



# Development Services Department



**Canyon County, 111 North 11<sup>th</sup> Avenue, Suite 310, Caldwell, ID 83605**

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February 8, 2024

Goodson Family Trust  
Destiny Platt  
19114 Galloway Road  
Caldwell, Idaho 83607

Dear Ms. Platt,

Attached is the Director's Decision for your application received on 11-27-23 to modify a previous decision (AD2023-0060MOD.)

If you wish to appeal the Director's Decision to the Board of County Commissioners, the process is outlined below and an application can be filed in the Development Services Department.

**07-05-07: APPEAL OF DIRECTOR ADMINISTRATIVE DECISION:**

*(1) Appeal To Board: An affected person aggrieved by a final administrative decision or action of the director that was made pursuant to the provisions of this chapter may appeal to the board.*

*(2) Appeal Procedures:*

*A. Appeals shall be filed with DSD within fifteen (15) calendar days after the date of the decision. A notice of appeal should include a statement of the reasons for the appeal and must be accompanied with all appropriate fees as established by the adopted fee schedule. (Ord. 10-006, 8-16-2010)*

*B. At the public hearing held in accordance with this article, the board shall consider the decision of the director and any additional evidence that may be offered by the public, applicant or director.*

*C. The board may affirm, reverse or modify, in whole or in part, the director's decision. (Ord. 12-006, 3-22-2012)*

Sincerely,

Sabrina C. Minshall, AICP  
Director, Development Services  
Canyon County

**SCANNED**

Attachment : Director's Decision for AD2023-0060MOD

0117 123

0117 123 456 789 1011 1212 1313 1414 1515 1616 1717 1818 1919 2020 2121 2222 2323 2424 2525 2626 2727 2828 2929 3030 3131 3232 3333 3434 3535 3636 3737 3838 3939 4040 4141 4242 4343 4444 4545 4646 4747 4848 4949 5050 5151 5252 5353 5454 5555 5656 5757 5858 5959 6060 6161 6262 6363 6464 6565 6666 6767 6868 6969 7070 7171 7272 7373 7474 7575 7676 7777 7878 7979 8080 8181 8282 8383 8484 8585 8686 8787 8888 8989 9090 9191 9292 9393 9494 9595 9696 9797 9898 9999



## DSD Director Administrative Decision

Canyon County Code of Ordinances  
§07-18-01, §07-17-03 & §07-10-03

**Case Number:** AD2023-0060 (MOD)

**Parcel(s):** R38437012, R38437000, and R38437011

**Property Owner/Applicant(s):** Destiny Platt/Goodson Family Trust

- 1) **Request:** The applicant, Destiny Platt/Goodson Family Trust is requesting modifications of two conditions from AD2021-0060 and RD2021-0021 to:

A) Remove condition #7 "Crossing agreement with Black Canyon Irrigation (BCID) must be in place prior to the issuance of any building permit(s)" with a request to replace it with "a crossing agreement to be in place at time building permits applied for." Or "Crossing Agreement must be in place prior to the issuance of any building permit(s) to parcel #4 as cited on record of survey for Goodson Family Trust." And;

B) Changing ingress/egress from the approved access per RD2021-0021, which utilized a proposed private road, "Indecision Lane," and the approved 28' easement reduction for a portion of the access, and replace with an alternate access for parcel 3 (R38437011) utilizing "Goodson Road," an easement for a public road over land owned by the Bureau of Reclamation. Canyon County is the grantee for the easement, and has not utilized or improved it for a public road.

- 2) **Property History:** On 8/3/2021, Edward Goodson, received approval for an administrative land division for Parcel R38437. The approval created a total of four (4) parcels, three (3) with building permits and one (1) agricultural only parcel. (**Attachment A:** AD2021-0060/RD2021-0021 AD Decision, Record of Survey, and Private Road 60' & 28' Ingress/Egress Easement.)

Conditions: the following were conditions of the 2021 approval, recorded by the applicant.

1. The development shall comply with all applicable federal, state, and county laws, ordinances, rules and regulations that pertain to the property include the Idaho Right to Farm Act (Idaho Code § 22-4503).
2. An approach permit shall be obtained from Notus-Parma Highway prior to building permit issuance.
3. Prior to building permit issuance, a septic permit is required by Southwest District Health.
4. **Prior to a certificate of occupancy, the private road shall be built to meet the minimum construction standards (CCZO Section 07-10-03(2) & (3). The construction of driveways/private roads longer than one hundred fifty feet (150') from a public street right of way to the most distant portion of an inhabited building and private roads shall be inspected and certified by the applicant's engineer before obtaining a certificate of occupancy.**
5. A sign conforming to the applicable highway district standards shall be erected and maintained at the property owners' expense. Verification of installation of road signs shall be provided to DSD before Certificate of Occupancy.
6. Historic irrigation lateral, drain, ditch flow patterns and associated easements shall be maintained and protected unless approved in writing by the local irrigation district or ditch company.
7. **Crossing agreement with Black Canyon Irrigation must be in place prior to the issuance of any building permit(s).**

**SCANNED**



Private Road: The 2021 approval included a private road and easement reduction to serve all created parcels, including reducing the shared access easement from 60-feet to 28-feet for a portion of the access to lot 3. It was noted the 28-foot wide shared access easement continues beyond the 60-foot Private Road access easement (Attachment B of AD2021-0060/RD2021-0021.) **Attachment B** is the legal description for the 28' easement submitted as part of the application documentation in 2021. **Attachment C** is the legal description for Parcel 3 submitted in the 2021 application indicating, "Together with and subject to those easements necessary for ingress and egress and other purposes, as shown in the Road Users Maintenance Agreement recorded July 26, 2021 as Instrument No 2021-052157 and Record of Survey recorded July 27, 2021 as Instrument No. 2021-052318. AD2021-0060/RD2021-021 included conditions that the private road shall meet all minimum construction standards (CCZO Section 07-10-03(3) and private road signage must be installed per the highway district standards. Also noted was per CCZO §07-10-03(1)B3, a Road User's Maintenance Agreement (RUMA) has been recorded (Instrument No.2021-052157).

Since the 2021 approval, the subsequent owners of the parcels, Ms. Destiny Platt and the Goodson Family Trust submitted additional requests and supporting information related to an unimproved, easement, referred to by the applicant as "Goodson Road". In a series of letters to Development Services staff and the Board of County Commissioners, the applicant requested to utilize up to 662 feet of the easement for a private access to lot 3. County DSD and Legal staff conducted additional research about the status and ownership of the easement. The easement in question is cited under Instrument #835184 and established through a 1978 contract between the Bureau of Reclamation and Canyon County.

On December 8, 2023, the Board of County Commissioners responded to Ms. Platt's request with a denial to utilize the County's easement, indicating the County did not want to improve, nor maintain the easement granted to the County from the 1978 agreement, as a public road. The Board of County Commissioners also indicated that the Bureau of Reclamation would not permit the transfer of the agreement to a private party, but Canyon County would not object to the transfer of the agreement to the Notus-Parma Highway District, if the District was willing to maintain the access as a road. To date, the County is not aware the Notus-Parma Highway District has agreed to any such transfer.

On December 8, 2023, the applicant provided a copy of her warranty deed and legal description to DSD and a request to the Board of County Commissioners indicating she did not believe Parcel #3 has access off of Indecision Ln, but only off of Goodson Rd (unimproved County easement.) This assertion is in conflict with all submitted documents considered during the 2021 approval.

On January 18, 2024, a private roadway and shared driveway certification (**Attachment D**) was submitted by the Goodson Family Trust and Joshua and Jenna Medina. The scope of the certification cited on page one is the statement that "Requirements associated with Administrative Lot splits indicate access to the parcel at the north of pivot owned by the Platt's should also take access from Indecision Lane through the Medina's property. Platt's desires to access from an existing drive that has been the traditional access for that part of the farm and are working with Canyon County team on that prospect. *They will take access from an extension for the shared driveway if necessary. This certification is meant to cover, to the current extent of construction, that possibility.* An easement for the shared driveway through the Medina's property is shown on the Record of Survey used to effectuate the lot splits. The last property to be served in the future from Indecision lane, falls beneath the information flyout flag in Figure 1 and the bottom right corner of Figure 2 across the D5.9 Lateral. If built in the future, this would fall into the individual driveway over 150' category under 10-07-03 of Canyon County Code."

**Attachment E** is the submitted Road Users Maintenance Agreement (RUMA) included in the AD2021-0060/RD2021-0021 application, covering Indecision Lane.



**Decision: Upon review by the Director of DSD, the application to amend AD2021-0060/RD2021-0021 is denied.**

**Request A-** The applicant’s request to modify the condition to revise the need for a crossing agreement to the limit the building permit issuance for only parcel 4, would also fundamentally remove the requirement for a crossing agreement for parcels #1 and #3. Given the current approved access does cross a structure operated by Black Canyon Irrigation District, a crossing agreement is required. Parcel #1 has not received a certification of occupancy, although with written concurrence of BCID, construction did commence. In addition, the applicant has applied to the Bureau of Reclamation for a crossing agreement after substantial communication and alternative paths offered by BCID. The owners of parcel #1 originally applied to BCID for a crossing permit and according to communication from BCID, continues to be in discussions of what improvements are needed for approval. For parcel #3, the only circumstance which may negate a need for a BCID crossing agreement would be if the change to ingress/egress was approved. For clarification, **while the request for removal/modification of condition #7 is denied, if a crossing agreement is obtained by EITHER Bureau of Reclamation, or BCID, condition #7 will be considered to be fulfilled, as an agreement will not be issued by the Bureau of Reclamation without concurrence from BCID, which is the operator of the facilities.**

**Request B-** The request to modify the approved access for parcel #3 is denied. In review of all submitted documentation for both the original 2021 decisions and the additional materials submitted in 2023, the application was approved on the clear premise that an easement on the applicant’s property identified for ingress/egress existed. The 2021 RD decision for the reduction of the easement was also specific to identified segments shown in the record of survey, RUMA, and legal descriptions. If the applicant provides additional proof from subsequent title documents or new surveys, that the property was conveyed to her with conflicts from what was submitted in the 2021 application, the outcome would likely be that the approval for the land division would be invalid, and no building permits or certificate of occupancies could be approved. While research does show the alternative access requested of Goodson road is a County easement, as indicted in the Canyon County Board of Commissioners’ December 8<sup>th</sup> letter, the County does not have any operational need for the public good to improve or maintain the easement as a public road, or allow any new uses. The applicant’s offer of a Road User’s Maintenance agreement for the County easement, cannot occur. Road users’ maintenance agreements are private instruments used to illustrate improvement and maintenance roles for private roads, not for public access or use.

