distance shown shall be as indicated on this plat with the understanding that the County of Idaho, the State of Idaho, the United States of America, the State of Oregon, the State of Nevada, the State of Utah, the State of Arizona, the State of California, the State of Washington, the State of Montana, the State of Wyoming, the State of Colorado, and the State of New Mexico are not bound by this plat.
3. The area and distance shown shall be as indicated on this plat with the understanding that the County of Idaho, the State of Idaho, the United States of America, the State of Oregon, the State of Nevada, the State of Utah, the State of Arizona, the State of California, the State of Washington, the State of Montana, the State of Wyoming, the State of Colorado, and the State of New Mexico are not bound by this plat.
4. The area and distance shown shall be as indicated on this plat with the understanding that the County of Idaho, the State of Idaho, the United States of America, the State of Oregon, the State of Nevada, the State of Utah, the State of Arizona, the State of California, the State of Washington, the State of Montana, the State of Wyoming, the State of Colorado, and the State of New Mexico are not bound by this plat.
5. The area and distance shown shall be as indicated on this plat with the understanding that the County of Idaho, the State of Idaho, the United States of America, the State of Oregon, the State of Nevada, the State of Utah, the State of Arizona, the State of California, the State of Washington, the State of Montana, the State of Wyoming, the State of Colorado, and the State of New Mexico are not bound by this plat.
6. The area and distance shown shall be as indicated on this plat with the understanding that the County of Idaho, the State of Idaho, the United States of America, the State of Oregon, the State of Nevada, the State of Utah, the State of Arizona, the State of California, the State of Washington, the State of Montana, the State of Wyoming, the State of Colorado, and the State of New Mexico are not bound by this plat.
7. All areas are public.

		<p><b>FLETCHER'S MEADOW SUBDIVISION</b>          22334 S. LANSING LANE, CANYON COUNTY, ID          GENNIE FISHBURN          PRELIMINARY PLAT</p>	Date Sept 21, 2022
			Drawn R. Smith
Sheet <b>3</b>	Checked R.J. Smith, P.E.	Project Number 21026	Revised

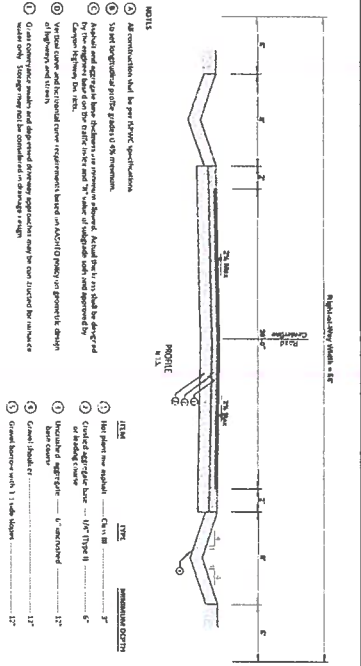
LINE	BEARING	LENGTH
1	N 89° 56' 32" E	15.00

**STREET/DRAINAGE AND GRADING PLAN**  
**FLETCHER'S MEADOW SUBDIVISION**  
 Lots 52 and 57, Amended Palamp Park Urban Tracts  
 Section 10, Township 4 North, Range 2 West, Boise Meridian  
 Canyon County, Idaho  
 721



**1 STREET IMPROVEMENT PLAN**

**2 TWO LANE RURAL ROAD SECTION**



- NOTES**
- All construction shall be per CDOT specifications.
  - As per topographical profile, grades shall be minimum.
  - Subgrade and aggregate base thicknesses are minimum shown. Actual thickness shall be determined by the Engineer and approved by the local authority.
  - Final surface and structural frame requirements based on local authority or project design of highway and terrain.
  - Final construction shall be designed to provide adequate drainage for the entire road width. Stormwater shall be collected in a drainage ditch.

- LEGEND**
- 1' - 1" = 10' - 1" (Scale)
  - 2' - 1" = 20' - 1" (Scale)
  - 3' - 1" = 30' - 1" (Scale)
  - 4' - 1" = 40' - 1" (Scale)
  - 5' - 1" = 50' - 1" (Scale)
  - 6' - 1" = 60' - 1" (Scale)
  - 7' - 1" = 70' - 1" (Scale)
  - 8' - 1" = 80' - 1" (Scale)
  - 9' - 1" = 90' - 1" (Scale)
  - 10' - 1" = 100' - 1" (Scale)

**4**

**SMITH**  
 2482 E. Oakborough Ct., Engle, ID 83116  
 (208) 972-1213

**FLETCHER'S MEADOW SUBDIVISION**  
**22334 S. LANSING LANE, CANYON COUNTY, ID**  
**Gennie Fishburn**  
**STREET/DRAINAGE AND GRADING PLAN**

REVISED

Date	Sept 21, 2022
Project Number	21026
Drawn	R.J. Smith
Checked	R.J. Smith, P.E.

1/4 9 10  
 CREF. NO. 2008015814

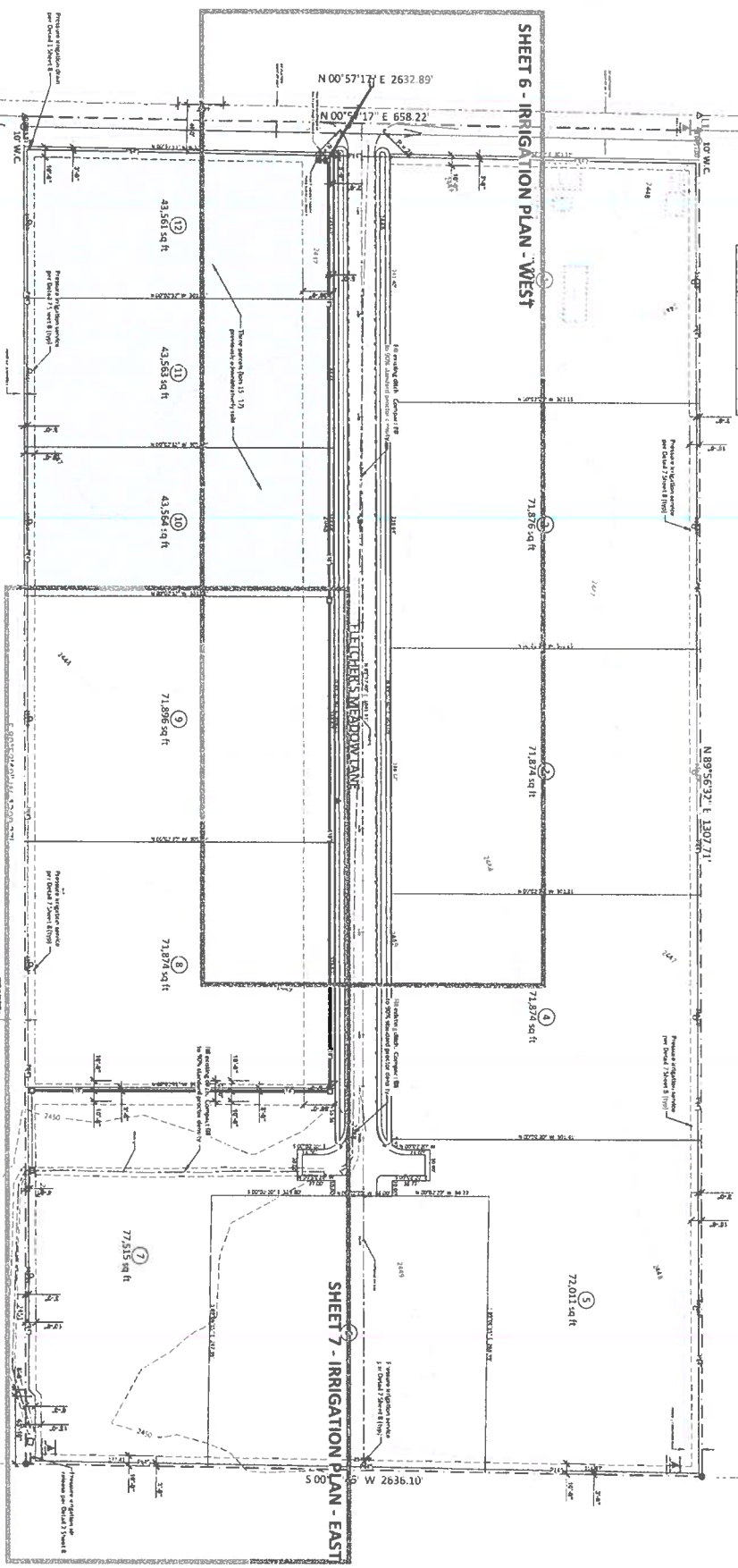
LINE	BEARING	LENGTH
1	N 89°56'32" E	15.00

**MASTER IRRIGATION PLAN**  
**FLETCHER'S MEADOW SUBDIVISION**  
 Lot 26 and a portion of lot 25, 8 & V subdivision in Section 15  
 Township 3 NORTH, Range 1 EAST, Borne Meridian  
 ADA COUNTY, IDAHO  
 2022

CW 1/16  
 Section 10

**SHEET 6 - IRRIGATION PLAN - WEST**

**SHEET 7 - IRRIGATION PLAN - EAST**



9 10  
 CREF. NO. 58125081  
 167.15

N 89°57'08" W 1324.70'

10 15  
 1318.00'

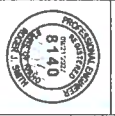


**1 MASTER IRRIGATION PLAN**

REVISED

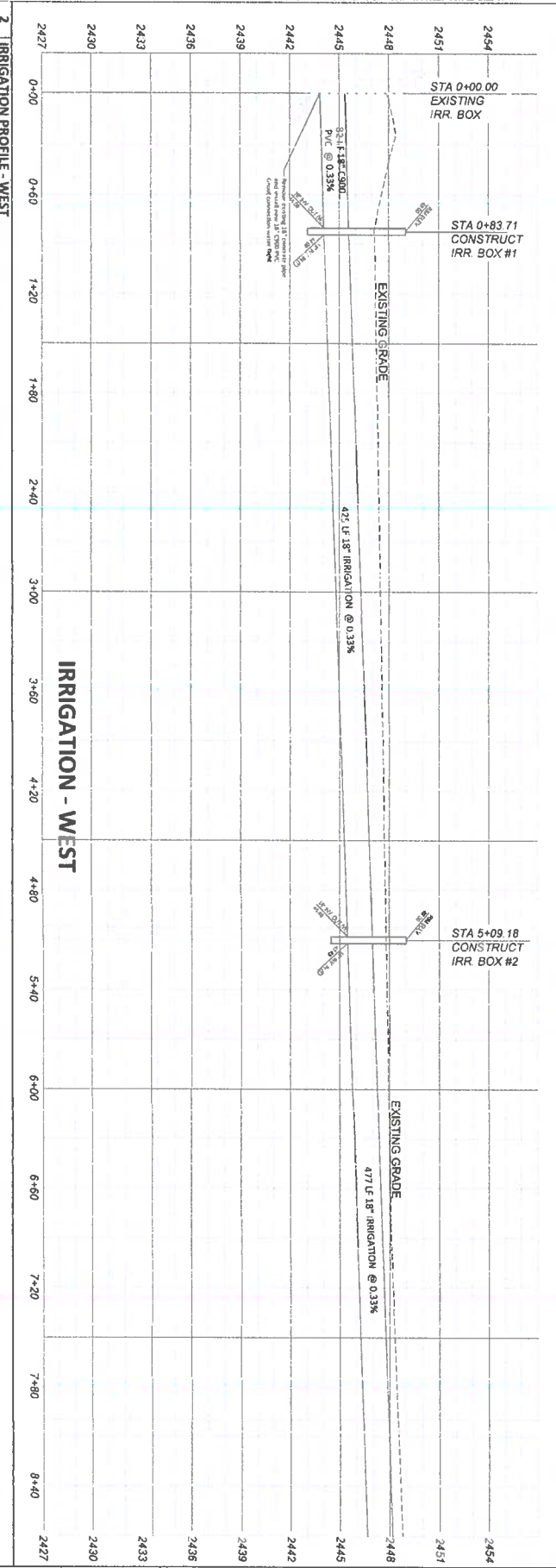
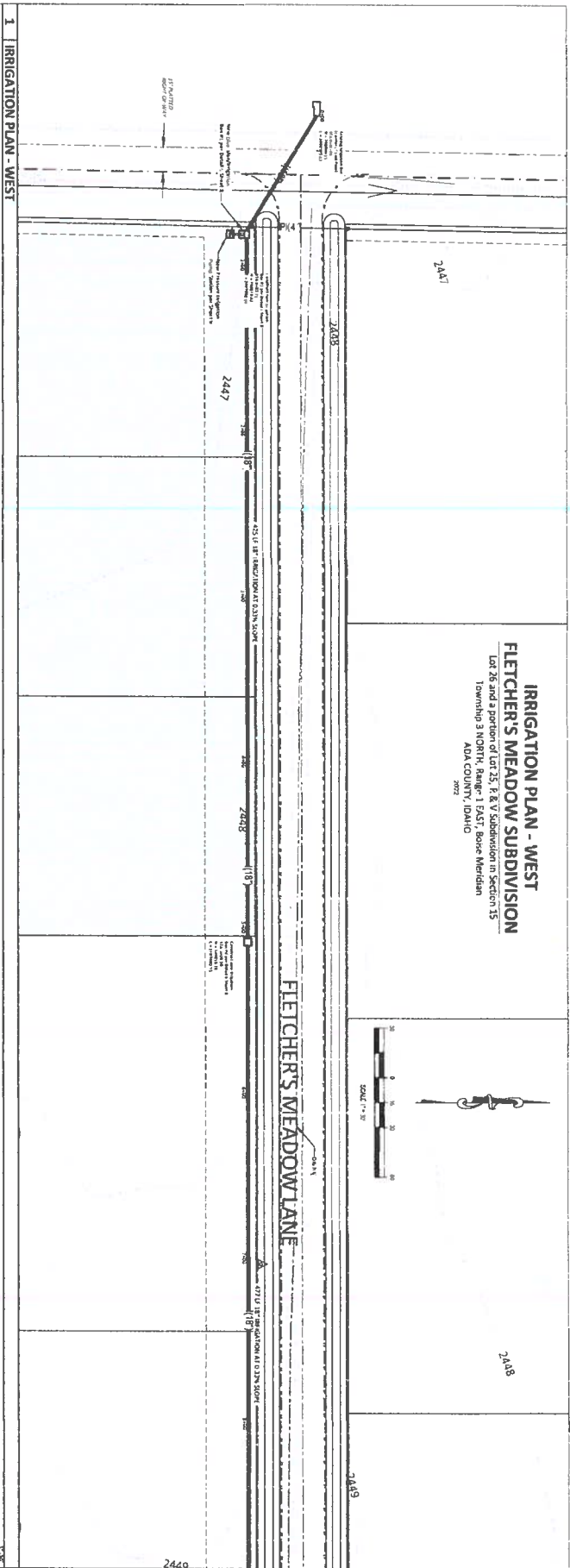
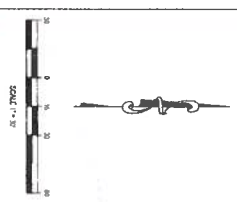
Date: Sept 21, 2022  
 Project Number: 21026  
 Drawn: R.J. Smith  
 Checked: R.J. Smith, P.E.