**All conditions in AD2021-0060 and RD2021-0021 remain in place.**



Sabrina C. Minshall, AICP  
Director, Development Services

2/8/24

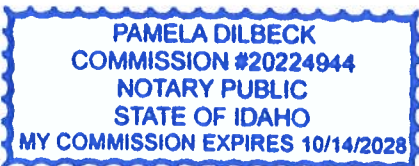
Date

State of Idaho )

SS

County of Canyon County )

On this 8<sup>th</sup> day of February, in the year of 2024, before me Pamela Dilbeck, a notary public, personally appeared Sabrina Minshall, personally known to me to be the person(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged to me that he (she)(they) executed the same.



Notary: Pamela Dilbeck

My Commission Expires: 10/14/2028

MY COMMISSION EXPIRES 10/1/2028  
STATE OF IOWA  
NOTARY PUBLIC  
COMMISSION #50524844  
PAMELA J. BECK





## DSD Director Administrative Decision

Canyon County Code of Ordinances  
§07-18-01, §07-17-03 & §07-10-03

AD2023-0060 Mod  
Attachment A

**Case Number:** AD2021-0060/RD2021-0021

**Parcel(s):** R38437

**Property Owner/Applicant(s):** Edward Goodson

**Request:** The applicant, Edward Goodson, is requesting an administrative land division of Parcel R38437. The property is zoned "A" (Agricultural). The result of the request will create a total of four (4) parcels. Three (3) with building permits and one (1) agricultural only parcel. The result of the request also consists of a private road and easement reduction to serve the parcels.

**Property History:** The subject parcel, approximately 117.57 acres is "original parcel" as defined by CCZO (created prior to September 6, 1979 CCZO Section 07-02-03 see PI2020-0288).

**Land Division (CCZO Section 07-17-03 & 07-18-01):** Consistent with CCZO §07-18-01(1)B, the request meets the one-acre average minimum lot size requirements of the "A" Zone (CCZO §07-10-21(2)).

The request is also consistent with the following requirements of CCZO §07-17-03(3)F:

- Each parcel will maintain individual water rights after division is completed.
- A Record of Survey has been recorded (Instrument #2021-052318, Attachment A).
- Based upon the review of the application and review of County contour maps, the property does not contain slopes greater than 15%.
- The request was reviewed and accepted by Southwest District Health (SWDH), Caldwell Rural Fire District, Black Canyon Irrigation District and Notus-Parma Highway District. Following comments were received:
  - o Southwest District Health requires a septic permit at the time of building permit submittal.
  - o Caldwell Rural Fire District requires a permit at the time of building permit submittal.
  - o Black Canyon Irrigation will require a crossing agreement to be in place at time of building permits applied for.
  - o Notus-Parma Highway approved the proposed access via shared approach and require an approach permit at time of building permits.

**Private Roads and Easement Reduction (CCZO Section 07-10-03):** The applicant is requesting a private road of 60-foot wide. The proposed private road name, "Indecision Lane" is in substantial conformance with Section 06-05-13. The names are not duplicated by sound or spelling within Canyon County. As conditioned, the private road shall meet all minimum construction standards (CCZO Section 07-10-03(3)). Private road signage must be installed per the highway district standards. Per CCZO §07-10-03(1)B3, a Road User's Maintenance Agreement (RUMA) has been recorded (Instrument No.2021-052157).

The applicant is requesting an easement reduction of a shared access easement from 60-foot to 28-foot. The 28-foot wide shared access easement continues beyond the 60-foot Private Road access easement (severed by all parcels) to serve parcel 1 & 3 (Attachment B). Per CCZO §07-10-03(1)B2, an access easement must be 60' wide unless a reduction is approved by the Development Services Director. Per CCZO §07-10-03(1)D, the proposed 28' easement provides adequate access without creating safety issues. No evidence was provided or found showing the reduction would create impacts to neighbors or essential services. Therefore, a 28' wide easement will provide adequate access to parcel 1 & 3.




The parcel shall be divided in compliance with Instrument No. 2021-052318 (Attachment A), as follows:

- Parcel 1:** 5.01 acres – Residential permit available
  - Parcel 2:** 97.82 acres – No building permit available (Agricultural Only)
  - Parcel 3:** 10.00 acres – Residential permit available
  - Parcel 4:** 5.01 acres – Residential permit available
- \*\* New parcel numbers will be created by the Canyon County Assessor upon recordation of deeds \*\**

**Decision:** Upon review by the Director of DSD, the application to complete the requested land division, private road and easement reduction per §07-18-01, §07-17-03 & §07-10-03 is **APPROVED** subject to the following conditions:

- 1) The development shall comply with all applicable federal, state, and county laws, ordinances, rules and regulations that pertain to the property include the Idaho Right to Farm Act (Idaho Code § 22-4503)
- 2) An approach permit shall be obtained from Notus-Parma Highway prior to building permit issuance
- 3) Prior to building permit issuance, a septic permit is required by Southwest District Health
- 4) Prior to a certificate of occupancy, the private road shall be built to meet the minimum construction standards (CCZO Section 07-10-03(2) & (3). The construction of driveways private roads longer than one hundred fifty feet (150') from a public street right of way to the most distant portion of an inhabited building and private roads shall be inspected and certified by the applicant's engineer before obtaining a certificate of occupancy.
- 5) A sign conforming to the applicable highway district standards shall be erected and maintained at the property owners' expense. Verification of installation of road signs shall be provided to DSD before Certificate of Occupancy.
- 6) Historic irrigation lateral, drain, ditch flow patterns and associated easements shall be maintained and protected unless approved in writing by the local irrigation district or ditch company.
- 7) Crossing agreement with Black Canyon Irrigation must be in place prior to the issuance of any building permit(s).

  
Steve Fultz, Director

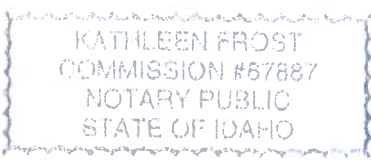
8/3/21  
Date

State of Idaho

SS

County of Canyon County

On this 03 day of August in the year of 2021, before me Kathleen Frost a notary public, personally appeared Stephen Fultz, personally known to me to be the person(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged to me that he (she/they) executed the same.