**FLETCHER'S MEADOW SUBDIVISION**  
**22334 S. LANSING LANE, CANYON COUNTY, ID**  
**Gennie Fishburn**  
**MASTER IRRIGATION PLAN**



Sheet **5**

**IRRIGATION PLAN - WEST**  
**FLETCHER'S MEADOW SUBDIVISION**  
 Lot 26 and a portion of Lot 25, R & V Subdivision in Section 35  
 Township 3 NORTH, Range 1 EAST, Boise Meridian  
 ADA COUNTY, IDAHO



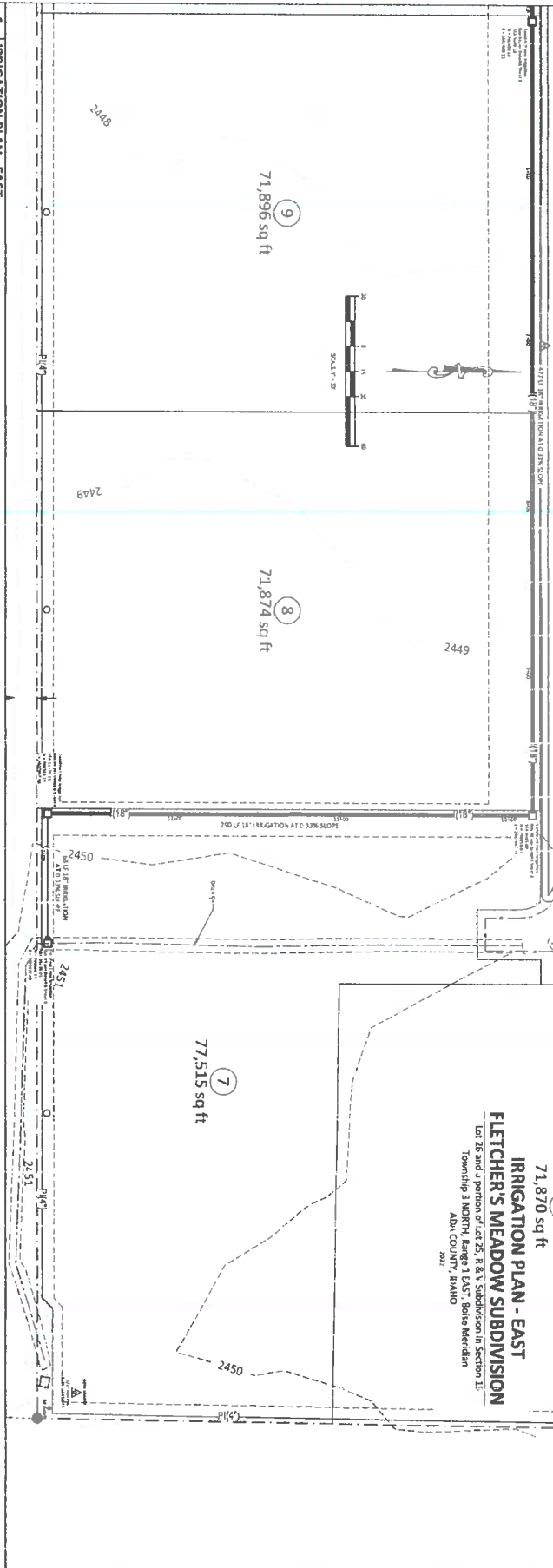
**FLETCHER'S MEADOW SUBDIVISION**  
**22334 S. LANSING LANE, CANYON COUNTY, ID**  
**Gennie Fishburn**  
**IRRIGATION PLAN - WEST**



Checked: R. Smith, P.E.  
 Date: Sept 21, 2012  
 Project Number: 21026  
 Drawn: R. Smith



**71,870 sq ft**  
**IRRIGATION PLAN - EAST**  
**FLETCHER'S MEADOW SUBDIVISION**  
 Lot 26 and a portion of Lot 25, R. 6 & V. Subdivision in Section 11,  
 Township 3 NORTH, Range 1 EAST, Boise Meridian  
 ADAM COUNTY, IDAHO  
 2021



**1 IRRIGATION PLAN - EAST**

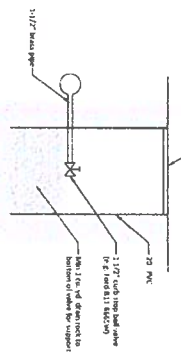
Station	6+00	6+60	7+20	7+80	8+40	9+00	3+60	10+20	10+80	11+40	12+00	12+60	13+20	3+60	14+40	2+27
2454																2454
2457																2457
2448																2448
2445																2445
2442																2442
2439																2439
2436																2436
2433																2433
2430																2430
2427																2427

**2 IRRIGATION PROFILE - EAST**

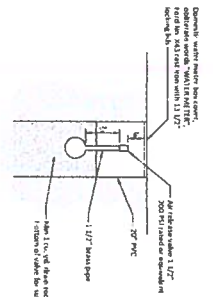
**IRRIGATION EAST**

Date: Sept 21, 2017  
Project Number: 21028

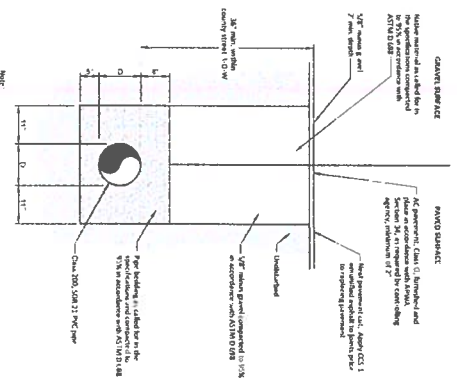
Drawn: R. Smith  
Checked: R. Smith, P.E.



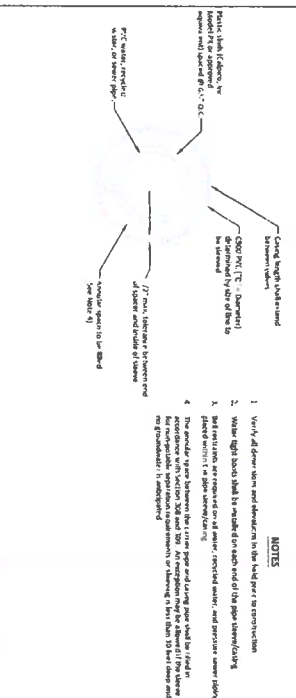
1 DRAIN VALVE



2 AIR RELEASE VALVE

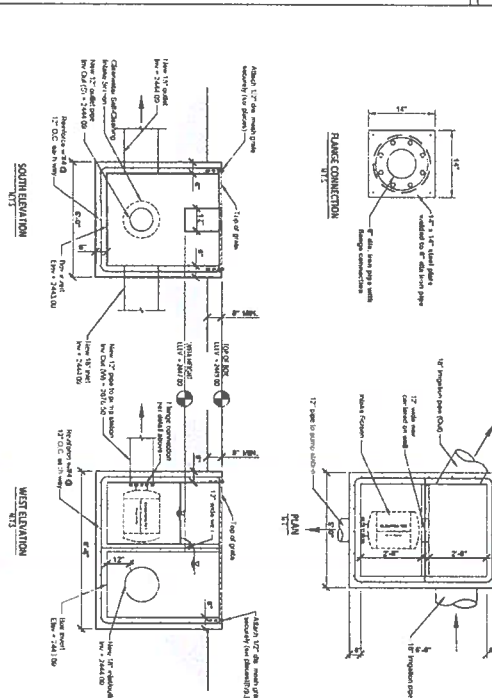


3 TYPICAL PRESSURE IRRIGATION CROSSING

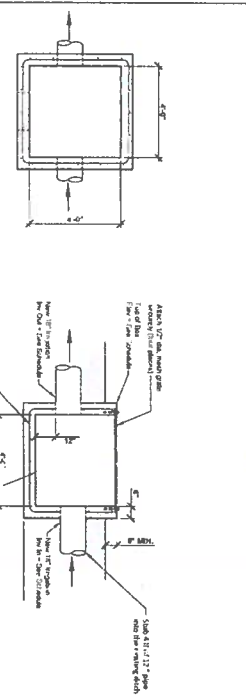


4 PIPE SLEEVE/CASING

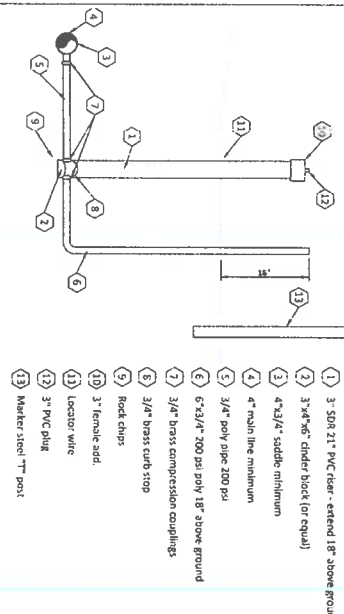
- NOTES**
1. Verify all dimensions and elevations to be used for construction.
  2. Water tight seals shall be installed on each end of the pipe sleeve/casing.
  3. All materials are required to be installed in accordance with the specifications and approved by the City of Boise.
  4. The pipe sleeve/casing shall be installed in accordance with Section 05050 and 05070. All connections shall be made in accordance with the specifications and approved by the City of Boise.



5 DIVERSION/WEIR BOX #1



6 IRRIGATION BOX



7 PRESSURE IRRIGATION SERVICE

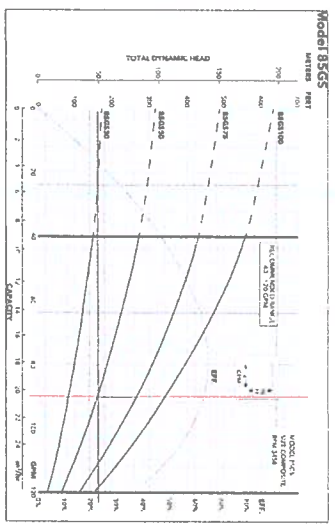
1. 3" SDR 21" PVC riser - extend 18" above ground
2. 3"x4"x6" riser block (or equal)
3. 4"x3/4" saddle minimum
4. 4" male line minimum
5. 3/4" poly pipe 200 psi
6. 6"x3/4" 200 psi poly 18" above ground
7. 3/4" brass compression couplings
8. 3/4" brass curb stop
9. Rock chips
10. 3" female saddle
11. Locator wire
12. 3" PVC plug
13. Marker stick "T" post

Flow station provided by:  
 Best Management  
 6215 Broadway Way  
 Canyon, ID 83409  
 (208) 213-1300

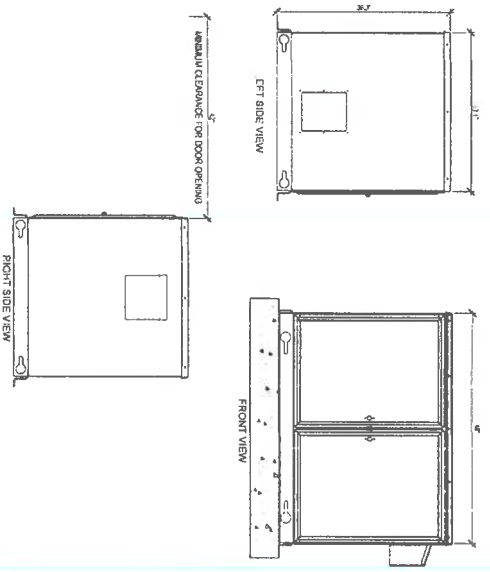
PROCESSED PUMPING  
 SYSTEMS  
 601 DENVER AVE  
 BOZEMAN, MT 59717  
 (406) 552-2222



**6 PUMP STATION INFORMATION**

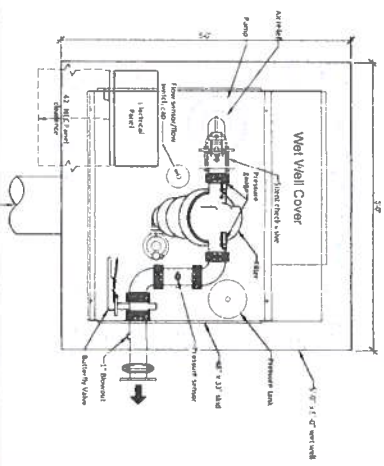


**7 PUMP CURVE (85SS50)**

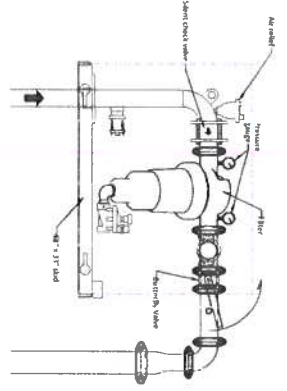


**8 PUMP STATION ENCLOSURE**

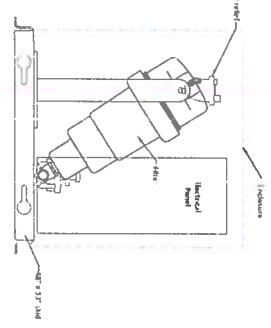
**4 PUMP STATION - PLAN VIEW**



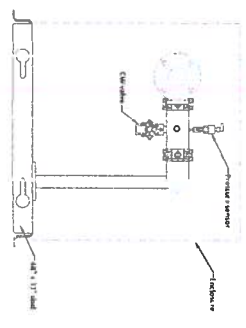
**1 PUMP STATION - FRONT ELEVATION**



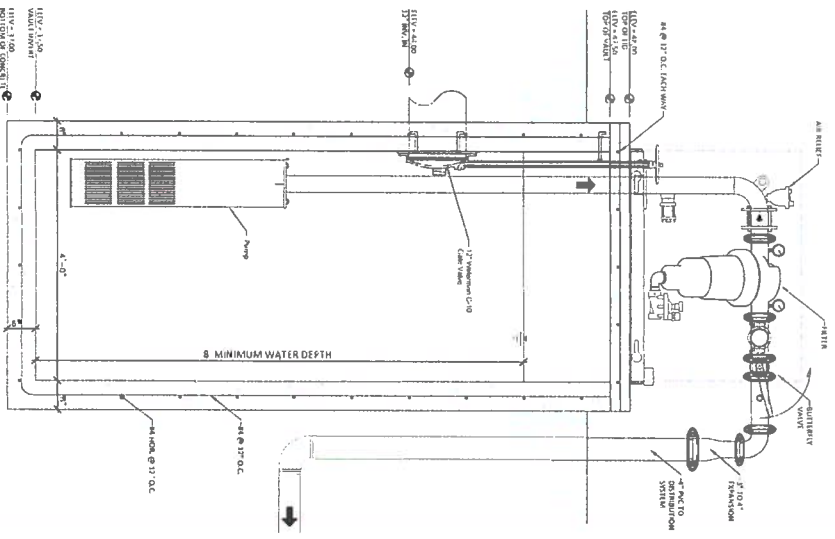
**2 PUMP STATION - LEFT SIDE ELEVATION**



**3 PUMP STATION - RIGHT SIDE ELEVATION**



**5 WET WELL AND PUMP STATION ELEVATION**



**FLETCHER'S MEADOW SUBDIVISION**  
 22334 S. LANSING LANE, CANYON COUNTY, ID  
 Gennie Fishburn  
 PUMP STATION PLAN

Date: Sept 2, 2022  
 Project Number: 23020  
 Drawn: B.J. Smith  
 Checked: B.J. Smith, P.E.



**Canyon County Development Services**  
 111 N. 11th Ave. Room 140, Caldwell, ID 83605  
 (208) 454-7458

**Building Division Email:** buildinginfo@canyonco.org

**Planning Division Email:** zoninginfo@canyonco.org

**Receipt Number:** 76393

**Date:** 9/26/2022

**Date Created:** 9/26/2022

**Receipt Type:** Normal Receipt

**Status:** Active

**Customer's Name:** Genene Fishburn

**Comments:** SD2022-0048, CR2022-0028, OR2022-0009

**CHARGES**

<u>Item Being Paid For:</u>	<u>Application Number:</u>	<u>Amount Paid:</u>	<u>Prevs Pymnts:</u>	<u>Unpaid Amnt:</u>
Planning - Conditional Rezone with Development Agreement	SD2022-0048	\$1,400.00	\$0.00	\$0.00
Planning - Comprehensive Plan Amendment	SD2022-0048	\$2,800.00	\$0.00	\$0.00
Planning - Preliminary Plat (Including Irrigation, Drainage, Grading Plans)	SD2022-0048	\$1,550.00	\$0.00	\$0.00
Planning - Preliminary Plat Additional City Impact Area Fee	SD2022-0048	\$100.00	\$0.00	\$0.00
Planning - Preliminary Plat Additional Per Lot Fee (Per Application)	SD2022-0048	\$120.00	\$0.00	\$0.00

**Sub Total:** \$5,970.00

**Sales Tax:** \$0.00

**Total Charges:** \$5,970.00

**PAYMENTS**

<u>Type of Payment:</u>	<u>Check/Ref Number:</u>	<u>Amount:</u>
Check	160	\$5,970.00

**Total Payments:** \$5,970.00

**ADJUSTMENTS**

**Receipt Balance:** \$0.00



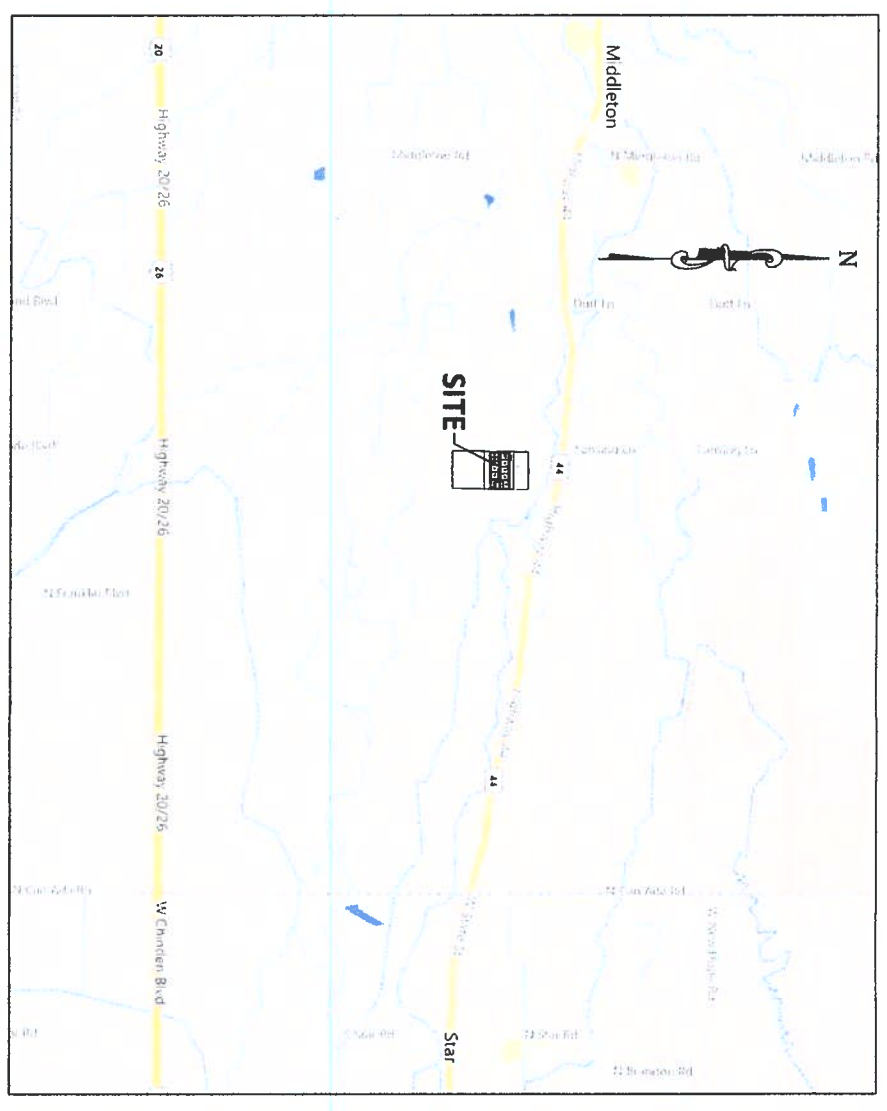
GENERAL LEGEND

- W18" — EXISTING WATER MAIN (SIZE)
- W24" — NEW WATER MAIN (SIZE)
- S18" — EXISTING SEWER MAIN (SIZE)
- S24" — NEW SEWER MAIN (SIZE)
- FS18" — FIRE SERVICE LINE
- — EXISTING OVERHEAD POWER
- — EDGE OF PAVEMENT
- — EXISTING FENCE LINE
- — NEW FENCE LINE
- — EDGE OF GRAVEL
- — PRESSURE IRRIGATION LINE
- — UNDERGROUND POWER
- — EASEMENT
- ⊙ — EXISTING DECIDUOUS TREE
- ⊙ — SEWER MANHOLE
- ⊙ — EXISTING WATER VALVE
- ⊙ — EXISTING FIRE HYDRANT
- ⊙ — EXISTING WATER METER
- ⊙ — EXISTING SEWER LINE CLEANOUT
- ⊙ — EXISTING POWER POLE
- ⊙ — EXISTING AIR CONDITIONING UNIT
- ⊙ — EXISTING GAS METER
- ⊙ — EXISTING ELECTRICAL METER
- ⊙ — EXISTING TELECOMMUNICATIONS BOX
- ⊙ — EXISTING TELEPHONE JUNCTION BOX
- ⊙ — SPOT ELEVATION
- ⊙ — TOP OF GATE
- ⊙ — TOP OF ASPHALT
- ⊙ — EXISTING
- ⊙ — FINISHED FLOOR
- ⊙ — MATCH EXISTING
- ⊙ — TOP OF CONCRETE
- ⊙ — TOP OF GRAVEL
- ⊙ — SOILS TEST PIT LOCATION

Elevations referenced to NAVD 1988 datum

Project Benchmark  
Magnetic Hill on the east  
side of S. Lansing Lane  
Elev. = 2489.28

GENERAL VICINITY MAP



AERIAL MAP



# COVER SHEET FLETCHER'S MEADOW SUBDIVISION

SHEET INDEX

- 1 COVER SHEET
- 2 NOTES
- 3 PRELIMINARY PLAT
- 4 PRELIMINARY STREET/DRAINAGE AND GRADING PLAN
- 5 PRELIMINARY MASTER IRRIGATION PLAN
- 6 PRELIMINARY IRRIGATION PLAN - WEST
- 7 PRELIMINARY IRRIGATION PLAN - EAST
- 8 PRELIMINARY IRRIGATION DETAILS
- 9 PRELIMINARY PUMP STATION PLAN

PROJECT SPECIFIC INFORMATION

<b>OWNER/DEVELOPER</b> YELLOW BRICK ROAD PROPERTIES, LLC GENNIE FISHBURN 6700 N. Linder Road Suite 156-206 Meridian, ID 83546-6606 fishburnrealstate@gmail.com (208) 353-1301	<b>ENGINEER</b> SMITH CIVIL, INC. ROGER J. SMITH, P.E. 2485 E. Oakborough Ct. Eagle, ID 83616 roger-j.smith@rj-smith.com (208) 870-1015	<b>PLANNER</b> RILEY PLANNING SERVICES PENELOPE CONSTANTINES 300 W. Myrtle Street, Suite 200 B PO Box 405 Boise, ID 83701 penelope@rileyplanning.com (208) 908-1609
<b>ACREAGE</b> 19.63 acres	<b>ZONING</b> AG (Agricultural)	
<b>IRRIGATION DISTRICT</b> Canyon County Water Company	<b>SCHOOL DISTRICT</b> Middleton School District	
<b>SEWER DISTRICT</b> Middleton	<b>FIRE DISTRICT</b> Middleton Star Fire Districts	
<b>FLOOD ZONE</b> Zone AE		

REVISED

Date: Sept 21, 2022  
Project Number: 21026  
Drawn: R.J. Smith  
Checked: R.J. Smith, P.E.