Notary K. Frost  
My Commission Expires 6-3-2022









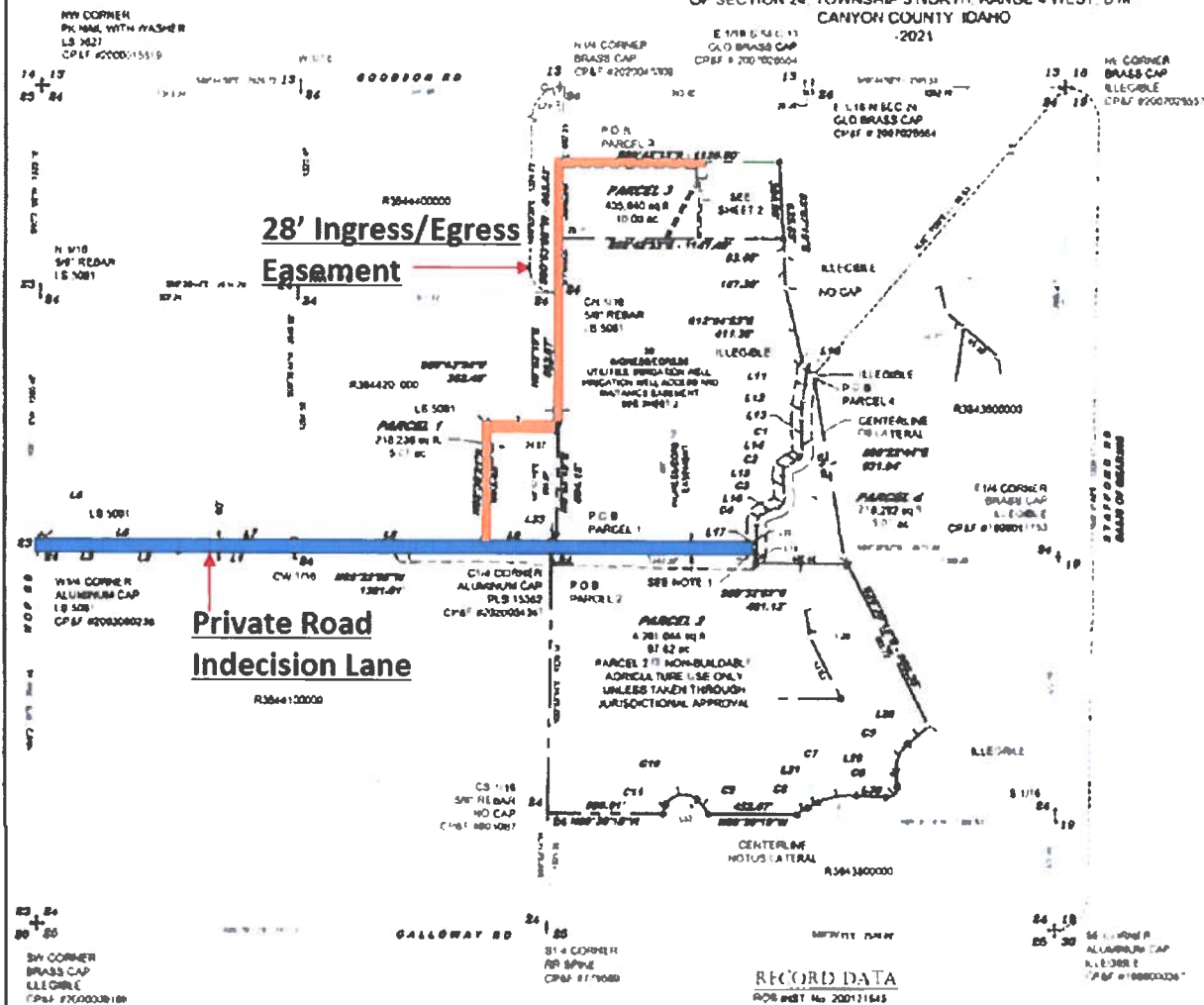




**Attachment B**  
**Private Road 60' & 28' Ingress/Egress Easement**

**RECORD OF SURVEY FOR  
GOODSON FAMILY TRUST**

A PORTION OF THE SOUTH 1/2 OF THE NORTHWEST 1/4, AND THE EAST 1/2,  
OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, B.M.  
CANYON COUNTY IDAHO  
2021



**CERTIFICA**  
I, KENNETH H. COE  
IDAHO CERTIFIED  
1. THIS PLAN REPRESENTS  
2. THE LANDS SURVEYED  
3. THE MONUMENTS OCCUPY THE POSITIVE  
AND BE  
ACT STATE OF IDAHO

**RECORD DATA**  
ROB #827 No 200131545  
WARRANTY DEED #827 No 81824  
JUDGMENT INSTR No 888488 BOOK 30 PAGE 314 AND 315

**NARRATIVE**  
THIS SURVEY WAS MADE AT THE REQUEST OF MALEE THOMAS TO  
ESTABLISH THE BOUNDARY AS SHOWN BOUNDARY WAS DEFINED FROM  
FOUND MONUMENTS OF RECORD

**NOTES**  
A CROSSING AGREEMENT FOR THE DR LATERAL MUST BE  
ESTABLISHED BEFORE SURVEY PLAN IS APPROVED



CONTINUE DESCRIPTION FOR  
GOODSON FAMILY TRUST  
28' WIDE WELL ACCESS AND MAINTENANCE EASEMENT

Thence leaving said Center North 1/16 Corner and along the West line of the Northwest 1/4 of the Northeast 1/4 of said Section 24, North 00°53'08" East, a distance of 662.42 feet;

Thence leaving said West line, South 89°42'33" East, a distance of 751.46 feet to the **POINT OF BEGINNING.**

Said Parcel containing 85,968 square feet or 1.97 acres, more or less and is subject to all existing easements and rights-of-ways of record or implied.

END OF DESCRIPTION.

Kenneth H. Cook, P.L.S. 9895  
Timberline Surveying  
847 Park Centre Way, Suite 3  
Nampa, Idaho 83651  
(208) 465-5687





**LEGAL DESCRIPTION FOR  
GOODSON FAMILY TRUST  
PARCEL 3**

A parcel of land located in the Northwest 1/4 of the Northeast 1/4 of Section 24, Township 5 North, Range 4 West, Boise Meridian, Canyon County, Idaho. Being further described as follows:

**BASIS OF BEARING:**

*The East line of Section 24, Township 5 North, Range 4 West, Boise Meridian, derived from found monuments and taken as North 00°45'48" East with the distance between monuments found to be 5,304.57 feet.*

**BEGINNING** at a point on the West line of the Northwest 1/4 of the Northeast 1/4 of said Section 24, Township 5 North, Range 4 West, Boise Meridian from which the North 1/4 Corner of said Section 24 bears North 00°53'08" East a distance of 662.31 feet;

Thence leaving said West line, South 89°42'33" East, a distance of 1,120.50 feet;

Thence South 03°07'19" East, a distance of 384.86 feet;

Thence North 89°42'33" West, to a point on the West line of the Northwest 1/4 of the Northeast 1/4 of said Section 24, a distance of 1,147.40 feet;

Thence along said West line, North 00°53'08" East, a distance of 384.20 feet to the **POINT OF BEGINNING**.

Said Parcel containing 435,640 square feet or 10.00 acres, more or less and is subject to all existing easements and rights-of-ways of record or implied.

END OF DESCRIPTION.

Kenneth H. Cook, P.L.S. 9895  
Timberline Surveying  
847 Park Centre Way, Suite 3  
Nampa, Idaho 83651  
(208) 465-5687







17338 Sunnysdale Place Caldwell, ID, 83607  
(208) 350 - 9422  
brentorton@ortonengineers.com

AP2023-0060 Mod  
Attachment D

## Private Roadway Certification

2301JM-Thomas ~ Indecision Lane  
Canyon County, Idaho

**Private Road Serving 18560 (and two other parcels) Indecision Lane and the Private Driveway to 18560 Indecision Lane**

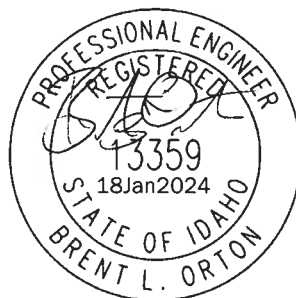
**in Canyon County, Idaho**

**Owners:**

**Goodson Family Trust,  
Joshua & Jenna Medina**

# Private Roadway and Shared Driveway Certification

18 January 2024









17338 Sunnydale Place Caldwell, ID, 83607  
 (208) 350 - 9422  
 brentorton@ortonengineers.com

# Private Roadway Certification

2301JM-Thomas ~ Indecision Lane  
 Canyon County, Idaho

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## Introduction

The Goodson Family Trust (Malee Goodson Thomas – Trustee) owns a property East of Hop Road, South of Goodson Road, and North of Galloway, and East of the Stafford Road alignment. The Trust has recently created administrative lot divisions (2021) that will allow homes on the Goodson Farm Pivot Corners and in an irregularly shaped enclave that is less efficient for farming. Two of these parcels have been sold to daughters and their spouses. The Trust has retained Orton Engineering to perform a private roadway evaluation for compliance with Canyon County Code 10-07-03 for private roads, individual driveways over 150' in length, and shared driveways serving two dwellings or more. The private road was named (Indecision Lane) and improved previously, presumably in connection with the administrative lot split process.



Figure 1: Canyon County Assessors Interactive Map, Subject Property (Accessed 14Nov2023)

Figure 1 shows an overview of the flag shaped subject parcel. The “flagpole” portion of the subject properties running East from Hop Road hosts Indecision Lane which provides access to the active farm, and adjacent farm parcels as well as the lot purchased from the Trust by Jenna and Joshua Medina with a home presently nearing completion just outside of the sweep of the irrigation pivot on the right side of the image. Additional detail is also visible in Figure 2 below. Requirements associated with the Administrative Lot Splits indicate access to the Parcel at the North of the pivot (just North of the highlighted blue-teal line) owned by the Platt’s should also take access from Indecision Lane through Medina’s property. Platts desire to access from an existing drive that has been the traditional access for that part of the farm and are working with the Canyon County team on that prospect. They will take access from an extension of the shared driveway if necessary. This Certification is meant to cover, to the current extent of construction, that possibility. An easement for shared driveway through Medina’s property is shown on the Record of Survey used to effectuate the lot splits. The last property to be served in the future from Indecision Lane, falls beneath the information flyout flag in Figure 1 and the bottom right corner of Figure 2 across the D5.9 Lateral. If built in the future, this would fall into the individual driveway over 150’ category under 10-07-03 of Canyon County Code.









Table 1 Canyon County Code 10-07-03 Table 1

|                                                                                                                                | Subbase Or Ballast                                                              | Base Course                                                                                      | Plant Mix Pavement (IS/PCW Class III Mix) | Surface Width                                                |
|--------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------|-------------------------------------------|--------------------------------------------------------------|
| Driveways (serving a maximum of 2 inhabited buildings per definition in section 10-07-03 of this chapter)                      |                                                                                 |                                                                                                  |                                           |                                                              |
| Existing driveways that add a second residence                                                                                 | n/a                                                                             | 4" thick 3/4" minus gravel base or equivalent recycled asphalt paving (RAP) graded and compacted | n/a                                       | 12' wide all weather driving surface                         |
| New driveways built after January 19, 2005                                                                                     | if less than 150' n/a<br>if 150' or longer: 9" of uncrushed aggregate (pit run) | 4" thick 3/4" minus gravel base or equivalent recycled asphalt paving (RAP) graded and compacted | n/a                                       | 12' wide all weather driving surface                         |
| Private roads (serving more than 2 permanent dwellings or inhabited buildings as defined in section 10-07-03 of this chapter): |                                                                                 |                                                                                                  |                                           |                                                              |
| Private roads that are estimated to serve 100 ADT or less                                                                      | n/a                                                                             | 4" thick 3/4" minus gravel base graded and compacted                                             | n/a                                       | 26' wide all weather driving surface                         |
| Private roads that are estimated to serve more than 100 ADT                                                                    | 9" of minus 6" uncrushed aggregate (pit run)                                    | 6" of 3/4" crushed aggregate gravel                                                              | 2.5" thick                                | 24' for local roads and 26' for collector roads <sup>1</sup> |

Indecision lane makes its connection to Hop Road halfway between Goodson road and Galloway.