## FLETCHER'S MEADOW SUBDIVISION 22334 S. LANSING LANE, CANYON COUNTY, ID Gennie Fishburn COVER SHEET



**811**  
Call before you dig.  
Call 811 to locate underground utilities before you dig.  
Call DigLine, Inc. before commencing underground work. (800) 342-1585, (208) 342-1585, or 811

1 SITE PLAN



1	2	3	4	5
GENERAL CONSTRUCTION NOTES	ROADWAY CONSTRUCTION NOTES	SEWER CONSTRUCTION NOTES	WATER CONSTRUCTION NOTES	PRESSURE IRRIGATION NOTES
<p><b>GENERAL CONSTRUCTION:</b></p> <ol style="list-style-type: none"> <li>All construction work shall be done in accordance with the current version of the Idaho Standards for Public Works Construction (ISPW/C), the City of Middleton Supplemental Specifications to the ISPW/C, and any addendums; the requirements of the Canyon Highway Districts and/or the requirements of the Idaho Transportation Department (ITD). The more stringent of any of these standards shall be the controlling standards or specifications.</li> <li>The Contractor shall have a copy of the latest City of Middleton Standard Specifications and Drawings on site at all times during construction (available on the website). Failure to have a current copy of the Standard Specifications on site could be grounds for a stop work order until the situation is resolved.</li> <li>The Contractor shall have plans stamped "Approved for Construction" by City of Middleton Public Works Department and Canyon Highway District No. 4 on site at all times. Only plan sets stamped "Approved for Construction" and signed by the Engineer or his authorized representative shall be used for construction. Use of plans not stamped "Approved for Construction" shall be grounds for the issuance of a stop work order.</li> <li>All Contractors, Subcontractors, and Utility Contractors shall attend a pre-construction conference prior to start of work.</li> <li>Contractors shall notify the appropriate agency when materials are on site or inspection of the work is required. No work may begin on any project without twenty-four (24) hours prior notice.</li> <li>All material furnished on- or for the project must meet the minimum requirements of the approving agencies. At the request of the approving agency or the Design Engineer, Contractors shall furnish proof that all materials installed on this project meet the specification requirements set forth in General Construction Note No. 1.</li> <li>Work subject to approval by any governmental agency must be approved prior to (A) backfilling trenches for pipe, (B) placing of aggregate base; (C) placing of concrete; (D) placing of asphalt paving. Work done without such approval does not relieve the Contractor from the responsibility of performing the work in an acceptable manner.</li> <li>Inspection, approval, and final acceptance of all water and sewer construction shall be by the Public Works Department, and their decision shall be final. Such inspections shall not relieve the contractor from the responsibility of performing the work in an acceptable manner in accordance with the DEQ/QLPF approved construction plans.</li> <li>Any deviation from the approved plans and specifications must have the applicable agency approval in writing prior to construction.</li> <li>Take all lot and site dimensions and easements from the Final Plat for this development - see Sheets 3 through 5.</li> <li>The contractor shall maintain all existing drainage and irrigation facilities within the construction area until the drainage improvements are in place and functioning.</li> <li>All contractors working within the project boundaries are responsible for compliance with all applicable safety laws of any jurisdictional body. The contractor shall be responsible for all barricades, safety devices and control of traffic within and around the construction area.</li> <li>The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. The contractor assumes all responsibility for any and all damages caused by his failure to exactly locate and preserve any and all underground utilities.</li> <li>Quantity and placement of street lights is contingent upon the electrical design by Idaho Power Company. The electrical contractor will be provided a street light map by Middleton Public Works and Building Department with the issuance of an electrical permit.</li> <li>The contractor shall keep on site at all times a copy of the approved construction plans on which is recorded the actual locations of the constructed pipe line and any other utilities encountered. The contractor shall provide these locations to the design engineer for use in the production of record drawings prior to final approval of the pipe line installation.</li> </ol>	<p><b>ROADWAY CONSTRUCTION NOTES:</b></p> <ol style="list-style-type: none"> <li>All Contractors working within the public road right-of-way are required to secure a right-of-way construction permit from Canyon Highway District No. 4 or ITD at least twenty-four (24) hours prior to any construction.</li> <li>The Contractor shall maintain all existing drainage facilities within the construction area until the drainage improvements are in place and functioning.</li> <li>The Contractor shall be responsible for providing and paying for all costs associated with all testing required by the Project Specifications. All tests shall be performed by a certified testing laboratory and certified test results shall be submitted to the Owner's Engineer. Work performed without certified test results shall not be accepted.</li> <li>Plant Mix Pavement shall be Class II with a nominal maximum aggregate size of 0.5 inch (1/2") PG-64-28 (Performance Graded Asphalt Binder) shall be used. A minimum of 0.5% Anti-Stripping additive is specified.</li> <li>Canyon Highway District No. 4 or ITD will inspect all work within the public rights-of-way to include utility trenches above the pipe zone.</li> <li>Middletion City Public Works or the Project Engineer will inspect storm drainage improvements serving private roads and parking lot improvements outside the public right-of-way.</li> <li>Locate subsurface stormwater disposal facilities (including infiltration beds and drywells) at least 25 feet from water mains. This requirement does not apply to catch basins or sand and grease vaults.</li> <li>Abandoned buildings, test pits, or waterways located within current or future right-of-way shall be re-excavated to native soil and backfilled with structural fill per ISPW/C specifications. Provide soils data to verify native material meets the requirements for engineered fill per ISPW/C specifications and a copy of the compaction tests.</li> <li>Set the tops of all valve boxes and sewer manholes flush with the slope of the finished street grades. Place all water valves, blow-offs and manholes so that they do not conflict with any concrete curb and gutter, valley gutter or sidewalk improvements.</li> <li>If any utility or irrigation facility interferes with required street improvements, all such utilities or irrigation facilities shall be relocated at the owner's expense so as not to interfere with required street improvements.</li> <li>Retain and protect all utilities unless noted otherwise on these plans.</li> <li>Direction of slope (typical) <math>\longrightarrow</math></li> <li>Refer to architectural drawings for landscaping. Landscaping must slope for proper drainage.</li> <li>The contractor shall contact Digline 48 hours prior to digging to verify the location of existing utilities.</li> <li>Compaction shall not be less than 95% of the Standard Proctor Density.</li> </ol>	<p><b>SEWER NOTES:</b></p> <ol style="list-style-type: none"> <li>All work shall be done in accordance with the latest Sewer Specifications and Standard Drawings of the Idaho Standards for Public Works Construction (ISPW/C), Middleton Public Works Department, and/or the Canyon Highway Districts.</li> <li>The Contractor shall construct the sanitary sewer in accordance with the stamped plans approved by the Middleton Public Works Department. These plans will be provided to the Contractor by the Project Inspector prior to construction. Work shall not be done without the current set of approved plans.</li> <li>Final approval and acceptance of all sewer construction will be by the Middleton Public Works Department.</li> <li>Sewer inspections will be by the Middleton Public Works Department and their decisions should be considered as final. The Contractor will notify the Middleton Public Works Department 48 hours prior to construction. Middleton City will provide periodic inspections for an eight-hour day, from 8:00 a.m. to 5:00 p.m., for a forty-hour week. The Contractor shall reimburse the City at rates established by the City for inspection in excess of the normal work week, including legal holidays. Overtime inspection rates and a list of legal holidays can be obtained from the Middleton Public Works Department.</li> <li>Sewer construction will meet specific details and requirements of the Idaho Standards for Public Works Construction including Middleton City revisions. Middleton City revisions to the ISPW/C standard drawings are available online.</li> <li>Groundwater levels shall be maintained below the bottom of the trench during the pipe laying and pipe joining operations. All manholes located within limits of seasonal groundwater shall have the exterior of all concrete surfaces coated with two coats of Coal Tar Epoxy.</li> <li>Service lines shall be marked in accordance with the specifications and standard drawing SO-512. Service line markers shall remain in place during construction and be present for final inspection. On lots where roof drains are utilized, the contractor shall cover the roof drain markers to final differentiate roof drain markers from sewer service markers.</li> <li>The horizontal separation of the water and sewer mains shall be a minimum of ten (10) feet. Where it is necessary for sewer and water to cross each other and the sewer line is less than 18 inches below or above the water main, the sewer line crossing shall be P.V.C. pressure pipe conforming to AWWA C-900 or ASTM D2241, for a distance of 10' on both sides of water line. One full length of both water main and sewer pipe shall be centered over the crossing point so that all joints will be as far from the crossing as possible.</li> <li>All stationing relates to the gravity sewer centerline.</li> <li>The Contractor shall provide Middleton City's inspector with "cut sheets" for the staking provided for the construction of the sanitary sewer. "Cut sheets" shall be provided to the City prior to construction. Additionally, temporary bench marks shall be provided to the Middleton Public Works Department. Inspection section prior to the commencement of construction.</li> <li>Prior to construction, Temporary Bench Marks (TBM's) shall be set in the field by a licensed surveyor or engineer and shall be flagged and clearly visible from all directions. A TBM shall be located within 100 feet of the tie-in to existing sewer and spaced no greater than 500 feet along the sewer alignment thereafter. TBM's shall have elevations tied to the NAVD 1988 Datum.</li> <li>Sewer pipe with elevations of greater than 3 feet, shall be bell and spigot, polyvinyl chloride (PVC), SDR 35, ASTM D-3034 for 7'-inch through 15'-inch and ASTM F679 for 18'-inch through 27'-inch as set forth by the Middleton Public Works Department. Sewer pipe with less than 3 feet of cover shall be ductile iron conforming to ANSI A-21.51 or AWWA C-151 minimum Class 50. A rubber ring is to be installed where the pipe is in contact with the manhole base and/or its channel in order to ensure a water-tight seal.</li> <li>The sewer contractor shall supply all fit assemblies and the required number of riser and grade rings. The sewer contractor shall field verify the elevation of the top of the manhole cone to assure that ring elevations match final street grades. The maximum height of the grade rings shall be such that the finished grade elevation of the manhole frame and cover shall not be more than twenty-one (21) inches above the top of the manhole cone.</li> <li>The paving contractor shall set the grade rings and pour the concrete collars per Standard Drawing No. SD-508. The paving contractor shall contact Canyon Highway District No. 4 24 hours prior to pouring concrete collars.</li> <li>The trench backfill above the pipe zone will be inspected by the Canyon Highway District No. 4 or by the developer's engineer in accordance with the latest edition of the "Construction Quality Assurance Manual". Compaction tests are required on the backfill above the pipe zone, within public right-of-way. Testing shall be conducted to meet all Canyon Highway District No. 4 requirements and the results shall be submitted to Middleton Public Works Department and Canyon Highway District No. 4 prior to final acceptance.</li> <li>The Middleton Public Works Department may test the compaction of the sewer pipeline bedding. Testing will be done by an independent testing laboratory. The cost of the first test will be paid by the Middleton Public Works Department. If the first test fails to meet required compaction, all re-testing shall be paid by the sewer contractor. The Contractor shall contact the Middleton Public Works Department and/or testing laboratory to schedule the tests prior to any pipe laying and backfilling.</li> <li>The Contractor shall leave the excavation for the upstream end of all service lines open for field verification of the invert elevation by the City's inspector. The Contractor shall not backfill the ends of service lines until he has obtained approval from Middleton City's inspector or made other arrangements for the verification of service line invert elevations.</li> <li>Prior to Final Acceptance, after all utilities are in and prior to paving, an air test shall be conducted. The Contractor shall contact the City of Middleton a minimum of 24 hours prior to testing. All manholes shall be tested in accordance with the ISPW/C and Middleton City's modifications.</li> <li>The sewer main shall be tested for deflection in accordance with the ISPW/C and Middleton City's modifications. All sewer lines shall be televised with a closed circuit television camera in accordance with the ISPW/C and Middleton City's modifications. No standing water shall be present.</li> </ol>	<p><b>WATER NOTES:</b></p> <ol style="list-style-type: none"> <li>Construction of the water system shall conform to the standards in the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) as well as the standards and specifications referred to in General Construction Note No. 1.</li> <li>The horizontal separation of potable water mains and non-potable water mains (sanitary sewer, storm drain, and irrigation) shall be a minimum of ten (10) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with Section 542.07 of the Water Systems (IDAPA 58.01.08) and Section 430.02 of the Wastewater Rules (IDAPA 58.01.16).</li> <li>The horizontal separation of non-potable services and potable water services or potable water mains shall be a minimum of six (6) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with Section 542.07 of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) and Section 430.02 of the Wastewater Rules (IDAPA 58.01.16).</li> <li>Place water service lines in a two (2) inch diameter pipe whenever the service line crosses a storm water treatment facility (i.e. seepage beds, drainage swales). The pipe material used for sleeving must be impervious to contamination from petroleum products and must be approved by the Idaho Department of Environmental Quality (IDEQ).</li> <li>The Contractor shall be responsible for providing continuous water service to all existing water users affected by construction.</li> <li>All water works components shall be ANSI/NSF 61 Certified, and must meet all AWWA and standard requirements of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08).</li> <li>All water, pipe and fittings shall comply with applicable portions of Middleton Standard Specifications and Drawings. Water mains shall be AWWA C-900, class 150 PVC, or as approved by Middleton Public Works.</li> <li>Five (5) feet of cover shall be provided for all water mains located in a section-line road. Five feet of cover may be necessary for some mid-section line roads; see plans. Four (4) feet of cover shall be provided for all other water mains. See Middleton Standard Specifications and Drawings for water main installation and for standard trench construction.</li> <li>Locate subsurface storm water disposal facilities (including infiltration beds and drywells) at least 25 feet from main water lines. This requirement does not apply to catch basins or sand and grease vaults.</li> <li>Place no. 12 direct burial wire along the north and east side of water mains and service lines.</li> <li>The contractor shall coordinate water system installation with Middleton Public Works.</li> <li>The water system must be constructed, pressure-tested, flushed, and disinfected in accordance with Middleton Public Works.</li> <li>The contractor shall be responsible for locating and marking all existing service connections per Middleton Public Works.</li> <li>Secure and anchor all tees, plugs, caps, bends, and other locations where unbalanced forces exist by suitable thrust blocking per Middleton Public Works.</li> </ol>	<p><b>PRESSURE IRRIGATION NOTES:</b></p> <ol style="list-style-type: none"> <li>Install all crossings of the Public Rights-of-Way, private roadways and travelways with pressure irrigation at a maximum depth of two-and-one-half (2-1/2) feet and in an AWWA C-900 pipe sleeve with locator wire. Middleton Public Works Department and Canyon Highway District No. 4 shall inspect all crossings prior to backfilling.</li> <li>The horizontal separation of potable water mains and non-potable water mains (sanitary sewer, storm drain, and irrigation) shall be a minimum of ten (10) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with Section 542.07 of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) and Section 430.02 of the Wastewater Rules (IDAPA 58.01.16).</li> <li>The horizontal separation of non-potable services and potable water services or potable water mains shall be a minimum of six (6) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with Section 542.07 of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) and Section 430.02 of the Wastewater Rules (IDAPA 58.01.16).</li> <li>Install rfidr tape with all irrigation mains. Tape shall be two (2) inches wide, purple in color, with the words DANGER - UNSAFE WATER or NON-POTABLE WATER clearly marked along its length. Place the tape between six (6) inches below the surface and eighteen (18) inches above the top of the pipe.</li> <li>Label all irrigation risers and faucets with durable tags carrying the warning DANGER - UNSAFE WATER or NON-POTABLE WATER.</li> <li>Label all valve boxes and vaults with durable tags carrying the warning DANGER - UNSAFE WATER or NON-POTABLE WATER. The valves and boxes are to be located a minimum of ten (10) feet outside of the Public Right-of-Way, private roadways and travelways.</li> <li>Install a reduced pressure backflow preventer in any connection between the potable water system and the pressure irrigation system. The device must be approved by the Idaho Department of Environmental Quality (DEQ) and Middleton Public Works.</li> <li>The Public Works Department shall inspect all pressurized irrigation unless a properly executed agreement for inspection and maintenance is in effect with the applicable irrigation District. Forty-eight (48) hours advance notice is required.</li> <li>Provide thrust blocking as specified in Suez Water Company requirements.</li> </ol>

<p>REVISED</p>	<p>Date Sept 21, 2022</p> <p>Project Number 21026</p> <p>Drawn R J Smith</p> <p>Checked R J Smith, P.E.</p>	 <p>2485 E. Oakborough Ct., Eagle, ID 83616 (208) 870-1013</p>	<p align="center"><b>FLETCHER'S MEADOW SUBDIVISION</b>  <b>22334 S. LANSING LANE, CANYON COUNTY, ID</b>  <b>Gennie Fishburn</b>  <b>NOTES</b></p>	<p align="center">Professional Engineer          Registered Professional Engineer          No. 8140          State of Idaho          License Expires 12/31/2022</p> <p align="center">Sheet  <b>2</b></p>
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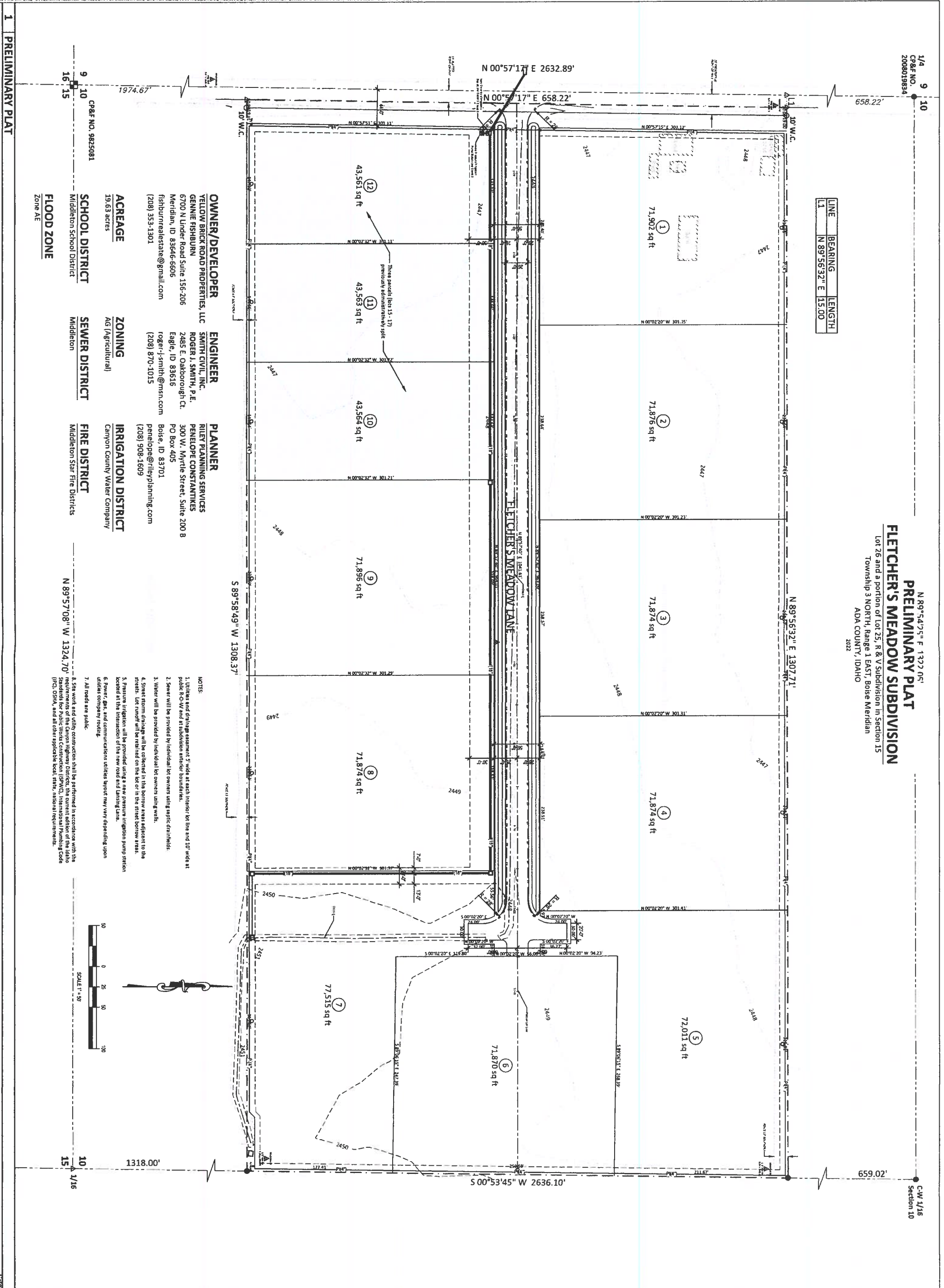


1/4  
CP&F NO.  
2008019834

C-W 1/16  
Section 10

N 89°54'51" E 1327.05'  
**PRELIMINARY PLAT**  
**FLETCHER'S MEADOW SUBDIVISION**  
Lot 26 and a portion of Lot 25, R & V Subdivision in Section 15  
Township 3 NORTH, Range 1 EAST, Boise Meridian  
ADA COUNTY, IDAHO  
2022

LINE	BEARING	LENGTH
L1	N 89°56'32" E	15.00



1 PRELIMINARY PLAT

**OWNER/DEVELOPER**  
YELLOW BRICK ROAD PROPERTIES, LLC  
GENNIE FISHBURN  
6700 N Linder Road Suite 156-206  
Meridian, ID 83646-6606  
fishburnrealstate@gmail.com  
(208) 353-1301

**ENGINEER**  
SMITH CIVIL, INC.  
ROGER J. SMITH, P.E.  
2485 E. Oakborough Ct.  
Eagle, ID 83616  
roger-j-smith@rjn.com  
(208) 870-1015

**PLANNER**  
RILEY PLANNING SERVICES  
PENELOPE CONSTANTINES  
300 W. Myrtle Street, Suite 200 B  
PO Box 405  
Boise, ID 83701  
penelope@rileyplanning.com  
(208) 908-1609

**ACREAGE**  
19.63 acres

**ZONING**  
AG (Agricultural)

**IRRIGATION DISTRICT**  
Canyon County Water Company

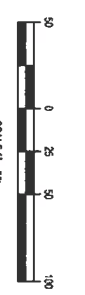
**SCHOOL DISTRICT**  
Middleton School District

**SEWER DISTRICT**  
Middleton

**FIRE DISTRICT**  
Middleton Star Fire Districts

**FLOOD ZONE**  
Zone AE

- NOTES:
1. Utilities and drainage easements 5' wide at each interior lot line and 10' wide at public R-O-W and at subdivision exterior boundaries.
  2. Sewer will be provided by individual lot owners using septic drainfields.
  3. Water will be provided by individual lot owners using well.
  4. Street storm drainage will be collected in the borrow areas adjacent to the streets. Lot runoff will be retained on the lot or in the street borrow areas.
  5. Pressure irrigation will be provided using a new pressure irrigation pump station located at the intersection of the new road and Lansing Lane.
  6. Power, gas, and communications utilities layout may vary depending upon utility company routing.
  7. All roads are public.
  8. Site work and utility construction shall be performed in accordance with the requirements of the Canyon Highway District, the current edition of the Idaho Standard for Public Works Construction (ISPW/C), International Plumbing Code (IPC), OSHP, and all other applicable local, state, federal requirements.



REVISED

Date: Sept 21, 2022  
Project Number: 21026  
Drawn: R.J. Smith  
Checked: R.J. Smith, P.E.

**FLETCHER'S MEADOW SUBDIVISION**  
22334 S. LANSING LANE, CANYON COUNTY, ID  
Gennie Fishburn  
PRELIMINARY PLAT

PROFESSIONAL ENGINEER  
8140  
ROGER J. SMITH  
SEP 21 2022

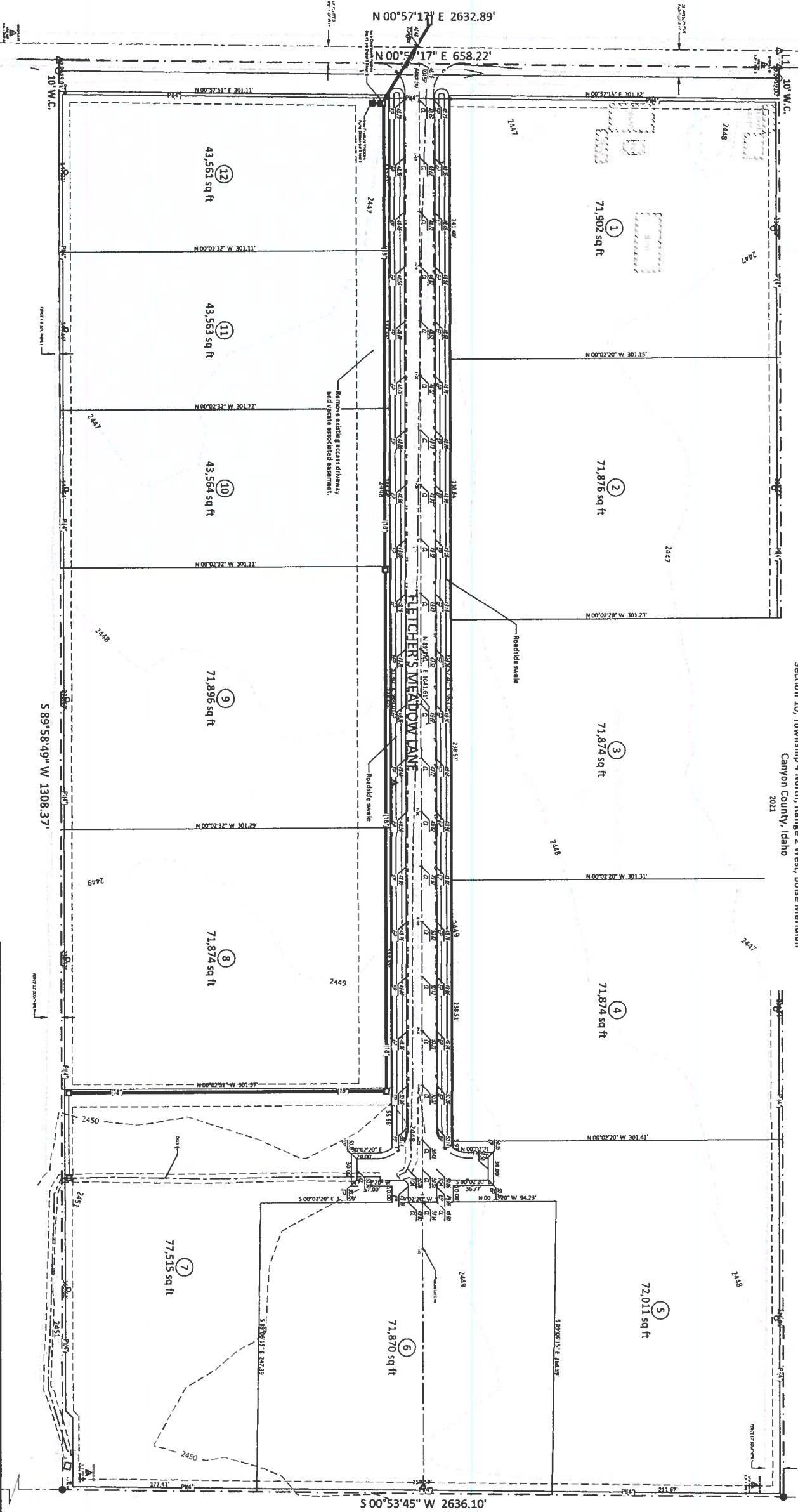
SMITH  
Civil Engineering  
2485 E. Oakborough Ct., Eagle, ID 83616  
(208) 870-1015

3  
Sheet

LINE	BEARING	LENGTH
1	N 89°56'32" E	15.00'

**STREET/DRAINAGE AND GRADING PLAN**  
**FLETCHER'S MEADOW SUBDIVISION**

Lots 52 and 57, Amended Plat Lemp Park Urban Tracts  
 Section 10, Township 4 North, Range 2 West, Boise Meridian  
 Canyon County, Idaho  
 2021

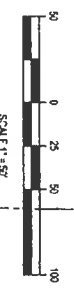


CP&E NO. 9825081  
 16' 15"

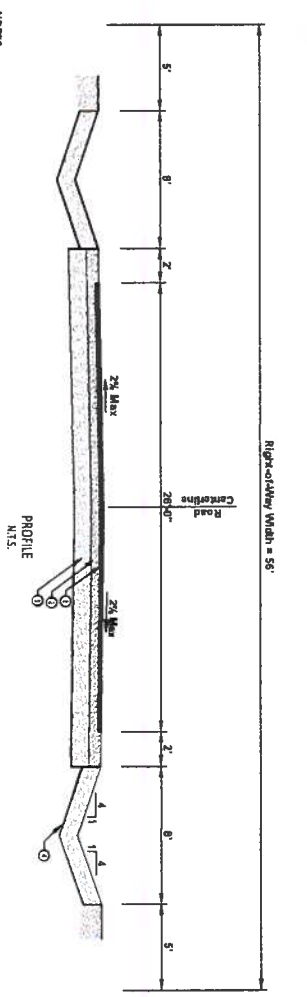
N 89°57'08" W 1324.70'

S 89°58'49" W 1308.37'

S 00°53'45" W 2636.10'



**1 STREET IMPROVEMENT PLAN**



- NOTES**
- A All construction shall be per ISWIC specifications.
  - B Street longitudinal profile grades 0.4% minimum.
  - C Asphalt and aggregate base thickness are minimum allowed. Actual thickness shall be designed by the engineer based on the traffic index and "R" value of subgrade soils and approved by Canyon Highway District.
  - D Vertical curve and horizontal curve requirements based on AASHTO policy on geometric design of highways and streets.
  - E Grass coverage swales and depressed driveway approaches may be constructed for nuisance water only. Storage may not be considered in drainage design.
- | ITEM | TYPE   | MINIMUM DEPTH |
|------|--|---------------|
| 1    | Hot plant mix asphalt - Class III                      | 3"            |
| 2    | Crushed aggregate base - 3/4" Type I or bedding course | 6"            |
| 3    | Uncrushed aggregate base course                        | 12"           |
| 4    | Gravel shoulder  | 12"           |
| 5    | Gravel borrow with 3:1 side slopes                     | 12"           |

**2 TWO LANE RURAL ROAD SECTION**

**FLETCHER'S MEADOW SUBDIVISION**  
**22334 S. LANSING LANE, CANYON COUNTY, ID**  
**Gennie Fishburn**  
**STREET/DRAINAGE AND GRADING PLAN**

REVISIONS	REVISED
Date	Sept 21, 2022
Project Number	21026
Drawn	R.J. Smith
Checked	R.J. Smith, P.E.