Figure 3 Photograph of Indecision Lane at the Connection to Hop Lane.







Figure 4 Google Map Indecision Lane with each evaluation point marked (Accessed 29Nov2023 )

Orton Engineering observed 33 test holes (as well as a handful of additional shoulder section depths). Nine of these Test Holes were on Indecision Lane with the balance on the Medina Shared Driveway including repeated tests. The section depths for each test hole on Indecision Lane surpassed four inches of  $\frac{3}{4}$ " minus crushed aggregate. Compaction was good at each of the test holes. Widths were also taken at each test hole location (at approximately 100-foot then 300-foot intervals and at the approach apron at Hop Rd). Width measurements varied from about 20 feet wide to 24 feet wide on Indecision lane. Medina's shared driveway widths ultimately satisfying the section depth requirements varied from 14 feet to 25 feet with the pit run and  $\frac{3}{4}$  minus road mix sections described herein. Test hole locations for Indecision Lane are shown in Figure 4 and numbered from West to East. Table 2 presents the data associated with the Test Hole Locations. Most holes were terminated soon after surpassing the minimum depth. Some holes extended into the pit-run section by one to a few inches. Road mix depths and Section widths for Indecision Lane are noted in Table 2. If  $\frac{3}{4}$  minus or pit run sub-base material continued at the point of termination, the immediate underlying material is identified in the table. Shoulder section depths were excavated and visually observed to validate the edge-of-aggregate. Shoulder edge-of-aggregate observations were collected by clearing the surface of weeds at each test transect. Most of the test holes reached pit run material showing that the  $\frac{3}{4}$  minus road mix section is also underlain with a pit-run subbase (on Indecision). The Medina shared driveway test holes were repeated after completion of the appropriate section and confirmed placement of Pit Run and  $\frac{3}{4}$  minus sections. While the Medina Driveway was constructed much wider than required by 10-03-07 of County Code, the Section did not originally satisfy the requirements for a private driveway. Original width measurements taken at each test hole extended from the confirmed edge-of-aggregate. With measurements vary on the Medina Driveway because a wider original section was constructed then a narrower section was added on top to satisfy the requirements of County Code. Test holes are characterized in the next section showing the number of tests observed in each general location between efforts to increase the section to the standard.

Because material had to be added to the Medina Driveway Section, the splits between pit run and  $\frac{3}{4}$  minus vary. Because  $\frac{3}{4}$  minus (road mix) is angular (crushed) and workable for a finished surface, Orton Engineering instructed the Contractor to add roadmix when doing so would achieve a total section depth in compliance with County Code. Consequently, some final sections are composed of a variety of pit run and road mix thicknesses. Orton Engineering has considered the road mix section to be required at a minimum of four





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## Private Roadway Certification

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Canyon County, Idaho

inches and believes it is appropriate to allow a substitution of pit run with road mix (road mix is a superior product). We believe this creates an equal and better section in instances when the section is composed partially of road mix instead of pit run. While it would have been less expensive to have pit more pit run and less road mix, it was considered impractical to attempt to remove already placed road mix to add pit run and a superior end product.

For the Medina Driveway several repetitions of test holes were conducted after efforts to bring the section into compliance with County Code for a Driveway over 150 feet in length built after January 19, 2005. The numerous repeat test holes performed on the Medina Driveway are visible in Figure 5. Orton Engineering typically takes a test hole every 100 feet on a driveway of this length (test holes are less frequent on much longer roads – for instance, every 300 feet and at points of interest along Indecision Lane). Data associated with the driveway test holes are presented in Table 3.





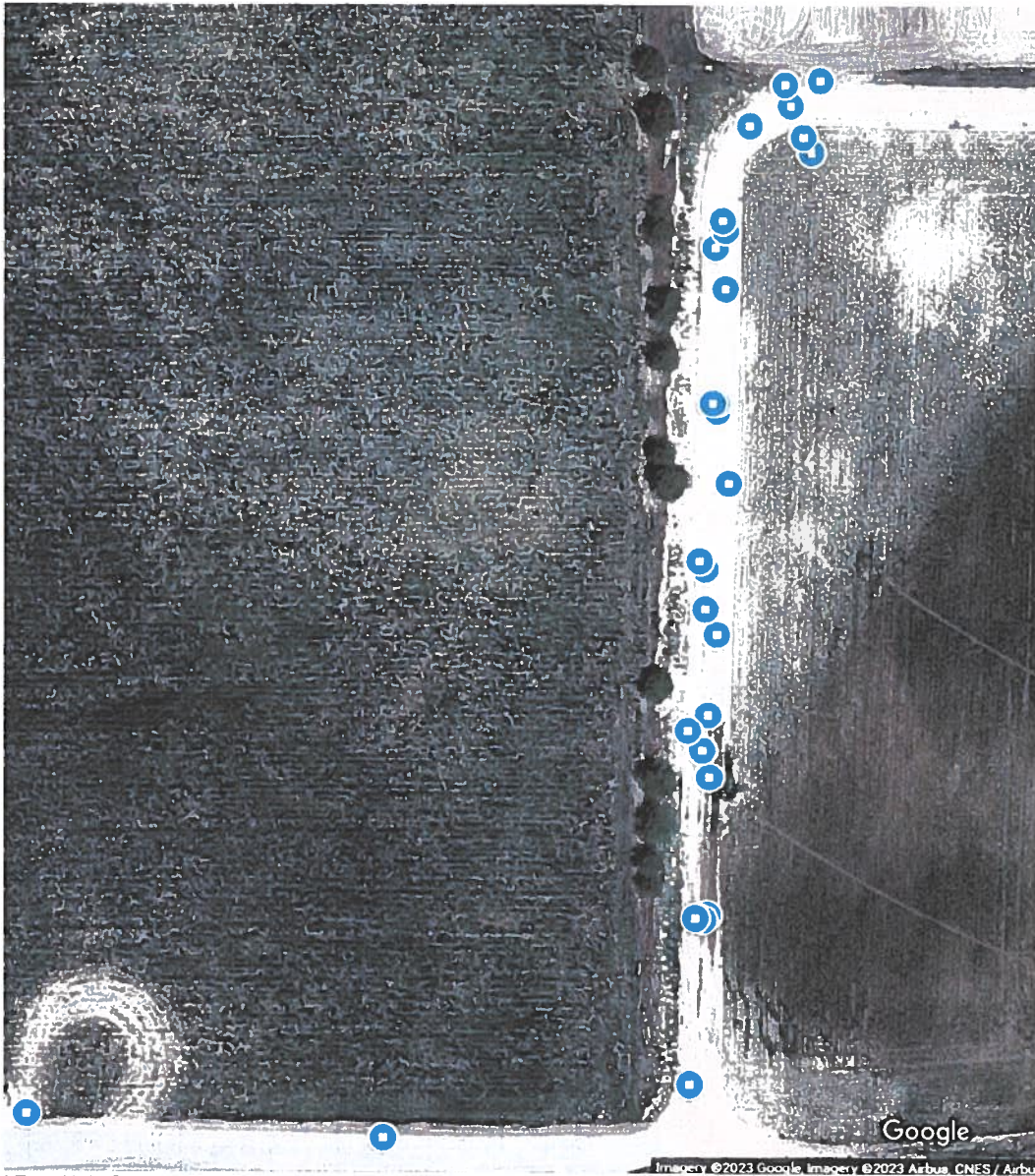


Figure 5 Final Test Hole Scatter on Medina Driveway (Google Maps - Accessed 22Dec2023). The Southernmost Test Hole is on a constructed knuckle and was included with Indecision Lane.

For the Test Holes collected second from the South (on the Knuckle), note that the section had added pit run as part of the response to corrections. The final validation of this hole relied on the pit run depth and added road mix to achieve the final section depth. This is characterized in the next section. All other holes were fully excavated to native material (on the driveway only) each time and for final validation.

### Overall Analysis





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The summaries of the Test Hole data in Table 2 Test Hole Log – Indecision Lane and Table 3 provide two images at each test hole location. Only the final image complying with Canyon County Code is provided (for clarity). Other data are available upon request to Orton Engineering, LLC. Images on the left show the final test hole depths. Images on the right provide a vicinity view with the nearest two (as applicable) test hole locations included in the image. These can be correlated to Figure 4 and Figure 5.