1/4  
C&E NO. 2008019834  
9 10

658.22'

LINE	BEARING	LENGTH
L1	N 89°56'32" E	15.00'

N 89°56'32" E 1307.71'  
**MASTER IRRIGATION PLAN**  
**FLETCHER'S MEADOW SUBDIVISION**  
 Lot 26 and a portion of Lot 25, R & V Subdivision in Section 15  
 Township 3 NORTH, Range 1 EAST, Boise Meridian  
 ADA COUNTY, IDAHO  
 2022

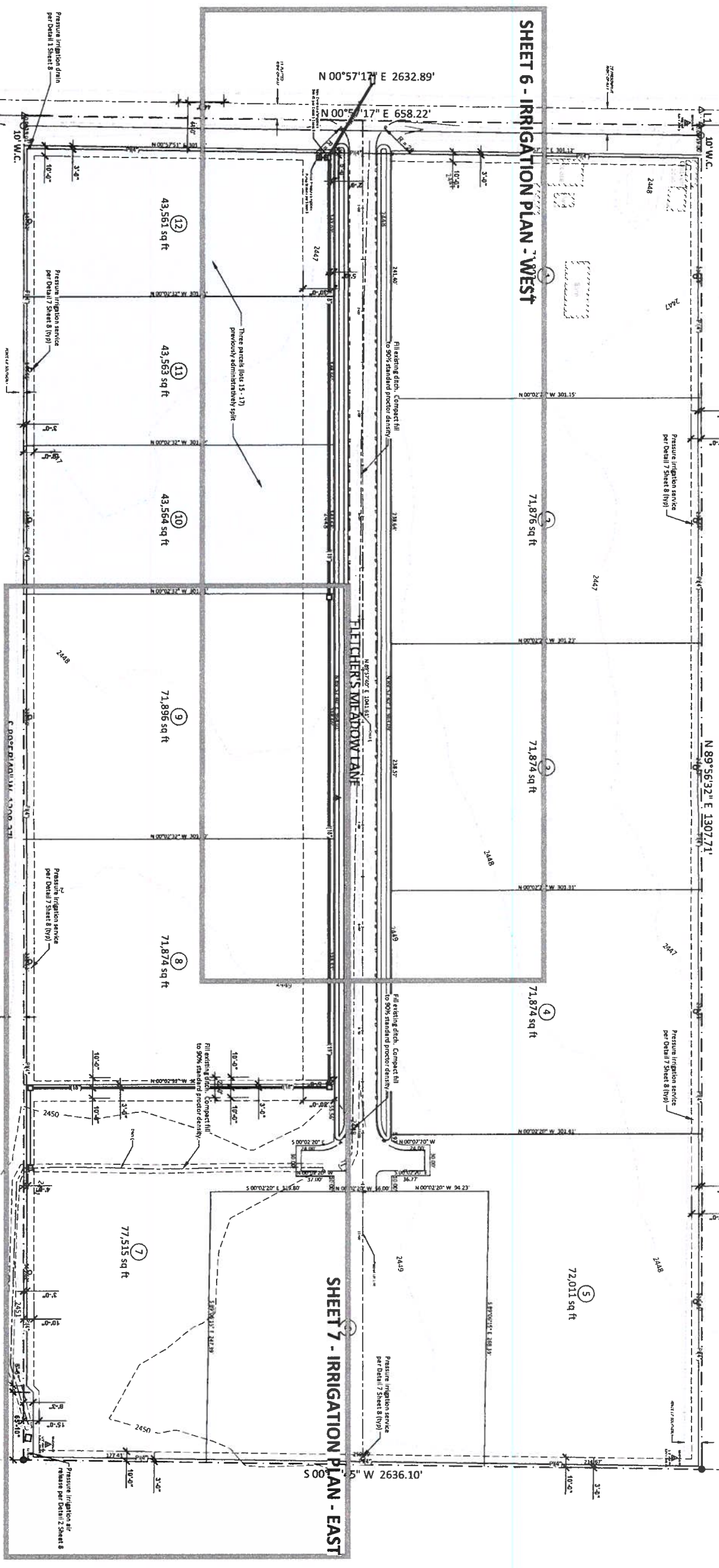
C-W 1/16  
Section 10

659.02'

**SHEET 6 - IRRIGATION PLAN - WEST**

**SHEET 7 - IRRIGATION PLAN - EAST**

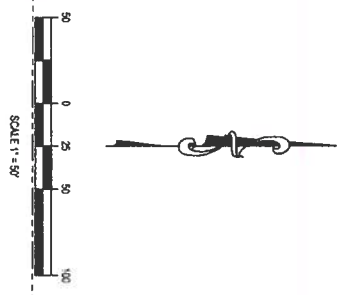
**FLETCHER'S MEADOW CANAL**



**1 MASTER IRRIGATION PLAN**

1974.67'  
 16' 15"  
 9 10  
 C&E NO. 9825081

N 89°57'08" W 1324.70'



1318.00'  
 10 15  
 1/16

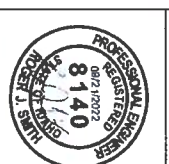
REVISED

Date	Sept 21, 2022
Project Number	21026
Drawn	R J Smith
Checked	R J Smith, P.E.

**FLETCHER'S MEADOW SUBDIVISION**  
 22334 S. LANSING LANE, CANYON COUNTY, ID  
 Gennie Fishburn  
**MASTER IRRIGATION PLAN**



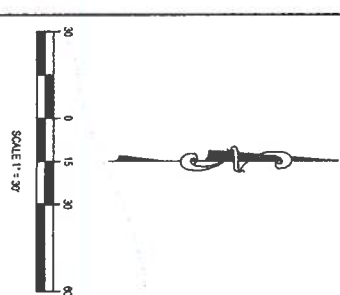
2485 E. Oakbrough Ct., Eagle, ID 83616  
 (208) 870-1111



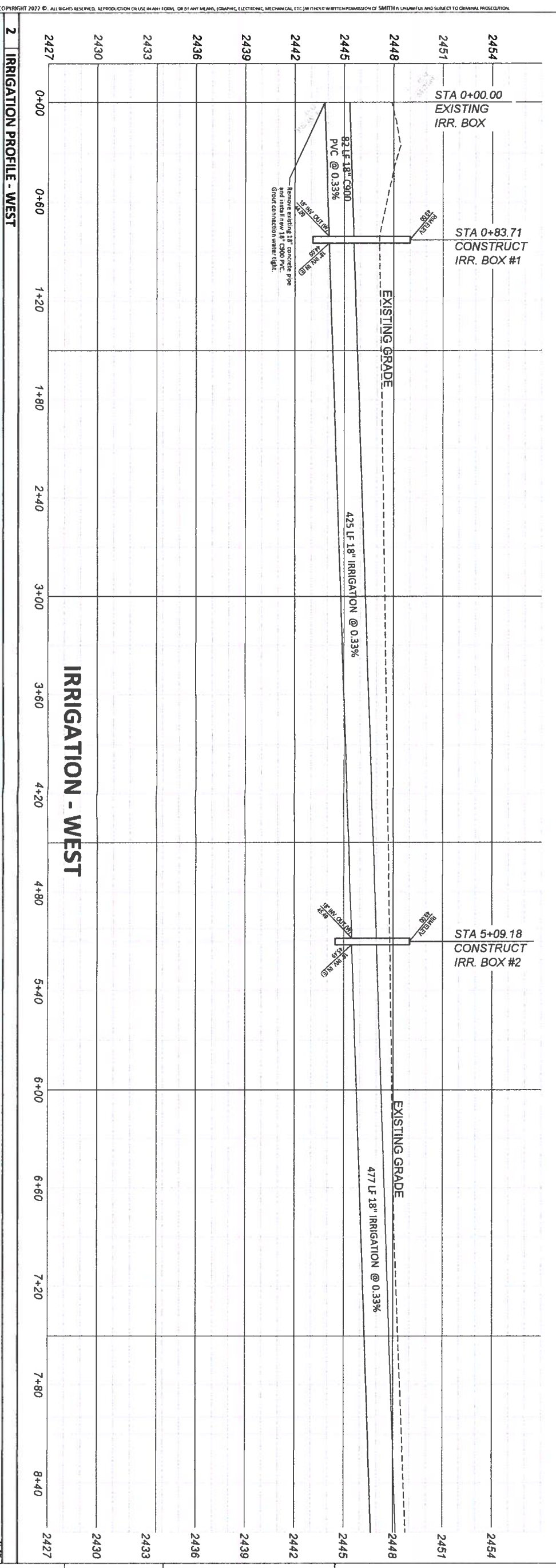
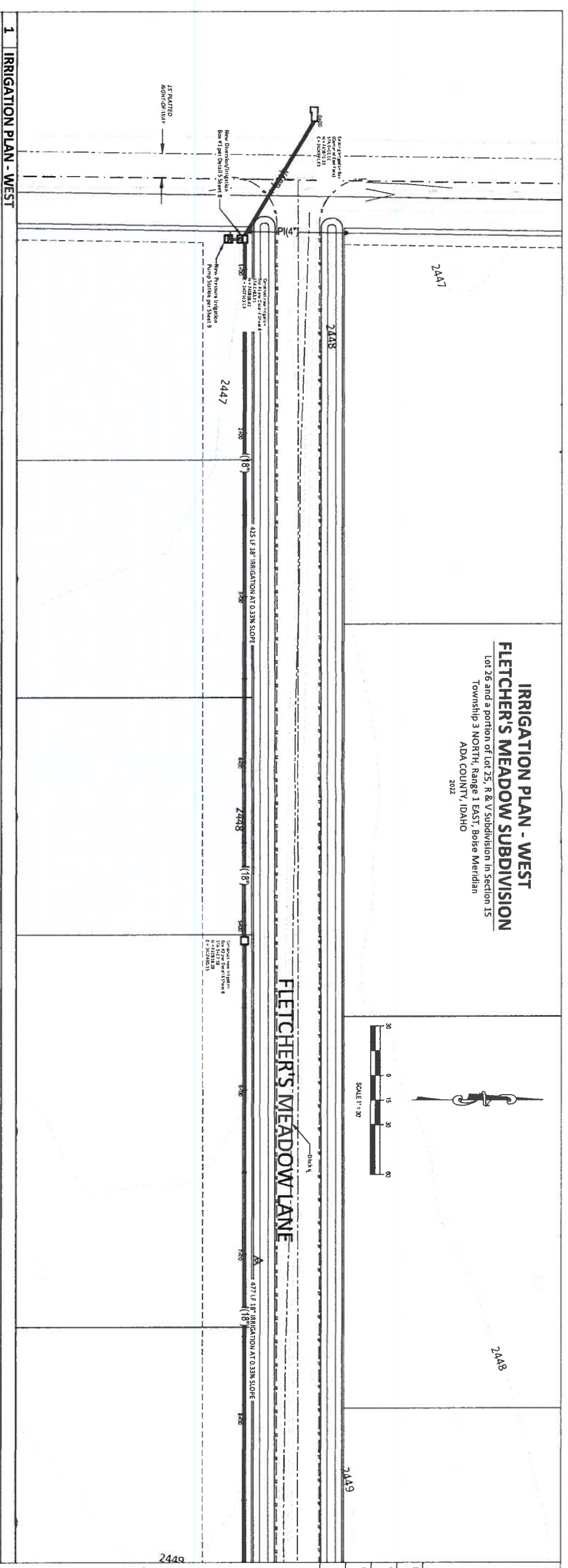
5

Sheet

**IRRIGATION PLAN - WEST**  
**FLETCHER'S MEADOW SUBDIVISION**  
 Lot 26 and a portion of Lot 25, R & V Subdivision in Section 15  
 Township 3 NORTH, Range 1 EAST, Boise Meridian  
 ADA COUNTY, IDAHO  
 2022



REVISED
Date Sept 21, 2022
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Drawn R J Smith
Checked R J Smith, P.E.



**FLETCHER'S MEADOW SUBDIVISION**  
 22334 S. LANSING LANE, CANYON COUNTY, ID  
 Gennie Fishburn  
 IRRIGATION PLAN - WEST

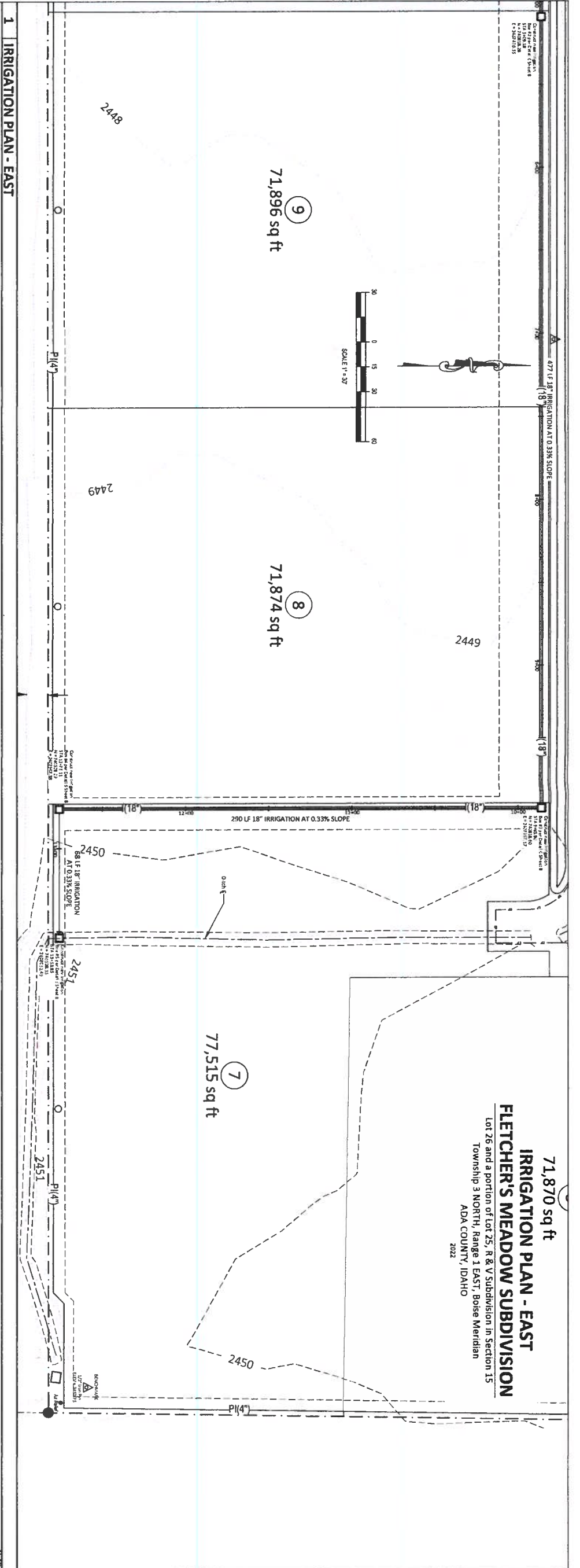
PROFESSIONAL ENGINEER  
 ROBERT J. SMITH  
 8140  
 08/21/2022  
 STATE OF IDAHO

**SMITH**  
 Engineering  
 2485 E. Oakborough Ct., Eagle, ID 83616  
 (208) 870-1015

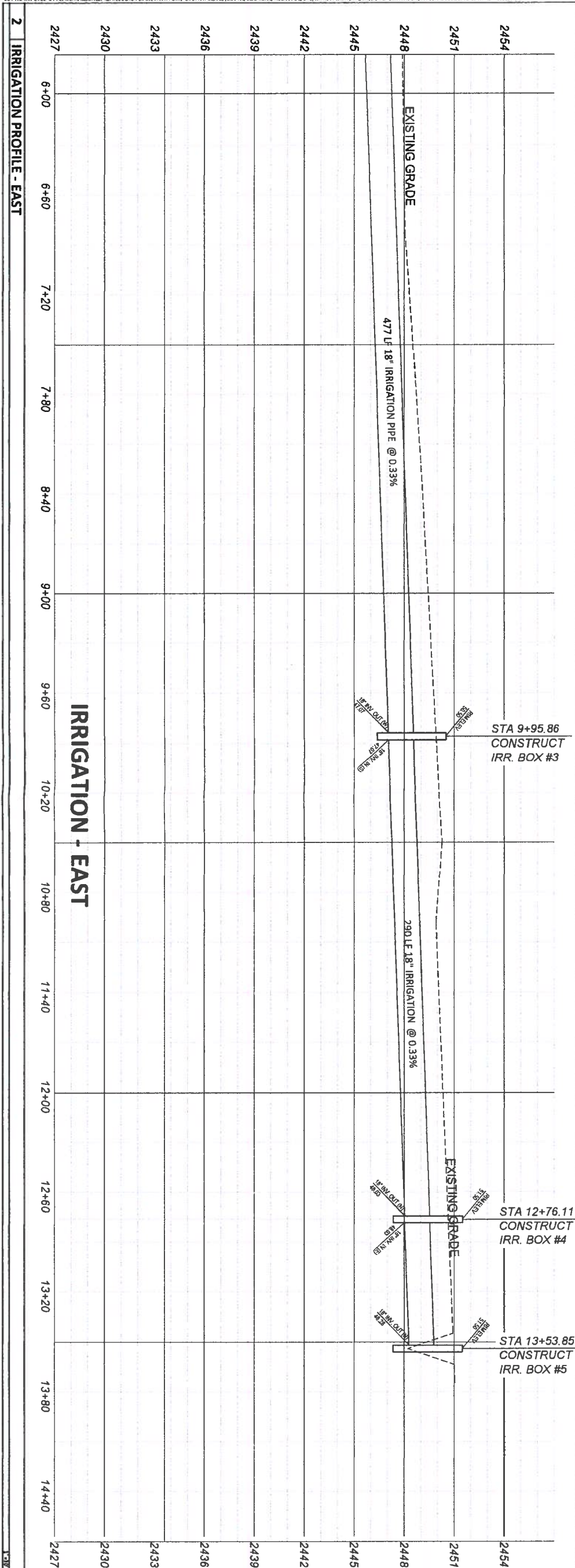
Sheet **6**

1 IRRIGATION PLAN - WEST  
 2 IRRIGATION PROFILE - WEST  
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**71,870 sq ft**  
**IRRIGATION PLAN - EAST**  
**FLETCHER'S MEADOW SUBDIVISION**  
 Lot 26 and a portion of Lot 25, R & V Subdivision in Section 15  
 Township 3 NORTH, Range 1 EAST, Boise Meridian  
 ADA COUNTY, IDAHO  
 2022



REVISIONS	
Date	Sept 21, 2022
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Checked	R J Smith, P.E.

**FLETCHER'S MEADOW SUBDIVISION**  
**22334 S. LANSING LANE, CANYON COUNTY, ID**  
**Gennie Fishburn**  
**IRRIGATION PLAN - EAST**

  
 2485 E. Oakbrough Cr., Eagle, ID 83616  
 (208) 870-1013



Sheet **7**

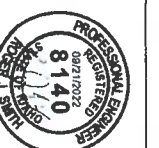
REVISED

Date  
Sept 21, 2022  
Project Number  
21026  
Drawn  
R J Smith  
Checked  
R J Smith, P.E.

### FLETCHER'S MEADOW SUBDIVISION 22334 S. LANSING LANE, CANYON COUNTY, ID Gennie Fishburn IRRIGATION DETAILS

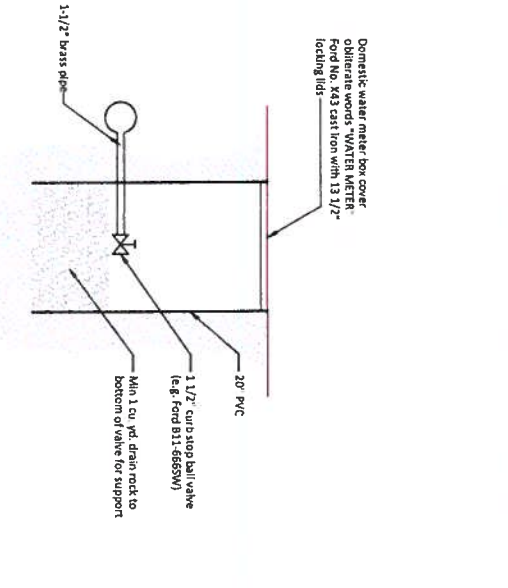


2455 E. Oakview Dr., Engle, ID 83616  
(208) 870-1013

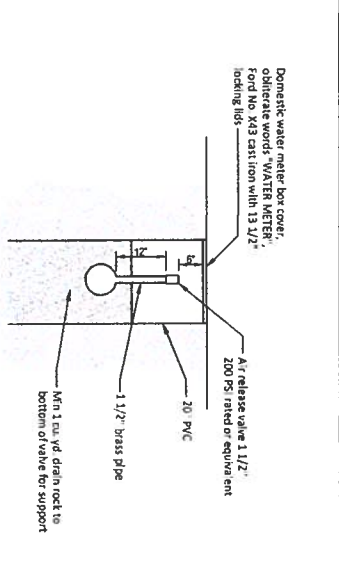


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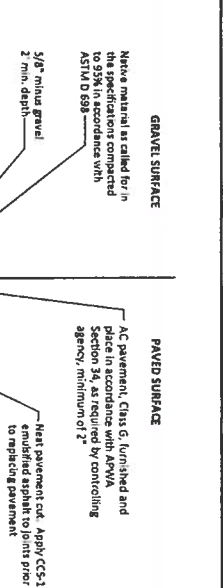
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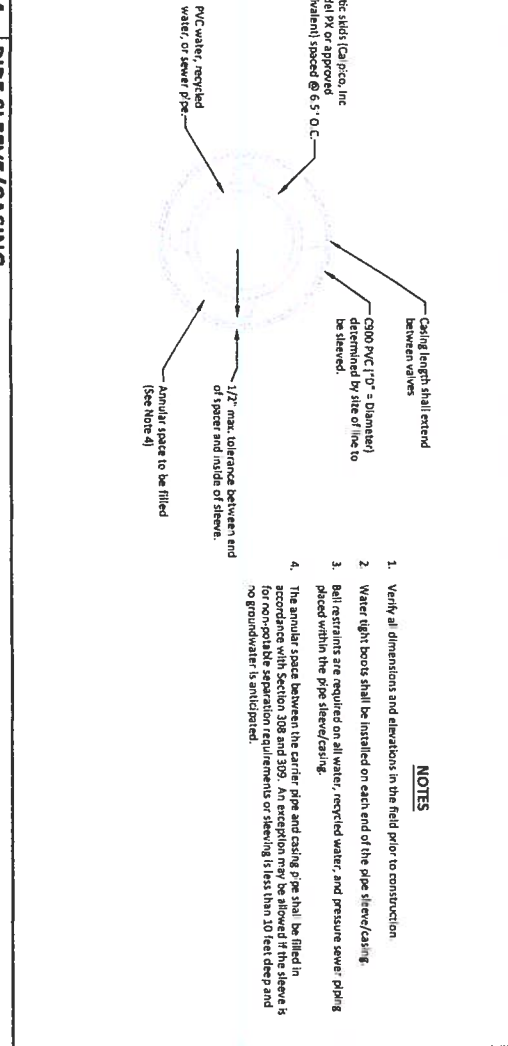
#### 1 DRAIN VALVE



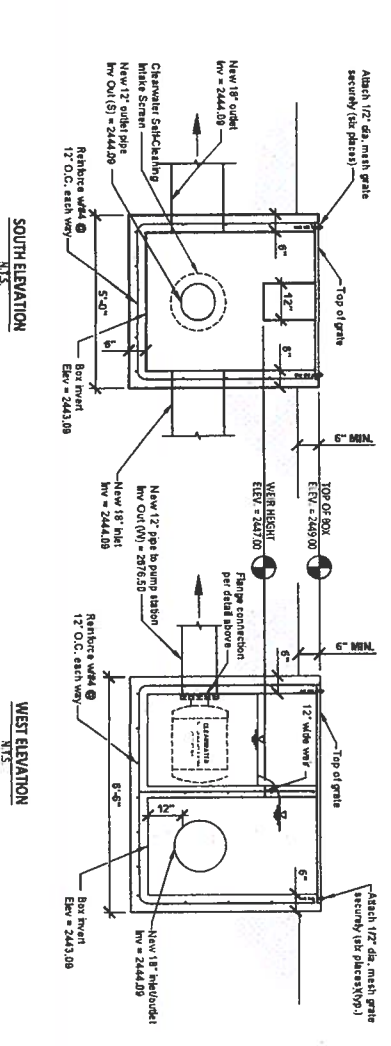
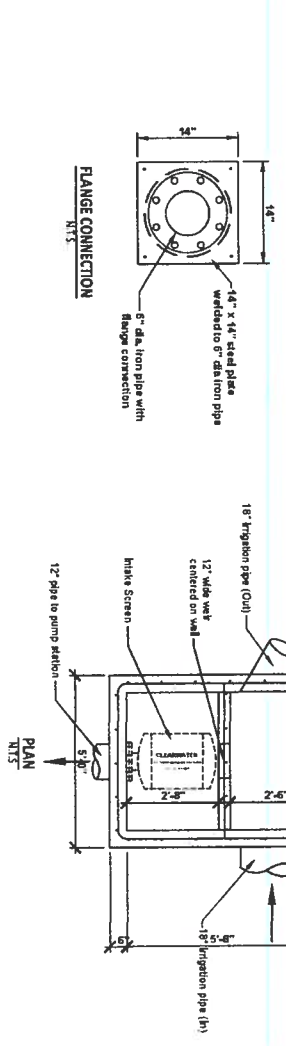
#### 2 AIR RELEASE VALVE