Table 2 Test Hole Log – Indecision Lane





















| Private Road (Indecision Lane) and Shared Driveway Certification - Observation Data - Collected 15,16, Nov2023, 7,8,18,20,21 Dec, 2023<br>by Orton Engineering, LLC |                                                                                   |                   |                    |               |                 |                |             |                                                                                               |                                                                                                                                                                             |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-------------------|--------------------|---------------|-----------------|----------------|-------------|-----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Observation No.                                                                                                                                                     | Description                                                                       | 3/4-<br>Dept<br>h | Below<br>w<br>3/4- | Total<br>Sect | RD<br>Wid<br>th | W<br>Req'<br>d | Passes<br>? | Notes                                                                                         | Test Hole - Vicinity                                                                                                                                                        |
| TH1                                                                                                                                                                 | Indecision Lane near Hop Road. TH on shoulder.                                    | 4.4               |                    | 4.4           | 25              | 20             | Passes      | Very Well Compacted                                                                           |       |
| TH2                                                                                                                                                                 | Center of Road                                                                    | 6+                | Pit-<br>Run        | 6+            | 22.7            | 20             | Passes      | Well compacted<br>More than 6"<br>Terminated at 6"                                            |       |
| TH3                                                                                                                                                                 | Good road section - significant build up from property to the North               | 6.25+             | Pit-<br>Run        | 6.26+         | 21.5            | 20             | Passes      | Well compacted<br>Terminated at 6.25"                                                         |     |
| TH4                                                                                                                                                                 | Shorter Spacing to check section over culvert. Significant Section Depth          | 6.25+             | Pit-<br>Run        | 6.26+         | 24              | 20             | Passes      | Section was 18.5'.<br>Additional Pit run<br>was added to<br>achieve code min.                 |   |
| TH5                                                                                                                                                                 |                                                                                   |                   | Pit-<br>6<br>Run   | 6+            | 24.5            | 20             | Passes      | Well compacted                                                                                |   |
| TH6                                                                                                                                                                 | Shorter Spacing to check section over culvert. Originally short width at culvert  | 6.5+              | Pit-<br>Run        | 6.5+          | 18-<br>20'      | 20             | Passes      | Good section over<br>culvert, well<br>compacted.                                              |   |
| TH7                                                                                                                                                                 | Nearby to TH6 to demonstrate width is appropriate                                 | 6+                | Pit-<br>Run        | 6+            | 25              | 20             | Passes      | Wide Section RM<br>on Pit Run. Tested<br>to illustrate good<br>width except at<br>Culvert TH6 |   |
| TH8                                                                                                                                                                 | Mid btwn Culvert and End of Indecision Lane - checked Shoulder here as well (4'+) | 5.75+             | Pit-<br>Run        | 5.75+         | 21.5            | 20             | Passes      | Deep RM on PR<br>(took Shldr Shot 5"<br>RM to PR)                                             |   |
| TH9                                                                                                                                                                 | Nuckle - end of Indecision, begin Medina Driveway                                 | 6.25              | No<br>PR           | 6.25          | 42'             | 20             | Passes      | Well Compacted                                                                                |   |



Table 3 Test Hole Data - Medina Driveway from Indecision Lane Knuckle to Medina Home Driveway Apron

| Private Road (Indecision Lane) and Shared Driveway Certification - Observation Data - Collected 15,16, Nov2023, 7,8,18,20,21 Dec, 2023<br>by Orton Engineering, LLC |                                                                                  |                   |                   |               |                 |                |             |                                                                                   |                                                                                       |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------|-------------------|-------------------|---------------|-----------------|----------------|-------------|-----------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
| Observation No.                                                                                                                                                     | Description                                                                      | 3/4-<br>Dept<br>h | Belo<br>w<br>3/4- | Total<br>Sect | RD<br>Wid<br>th | W<br>Req'<br>d | Passes<br>? | Notes                                                                             | Test Hole - Vicinity                                                                  |
| THM1<br>THM1(7Dec2023)<br>18DecTHM1<br>20Dec2023THM1                                                                                                                | No-PR<br>PR Added, insuf Sec<br>PR and RM, Insuf Sec<br>PR and RM - Exceeds      | 7                 | 7.5"<br>PR        | 14.5          | 14              | 12.0           | Passes      | Four TH, Achieved<br>Compliance on 20<br>Dec, 2023 - Pic - PR<br>Plus 7 for final |    |
| THM2<br>New 7DecTH<br>18DecTHM2<br>20DecTHM2                                                                                                                        | 5.75RM no PR 22'<br>6.25 RM/PR 21'<br>3"RM8.75 PRmx 17.5'<br>14" Sec RM/PR 16.5' | 4.75              | 8.75<br>pr mx     | 14.5          | 17              | 12             | Passes      | Achieved<br>Compliance on 20<br>Dec 2023                                          |    |
| THM3<br>8Dec<br>18Dec<br>20Dec                                                                                                                                      | DW7.5RM - PR 19'<br>4RM 2.5PR<br>10.25 Mx 16.25'<br>14" Mx 17' W                 | 11.5              | 2.5<br>PR         | 14            | 17              | 12             | Passes      | Achieved<br>Compliance on 20<br>Dec 2023                                          |   |
| THM4<br>8Dec<br>18Dec<br>20Dec<br>21Dec                                                                                                                             | 7.5" 19'<br>7.5" 17'<br>8.75" 17'<br>9 3/8" 17'<br>14" 15'                       | 14"mx             | Pit-<br>Run       | 14            | 15              | 12             | Passes      | Achieved<br>Compliance on 21<br>Dec, 2023                                         |  |
| THM5<br>8Dec<br>20Dec<br>21Dec                                                                                                                                      | 5rm 3 pr<br>5.25" sec 22'<br>5.5" Sec 16'<br>13.25" Sec 17'                      | 13.25             | Pit-<br>mx<br>Run | 14            | 25              | 12             | Passes      | Achieved<br>Compliance on 21<br>Dec, 2023                                         |  |
| THM6 (8Dec)<br>18Dec<br>21Dec                                                                                                                                       | 7.5"<br>10.25 on Sand 22.3'<br>14+ 16.5'                                         | 14+               | Pit-<br>mx<br>Run | 14            | 17              | 12             | Passes      | Achieved<br>Compliance on 21<br>Dec, 2023                                         |  |

**As of December 21, 2023:**

The Private Road known as Indecision Lane meets and exceeds the standards set forth in Canyon County Code 07-10-03 for Private Roadways for section depth and width. Further, the Driveway from the end of Indecision Lane to the Medina Home (18560 Indecision Lane) Concrete driveway apron at their new home exceeds the requirements of Canyon County Code 07-10-03 for a private driveway serving two inhabited dwellings in terms of both section depth and width. Note that the Medina Driveway is expected to serve an additional dwelling in the future. The extension of the driveway will need to be certified at that time. This certification is operative for the section depicted herein.

These road sections are expected to perform without deficiency under continued farm and vehicular traffic.





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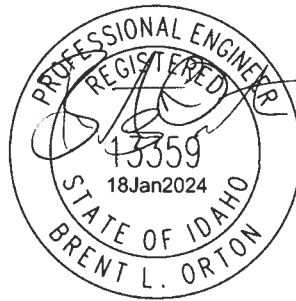
## Private Roadway Certification

2301JM-Thomas ~ Indecision Lane  
Canyon County, Idaho

*Based on these observations, Orton Engineering, LLC certifies Indecision Lane and the shared driveway serving the Medina Home to satisfy the requirements of Canyon County Code.*

**I hereby state that on based on observations conducted on in November and December of 2023, that the presently constructed Private Roadway known as Indecision Lane and the driveway (meant to be shared in the future) serving the Medina Home at 18560 Indecision Lane is constructed to meet or exceed the Standards required under Canyon County Code 10-07-03 Table 1 for the Average Daily Traffic predictions (projected in accordance with the current edition of the Institute of Transportation Engineers Trip Generation Manual).**

**Brent L. Orton, PE, MSCE  
Orton Engineering, LLC**





AD2023-0060 Mod  
Attachment

2021-052157 E

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CHRIS YAMAMOTO

CANYON COUNTY RECORDER

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\$16.00

AGR

THOMAS PAUL



Canyon County  
Recorder's Office  
Document  
Cover Sheet







# PRIVATE ROAD MAINTENANCE AGREEMENT

This agreement is for the construction, repair and maintenance of the private lane/lanes and easement identified in Exhibit "A" attached hereto and is entered into with the current landowners and will apply to all future lot owners and their heirs, successors and assigns and will bind and ensure to the benefit of each parcel for ingress/egress access. No construction of the private road and easement shall occur or be required until such time that any lot owner obtains a residential building permit to improve a lot. As any lot owner/owners proceed with obtaining a building permit, that lot owner will be required to improve and construct the easement road to access their lot. Parcel 2 has agricultural access and shall not be restricted.

It is the mutual desire of all parties to maintain the private road easement in a safe and usable for all weather conditions by all current and future lot owners. The private roads must be maintained for the safe passage of emergency vehicles, first responders and any civil authorities that require access on the private road and cannot be gated or otherwise restrict access by adjoining lot owners.

The cost of maintaining and repairing the private lane/lanes easement will be shared by all lot owners for their pro-rata share and shall apply to the full length and width of the private road easement, related drainage culverts and irrigation lateral crossings. In the event the identified parcels are subdivided further, any additional lot owners accessing the private road/easement shall be responsible for their pro-rata share of all costs pertaining to the road maintenance, repairs and construction.

It is understood that the landowners with residential occupancy will act as agents to contract and oversee the acts necessary to accomplish the maintenance and repairs required. Decisions to authorize maintenance and repairs shall be made by majority of the lot owners.

In witness whereof, the parties have executed this agreement on this 20<sup>th</sup> day of July, 2021.

This agreement shall be governed by the laws of the State of Idaho.

Edward M. Goodson  
Edward M. Goodson

Joyce M. Goodson  
Joyce M. Goodson

STATE OF IDAHO )  
                                          :SS  
County of Canyon )

2021-051180

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CHRIS YAMAMOTO

CANYON COUNTY RECORDER

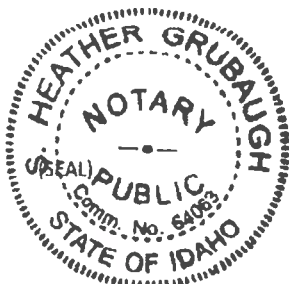
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\$10.00

PAUL THOMAS

On this 21<sup>st</sup> day of July, 2021, before me, a Notary Public, personally appeared Edward M. Goodson and Joyce M. Goodson, husband and wife, known or identified to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same.



Heather Grubaugh  
Notary Public for Idaho

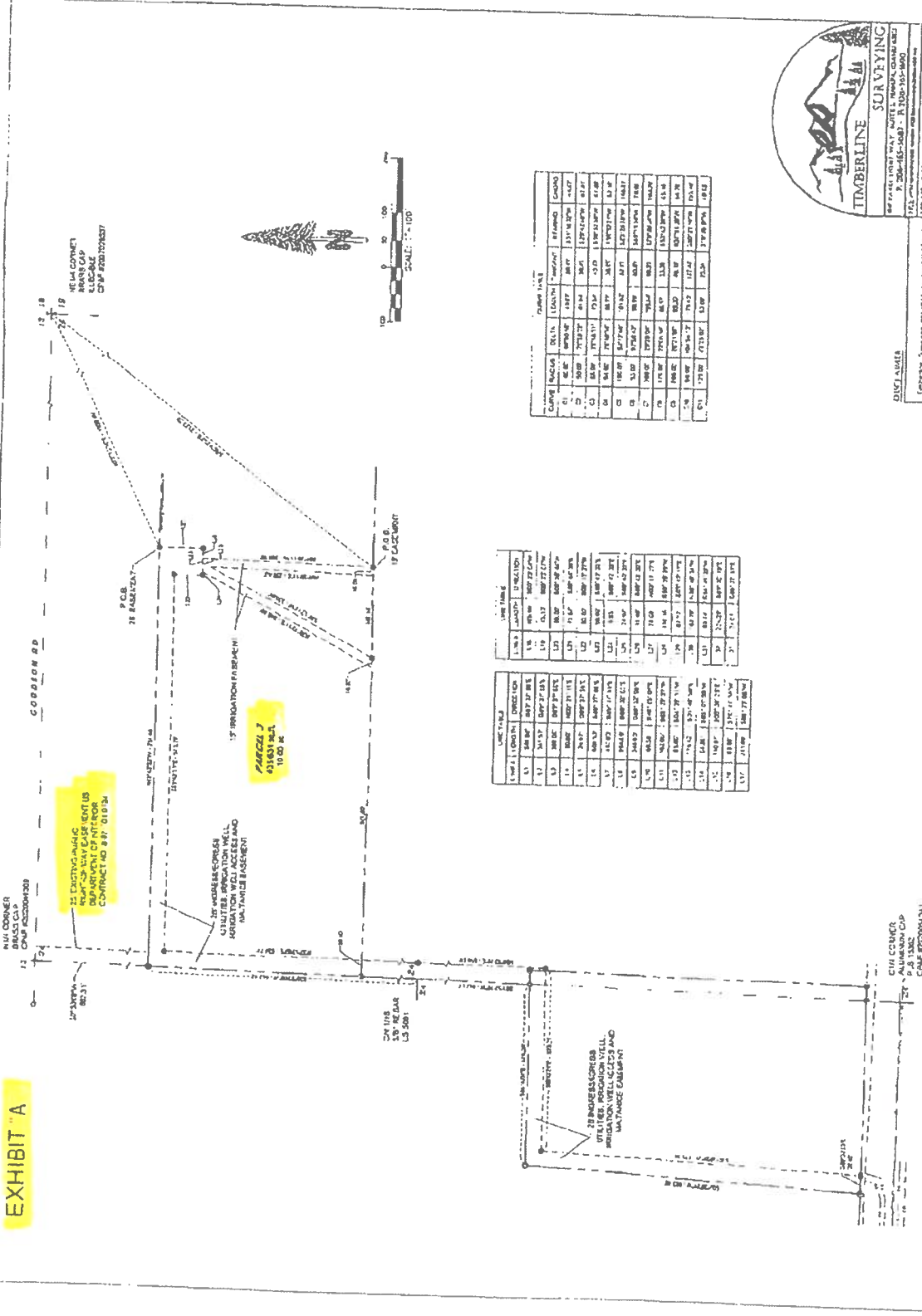
My Commission Expires: 8/11/26





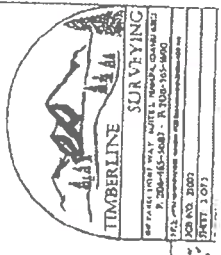


**EXHIBIT "A"**



TYPE TABLE

| LINE NO. | LENGTH | DESCRIPTION | AREA   | PERIMETER |
|----------|--------|-------------|--------|-----------|
| 1        | 1.00   | 100.00      | 100.00 | 100.00    |
| 2        | 1.00   | 100.00      | 100.00 | 100.00    |
| 3        | 1.00   | 100.00      | 100.00 | 100.00    |
| 4        | 1.00   | 100.00      | 100.00 | 100.00    |
| 5        | 1.00   | 100.00      | 100.00 | 100.00    |
| 6        | 1.00   | 100.00      | 100.00 | 100.00    |
| 7        | 1.00   | 100.00      | 100.00 | 100.00    |
| 8        | 1.00   | 100.00      | 100.00 | 100.00    |
| 9        | 1.00   | 100.00      | 100.00 | 100.00    |
| 10       | 1.00   | 100.00      | 100.00 | 100.00    |
| 11       | 1.00   | 100.00      | 100.00 | 100.00    |
| 12       | 1.00   | 100.00      | 100.00 | 100.00    |
| 13       | 1.00   | 100.00      | 100.00 | 100.00    |
| 14       | 1.00   | 100.00      | 100.00 | 100.00    |
| 15       | 1.00   | 100.00      | 100.00 | 100.00    |
| 16       | 1.00   | 100.00      | 100.00 | 100.00    |
| 17       | 1.00   | 100.00      | 100.00 | 100.00    |
| 18       | 1.00   | 100.00      | 100.00 | 100.00    |
| 19       | 1.00   | 100.00      | 100.00 | 100.00    |
| 20       | 1.00   | 100.00      | 100.00 | 100.00    |
| 21       | 1.00   | 100.00      | 100.00 | 100.00    |
| 22       | 1.00   | 100.00      | 100.00 | 100.00    |
| 23       | 1.00   | 100.00      | 100.00 | 100.00    |
| 24       | 1.00   | 100.00      | 100.00 | 100.00    |
| 25       | 1.00   | 100.00      | 100.00 | 100.00    |
| 26       | 1.00   | 100.00      | 100.00 | 100.00    |
| 27       | 1.00   | 100.00      | 100.00 | 100.00    |
| 28       | 1.00   | 100.00      | 100.00 | 100.00    |
| 29       | 1.00   | 100.00      | 100.00 | 100.00    |
| 30       | 1.00   | 100.00      | 100.00 | 100.00    |
| 31       | 1.00   | 100.00      | 100.00 | 100.00    |
| 32       | 1.00   | 100.00      | 100.00 | 100.00    |
| 33       | 1.00   | 100.00      | 100.00 | 100.00    |
| 34       | 1.00   | 100.00      | 100.00 | 100.00    |
| 35       | 1.00   | 100.00      | 100.00 | 100.00    |
| 36       | 1.00   | 100.00      | 100.00 | 100.00    |
| 37       | 1.00   | 100.00      | 100.00 | 100.00    |
| 38       | 1.00   | 100.00      | 100.00 | 100.00    |
| 39       | 1.00   | 100.00      | 100.00 | 100.00    |
| 40       | 1.00   | 100.00      | 100.00 | 100.00    |
| 41       | 1.00   | 100.00      | 100.00 | 100.00    |
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| 43       | 1.00   | 100.00      | 100.00 | 100.00    |
| 44       | 1.00   | 100.00      | 100.00 | 100.00    |
| 45       | 1.00   | 100.00      | 100.00 | 100.00    |
| 46       | 1.00   | 100.00      | 100.00 | 100.00    |
| 47       | 1.00   | 100.00      | 100.00 | 100.00    |
| 48       | 1.00   | 100.00      | 100.00 | 100.00    |
| 49       | 1.00   | 100.00      | 100.00 | 100.00    |
| 50       | 1.00   | 100.00      | 100.00 | 100.00    |
| 51       | 1.00   | 100.00      | 100.00 | 100.00    |
| 52       | 1.00   | 100.00      | 100.00 | 100.00    |
| 53       | 1.00   | 100.00      | 100.00 | 100.00    |
| 54       | 1.00   | 100.00      | 100.00 | 100.00    |
| 55       | 1.00   | 100.00      | 100.00 | 100.00    |
| 56       | 1.00   | 100.00      | 100.00 | 100.00    |
| 57       | 1.00   | 100.00      | 100.00 | 100.00    |
| 58       | 1.00   | 100.00      | 100.00 | 100.00    |
| 59       | 1.00   | 100.00      | 100.00 | 100.00    |
| 60       | 1.00   | 100.00      | 100.00 | 100.00    |
| 61       | 1.00   | 100.00      | 100.00 | 100.00    |
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| 64       | 1.00   | 100.00      | 100.00 | 100.00    |
| 65       | 1.00   | 100.00      | 100.00 | 100.00    |
| 66       | 1.00   | 100.00      | 100.00 | 100.00    |
| 67       | 1.00   | 100.00      | 100.00 | 100.00    |
| 68       | 1.00   | 100.00      | 100.00 | 100.00    |
| 69       | 1.00   | 100.00      | 100.00 | 100.00    |
| 70       | 1.00   | 100.00      | 100.00 | 100.00    |
| 71       | 1.00   | 100.00      | 100.00 | 100.00    |
| 72       | 1.00   | 100.00      | 100.00 | 100.00    |
| 73       | 1.00   | 100.00      | 100.00 | 100.00    |
| 74       | 1.00   | 100.00      | 100.00 | 100.00    |
| 75       | 1.00   | 100.00      | 100.00 | 100.00    |
| 76       | 1.00   | 100.00      | 100.00 | 100.00    |
| 77       | 1.00   | 100.00      | 100.00 | 100.00    |
| 78       | 1.00   | 100.00      | 100.00 | 100.00    |
| 79       | 1.00   | 100.00      | 100.00 | 100.00    |
| 80       | 1.00   | 100.00      | 100.00 | 100.00    |
| 81       | 1.00   | 100.00      | 100.00 | 100.00    |
| 82       | 1.00   | 100.00      | 100.00 | 100.00    |
| 83       | 1.00   | 100.00      | 100.00 | 100.00    |
| 84       | 1.00   | 100.00      | 100.00 | 100.00    |
| 85       | 1.00   | 100.00      | 100.00 | 100.00    |
| 86       | 1.00   | 100.00      | 100.00 | 100.00    |
| 87       | 1.00   | 100.00      | 100.00 | 100.00    |
| 88       | 1.00   | 100.00      | 100.00 | 100.00    |
| 89       | 1.00   | 100.00      | 100.00 | 100.00    |
| 90       | 1.00   | 100.00      | 100.00 | 100.00    |
| 91       | 1.00   | 100.00      | 100.00 | 100.00    |
| 92       | 1.00   | 100.00      | 100.00 | 100.00    |
| 93       | 1.00   | 100.00      | 100.00 | 100.00    |
| 94       | 1.00   | 100.00      | 100.00 | 100.00    |
| 95       | 1.00   | 100.00      | 100.00 | 100.00    |
| 96       | 1.00   | 100.00      | 100.00 | 100.00    |
| 97       | 1.00   | 100.00      | 100.00 | 100.00    |
| 98       | 1.00   | 100.00      | 100.00 | 100.00    |
| 99       | 1.00   | 100.00      | 100.00 | 100.00    |
| 100      | 1.00   | 100.00      | 100.00 | 100.00    |