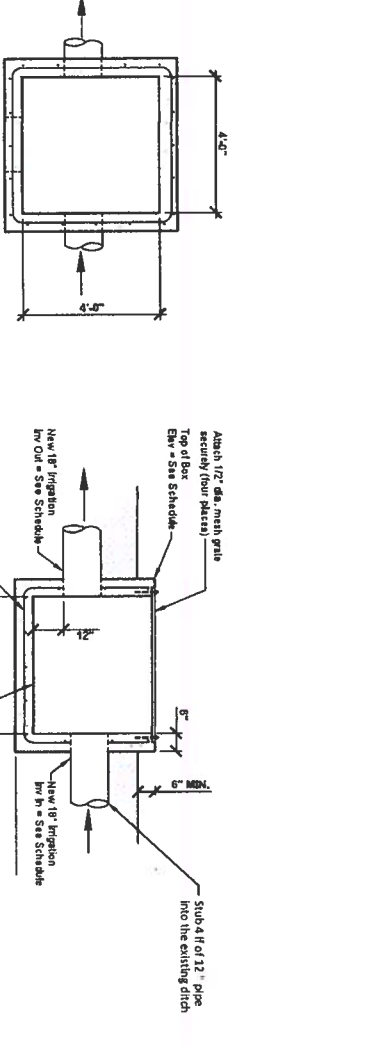
#### 3 TYPICAL PRESSURE IRRIGATION CROSSING



#### 4 PIPE SLEEVE/CASING



#### 5 DIVERSION/WEIR BOX #1

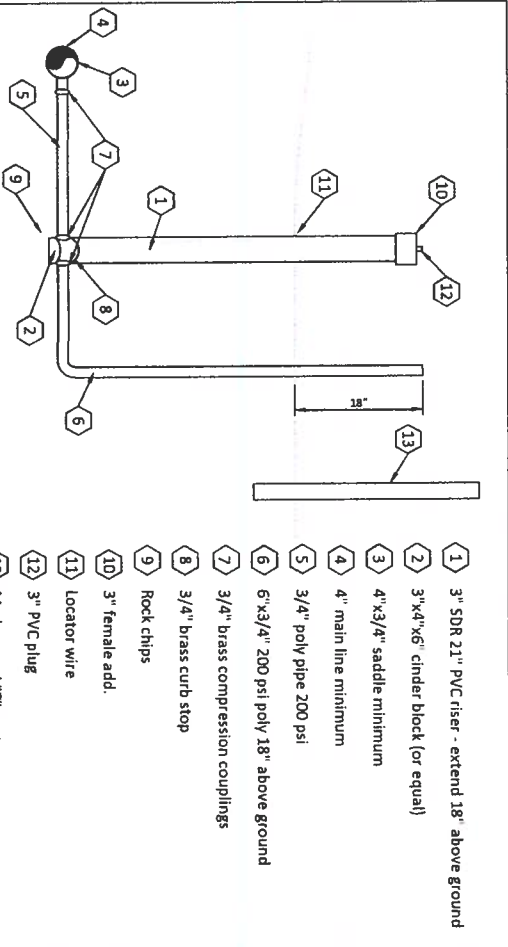


#### 6 IRRIGATION BOX

Box	Top	Bottom	Bottom
1	48.00	43.09	44.09
2	49.00	44.59	45.59
3	50.50	46.07	47.07
4	51.50	47.03	48.03
5	51.50	47.28	48.28

N.T.S.

#### 7 PRESSURE IRRIGATION SERVICE



N.T.S.

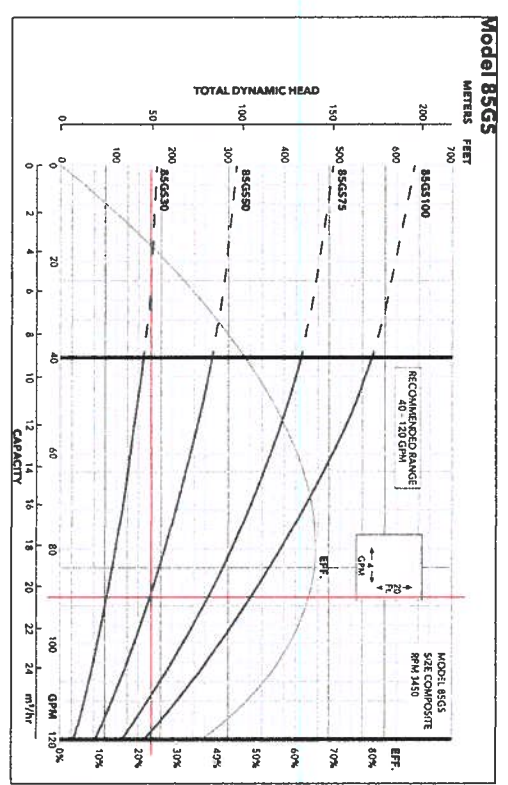


Pump station provided by:  
 Precision Pumping Systems  
 6515 Burdette Way  
 Boise, ID 83716  
 (208) 323-5300

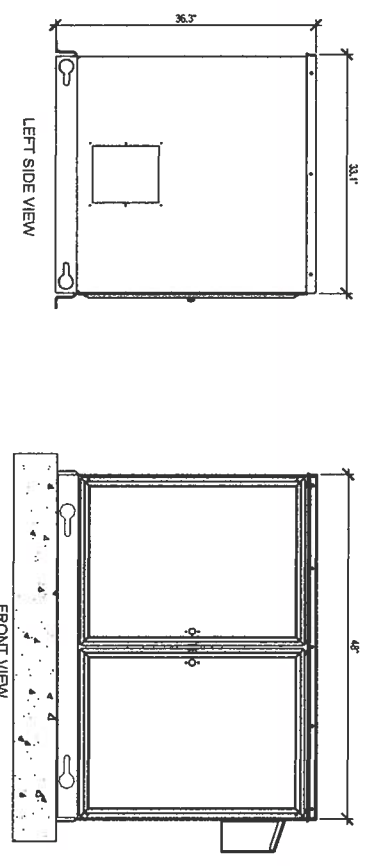


PUMP AND MOTOR: GARDINER 85G50 14 stage pump with 5.0 HP Centrifugal Motor  
 HORSEPOWER: 5.0 HP  
 PUMP SPEED: 3450 RPM  
 PUMP HEAD: 120 FT  
 FLOW RANGE: 40-90 GPM

**6 PUMP STATION INFORMATION**

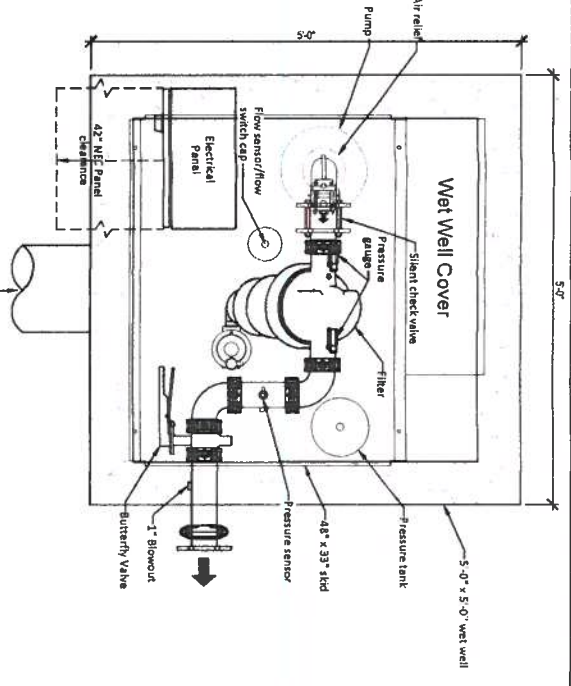


**7 PUMP CURVE (85G50)**

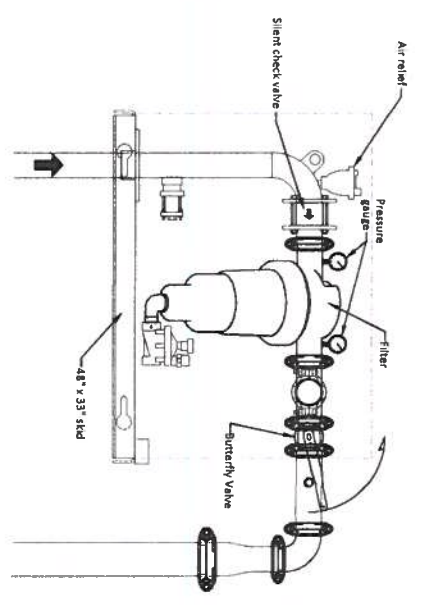


**8 PUMP STATION ENCLOSURE**

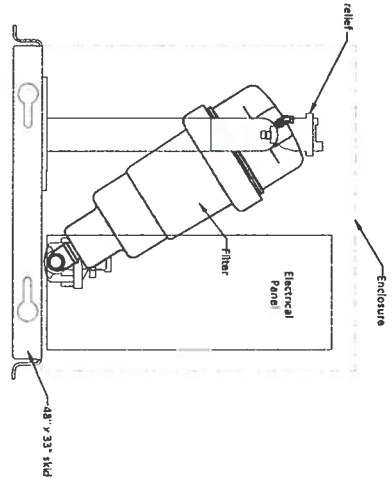
**4 PUMP STATION - PLAN VIEW**



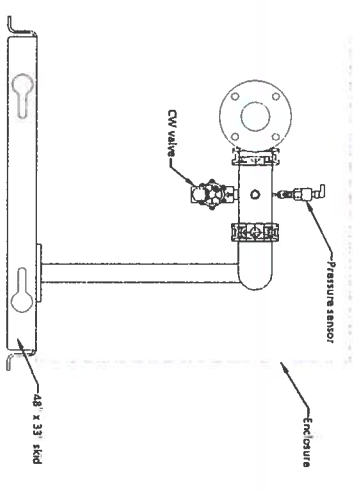
**1 PUMP STATION - FRONT ELEVATION**



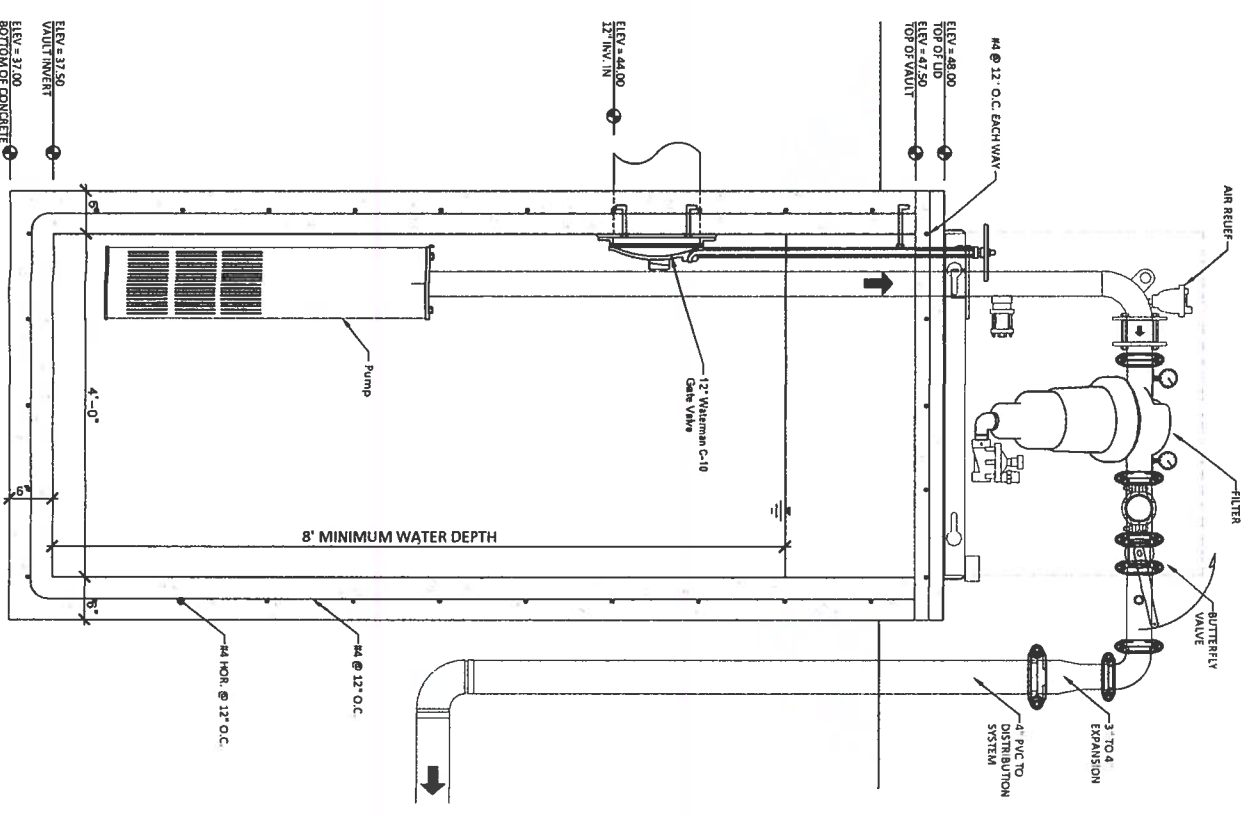
**2 PUMP STATION - LEFT SIDE ELEVATION**



**3 PUMP STATION - RIGHT SIDE ELEVATION**



**5 WET WELL AND PUMP STATION ELEVATION**



**9**

PROFESSIONAL ENGINEER  
 REGISTERED  
 8140  
 ROBERT J. SMITH  
 08/21/2022

SMITH  
 2485 E. Oxborough Ct., Engle, ID 83616  
 (208) 870-1211

**FLETCHER'S MEADOW SUBDIVISION**  
**22334 S. LANSING LANE, CANYON COUNTY, ID**  
**Gennie Fishburn**  
**PUMP STATION PLAN**

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Date	Sept 21, 2022
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