# CANYON COUNTY COMMISSIONERS

Leslie Van Beek  
District I

Brad Holton  
District II

Zach Brooks  
District III

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1115 Albany ❖ Caldwell, Idaho 83605 ❖ Telephone: (208) 454-7507 ❖ Fax: (208) 454-7336

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January 23, 2024

Destiny Platt  
19114 Galloway Rd.  
Caldwell, Idaho 83607


***Re: Request for meeting***

Dear Ms. Platt,

Thank you for your most recent letter which included a request for a meeting to discuss residential access to your parcel. We understand from your letter that you've submitted an application to the Development Services Department to amend a related administrative decision AD2021-0060/RD2021-0021. The Board may also serve as the appeal board over that application and because the issues are interrelated our preference is to postpone any conversation with you about the Bureau of Reclamation right-of-way until such time as the amendment application is final. If your amendment application is appealed for any reason the Board can also discuss your request with you at that hearing.

Sincerely,

BOARD OF COUNTY COMMISSIONERS

  
\_\_\_\_\_  
Commissioner Leslie Van Beek

  
\_\_\_\_\_  
Commissioner Brad Holton

  
\_\_\_\_\_  
Commissioner Zach Brooks

ZJW:jc





RECEIVED

JAN - 5 2024

CANYON COUNTY  
COMMISSIONERS

Copy PA  
DSD

January 5, 2024

Destiny Platt  
19114 Galloway Rd  
Caldwell, ID 83607

Canyon County Board of Commissioners  
Brad Holton  
Leslie Van Beek  
Zach Brooks

RE: Response to Letter regarding Public Right of Way Access to Private Property

Dear Board of Commissioners,

Thank you for your response letter. I would like to take this opportunity to request your reconsideration to meet. My reason for the reconsideration is to address some incorrect information stated in your letter regarding access to my property. I have only recently discovered this error and wanted to inform the Board of this discovery. You stated I am asking the County to approve my use of a right-of-way in lieu of a previously approved access from a private road. The approved access from a private road that you mention does not exist. The administrative decision states that I have access and cites the record of survey. If you look at the record of survey, it does not show a residential access easement to my parcel, only a farm maintenance easement to access the farm well. Further investigation shows the only access to my parcel is from the existing right-of-way which is also cited on the record of survey.

I would also like to take this opportunity to address a few of your other concerns. I am not asking the County to maintain the right-of-way easement or to have the County operate it as a public road. I am merely asking for the County to acknowledge the existing contract shows the necessary ingress/egress access to my property for residential purposes.

As stated in my previous letter the impact of our residence on the 662 feet will be minimal as it is already under constant use from surrounding farmers and the existing residence. Allowing usage for our residence will actually assist in sharing the cost of maintenance with the existing residence. It will not add any additional costs or burdens to the county or the highway district. It would fall to a road maintenance agreement between the existing residence and our new residence as the county would require. It also makes the most sense for EMS access as it would be a much more direct route to our home in case of an emergency.

I filed an amendment to the administrative decision AD2021-0060/RD2021-0021 on November 29th. I recently supplied my warranty deed and legal description to Canyon County DSD on January 4th regarding my recorded access



I would like to request for the Board to reconsider my original request of being placed on your agenda to further discuss this matter. I feel an in person discussion would be very helpful to both the County and I to obtain a quick resolution.

I look forward to meeting with the Board at your earliest convenience. Thank you for taking the time to read my request for reconsideration. I have included a copy of our warranty deed and legal description citing the record of survey's access to my property and pertaining instrument numbers.

Sincerely,



Destiny Platt





# CANYON COUNTY COMMISSIONERS

**Leslie Van Beek**  
District I

**Brad Holton**  
District II

**Zach Brooks**  
District III

1115 Albany ❖ Caldwell, Idaho 83605 ❖ Telephone: (208) 454-7507 ❖ Fax: (208) 454-7336

December 8, 2023

Destiny Platt  
19114 Galloway Rd.  
Caldwell, Idaho 83607

Ms. Platt,

The Board received your letter of October 26, 2023, and appreciates your thoughtful inquiry into the County's 1978 right-of-way agreement with the Bureau of Reclamation. Until we received your letter the Board was unaware of the agreement.

In considering your request, the Board understands that you are asking the County to approve your use of the right-of-way to access your property in lieu of a previously approved access from a private road. The Board is concerned that granting your request would commit the County to maintain a public road within the jurisdiction of an existing highway district—committing general tax revenue to a purpose for which the area property owners fund an existing separate tax revenue district.

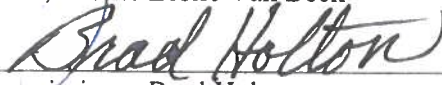
We've also taken the opportunity to review the County's use of this agreement and have found no indication that the County has maintained the right-of-way easement or operated a public road pursuant to the agreement. As you know, the County does not currently maintain any public roadways and all public roads within the County are maintained by a highway district, a city, or the state.

Although we cannot grant your request for the reasons stated, and we understand that the Bureau will not permit the transfer of the agreement to a private party, we would not object to the transfer of the agreement to the Notus-Parma Highway District if the District is willing to maintain the access as a public road.

Sincerely,

BOARD OF COUNTY COMMISSIONERS

  
\_\_\_\_\_  
Commissioner Leslie Van Beek

  
\_\_\_\_\_  
Commissioner Brad Holton

  
\_\_\_\_\_  
Commissioner Zach Brooks

cc: DSD, CCPA



October 25, 2023

Destiny Platt  
19114 Galloway Rd  
Caldwell, ID 83607

Canyon County Board of Commissioners  
Brad Holton  
Leslie Van Beek  
Zach Brooks

RE: Public Right of Way Access to Private Property

Dear Board of Commissioners,

I am writing this letter to formally request to be added as an item on your next agenda to address a recorded Road Public-Right of Way access that Canyon County was granted from the Bureau of Reclamation in 1978 that borders my property.

A few concerns that Development Services has continued to deny my request to access my property from Goodson Rd for a building permit is as follows:

1. This access has been used as a farm access and not residence, hence changing use
2. The County has never maintained it and BOR can terminate/abandon the agreement
3. This access agreement was only given to the one residence that currently resides on it
4. This access is a Private Road
5. This access is a Driveway
6. This access requires a Variance from 60 feet to 25 feet
7. Bureau of Reclamation needs to contact us to clarify this document

I would like to make the Board aware that this is a topic that has been ongoing with DSD since 2021. I will narrow this down to the most recent activity. After months of requesting an in person meeting with Building Services I was finally able to meet with several staff members and legal to clarify what the 662 feet from Goodson road to the top of my property falls under so that I can be sure I am following the correct process to obtain access to my property for a building permit. It was finally agreed by all parties that this 662 feet is in fact a public right of way access. I have now been directed to bring this before the Board of County Commissioners.

In trying to understand where Building Services is coming from and what guidelines I need to be following, I have done some research and found the following Idaho Statutes to be helpful in clarifying what this access should be classified as and what guidelines and limitations or lack thereof are to be followed. Please see the following Idaho Codes below. I will shorten and summarize the sentences that pertain but please feel free to look them up in their entirety. My opinions are highlighted at the end of each one.





**40-102(1)(a) "Access easement"** If the easement does not specify the type of use which may be made of the easement, for example, farm access, heavy industrial, etc., the easement is not limited to any type(s) of access. (The Public Right of Way contract does not specify a type of use. It also has been serving one residence prior to the creation of said contract. Therefore not changing the use of the access from farm to residential as it has always served both.)

**40-203(2) Abandonment and Vacation of County and Highway District System Highways or Public Rights-of-Ways.** No highway or public right-of-way or parts thereof shall be abandoned and vacated so as to leave any real property adjoining the highway or public right-of-way without access to an established highway or public right-of-way. The burden of proof shall be on the impacted property owner to establish this fact. (This access must remain in place due to the existing landlocked residence. My property is not landlocked and building services has stated that this would therefore only apply to the one existing residence and that it could terminate my access. In my opinion, making the access a private access. However because no agreement can be made between a governmental agency and a private party regarding property accesses, this access must remain public, therefore not allowing it to terminate access to my property with no limitation to the use, i.e. residential vs farming.)

**40-109 (5) "Highways"** mean roads, streets, alleys and bridges laid out or established for the public or dedicated or abandoned to the public. Roads laid out and recorded as highways, by order of a board of commissioners, and all roads used as such for a period of five (5) years, provided they shall have been worked and kept up at the expense of the public, or located and recorded by order of a board of commissioners, are highways. (There is no Idaho code definition for driveway or private road. The County definitions do not fit the recorded contractual agreement between Canyon County and BOR. This code has been the most accurate definition regarding the 662 feet from Goodson road to my property line.)

**40-120 (8) "Street"** means a thoroughfare, alley, highway or a right-of-way that may be open for public use but is not part of a public highway system nor under the jurisdiction of a public highway agency. (The County or Highway District has not maintained this public-right-of-way, but that does not change the fact that it is accessible and open to the Public. It has been maintained by a private individual/farmers since the existence of the contract and can continue to be maintained by private individuals if the County wishes.)

**40-2312 Width of Highways.** (1) Where the width of a highway is stated in the plat, dedication, deed, easement, agreement, official road book, determination or other document or by an oral agreement supported by clear and convincing evidence that effectively conveys, creates, recognizes or modifies the highway or establishes the width, that width shall control. (The recorded agreement/contract states a width of 25 feet, therefore supporting the understanding that a variance does not qualify in this circumstance.)



BOR has stated they would be happy to talk with DSD regarding the contract in question, but the BOR has not received any contact from DSD. When speaking with DSD they state BOR needs to contact them. BOR states they are not the one questioning the document. If DSD needs clarification, then they are the ones who need to reach out. Hence the never ending cycle of no contact between the two agencies and no answers regarding my requests.

The impact of our residence on the 662 feet will be minimal as it is already under constant use from surrounding farmers and the existing residence. Allowing usage for our residence will actually assist in sharing the cost of maintenance with the existing residence. It will not add any additional costs or burdens to the county or the highway district. It would fall to a road maintenance agreement between the existing residence and our new residence as the county would require. It also makes the most sense for EMS access as it would be a much more direct route to our home in case of an emergency.

I would like the Board to be aware of the incredibly personal meaning it would have to me and my family to be able to access our home off of Goodson Rd. I am a 5th generation Idahoan. The name Goodson Rd, was named after my great grandfather Edward Goodson. I bought my parcel from his son, Eddie Goodson, my grandfather, who passed away only 4 months ago. I was born under the last name of Goodson and I would love for my family to continue living in this area off of Goodson Rd. Which brings me to my questions for the Board.

I would like the Board to explain to me why a Public Road Right of Way Contract is not being recognized as such?

What do I need to do in order to obtain a building permit off of this public access right of way? Please explain in detail.

If the Board disagrees with my interpretation of the Public Road Right-of-Way Contract, please explain in detail as to why and if there is a way to resolve it?

Please note, I have already purchased a home that is ready to be placed on a foundation and a contractor who is ready to build the foundation. Our missing piece is the access to our property off of Goodson Rd for a building permit. I am aware I would need to file an amendment from the current existing administrative land split decision and would be happy to do so with your permission to move forward.

I look forward to meeting with the Board at your earliest convenience. Thank you for taking the time to read my request. I have included a copy of the 1978 Road Right-of-Way Contract for your review.

Sincerely,  
Destiny Platt



# MASTER APPLICATION

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



|                       |                                                                   |
|-----------------------|-------------------------------------------------------------------|
| <b>PROPERTY OWNER</b> | OWNER NAME: <u>Goodson Family Trust / Destiny Platt</u>           |
|                       | MAILING ADDRESS: <u>19114 Galloway Rd<br/>Caldwell, ID 83607</u>  |
|                       | PHONE: <u>208-571-2802</u> EMAIL: <u>diesel.momma86@gmail.com</u> |

I consent to this application and allow DSD staff / Commissioners to enter the property for site inspections. If owner(s) are a business entity, please include business documents, including those that indicate the person(s) who are eligible to sign.

Signature: Mabe Thomas, P.O.A. / Trustee Date: 11-26-2023  
PH (owner of Parcel # 3)

|                                                       |                           |
|-------------------------------------------------------|---------------------------|
| <b>(AGENT)<br/>ARCHITECT<br/>ENGINEER<br/>BUILDER</b> | CONTACT NAME:             |
|                                                       | COMPANY NAME:             |
|                                                       | MAILING ADDRESS:          |
|                                                       | PHONE: _____ EMAIL: _____ |

|                  |                  |                     |                    |                  |
|------------------|------------------|---------------------|--------------------|------------------|
| <b>SITE INFO</b> | STREET ADDRESS:  |                     |                    |                  |
|                  | PARCEL #:        | LOT SIZE/AREA:      |                    |                  |
|                  | LOT:             | BLOCK:              | SUBDIVISION:       |                  |
|                  | QUARTER:         | SECTION: <u>24</u>  | TOWNSHIP: <u>5</u> | RANGE: <u>4W</u> |
|                  | ZONING DISTRICT: | FLOODZONE (YES/NO): |                    |                  |

|                           |                                                    |                                                                 |                                                 |
|---------------------------|----------------------------------------------------|-----------------------------------------------------------------|-------------------------------------------------|
| <b>HEARING LEVEL APPS</b> | <input type="checkbox"/> CONDITIONAL USE           | <input checked="" type="checkbox"/> COMP PLAN AMENDMENT         | <input type="checkbox"/> CONDITIONAL REZONE     |
|                           | <input type="checkbox"/> ZONING AMENDMENT (REZONE) | <input checked="" type="checkbox"/> DEV. AGREEMENT MODIFICATION | <input type="checkbox"/> VARIANCE > 33%         |
|                           | <input type="checkbox"/> MINOR REPLAT              | <input type="checkbox"/> VACATION                               | <input type="checkbox"/> APPEAL                 |
|                           | <input type="checkbox"/> SHORT PLAT SUBDIVISION    | <input type="checkbox"/> PRELIMINARY PLAT SUBDIVISION           | <input type="checkbox"/> FINAL PLAT SUBDIVISION |

|                                |                                                                     |                                             |                                         |
|--------------------------------|---------------------------------------------------------------------|---------------------------------------------|-----------------------------------------|
| <b>DIRECTORS DECISION APPS</b> | <input type="checkbox"/> ADMINISTRATIVE LAND DIVISION               | <input type="checkbox"/> EASEMENT REDUCTION | <input type="checkbox"/> SIGN PERMIT    |
|                                | <input type="checkbox"/> PROPERTY BOUNDARY ADJUSTMENT               | <input type="checkbox"/> HOME BUSINESS      | <input type="checkbox"/> VARIANCE 33% > |
|                                | <input type="checkbox"/> PRIVATE ROAD NAME                          | <input type="checkbox"/> TEMPORARY USE      | <input type="checkbox"/> DAY CARE       |
|                                | <input checked="" type="checkbox"/> OTHER <u>Amendments to A.D.</u> |                                             |                                         |

|                                     |                                       |
|-------------------------------------|---------------------------------------|
| CASE NUMBER: <u>AD2021-0060-MBP</u> | DATE RECEIVED: <u>11/27/23</u>        |
| RECEIVED BY: <u>LISTER</u>          | APPLICATION FEE: <u>ok</u> MO CC CASH |

#2330

**SCANNED**

Revised 1/3/21

# **SITE PLAN & LETTER OF INTENT - CHECKLIST**

## **CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT**

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



### **The site plan is a detailed GRAPHICAL description of existing and proposed site features. Include all applicable items on your site plan:**

- All existing and proposed structures and dimensions (i.e. 40'X30' shop, 20'x20' shed, 40'x50' house, 10' windmill, etc. )
- Infrastructure: well, septic, irrigation ditch, settling ponds, drainage swales, etc.
- Transportation: parking, loading areas, driveways, etc. adjacent driveways, roads, highways or other accesses
- Easement locations and dimensions
- Setbacks from property lines, section lines, collectors and arterial roads and/or building envelope
- Areas of steep slopes, wetlands, and/or floodplain
- Existing or proposed fences
- Signs
- Major landscaping or hardscaping, such as large trees, berms, or retaining walls, water features
- Areas of activity, outdoor seating, food vendor area, stockpiling, open pit, etc.
- Any other site features worth noting

### **The Letter of Intent is a detailed WRITTEN description of proposed and existing uses at the site. Include all applicable items in your letter:**

- A description of the proposed use and existing uses
- A description of the proposed request and why it is being requested
- Expected traffic counts and patterns
- Phasing of development
- How proposed use may affect neighboring uses
- A description or further explanation of the site features (see site plan list above)
- Explanation of any other permits through other agencies that may be required
- Description of business operations, such as number of employees, hours of operation, delivery and shipping
- A description of how the proposed use is consistent with specific zoning criteria or comprehensive plan policies
- Any other items which may require further explanation

RECEIVED



# ADMINISTRATIVE LAND DIVISION - CHECKLIST

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #310, Caldwell, ID 83605

[www.canyoncounty.id.gov](http://www.canyoncounty.id.gov) Phone: 208-454-7458 Fax: 208-454-6633



Check appropriate application type:

*Amend* *AD 2021-0060 / RD 2021-0021*  
Administrative Land Division of "A" (Agricultural) land in accordance with CCZO §07-18-01

Less than 80 acres: Two (2) residential parcels

80 to 119 acres: Three (3) residential parcels

More than 120 acres: Four (4) residential parcels

*amend Black Canyon  
conditions and  
access to Parcel 3.*

- Administrative Land Division of original parcels in all other Zones in accordance with CCZO §07-18-01(1)B.
- Administrative Division and Relocation of Building Permits Between Contiguous Parcels in an Agricultural Zone in accordance with CCZO §07-18-05.
- Administrative Division of a Nonviable Parcel in an Agricultural Zone in accordance with CCZO §07-18-03.

### THE FOLLOWING ITEM MUST BE SUBMITTED WITH THIS CHECKLIST:

- Completed Parcel Inquiry verifying eligibility Case # \_\_\_\_\_ or provide evidence the parcel is eligible for land division.
- Master Application completed and signed.
- Site Plan showing existing and proposed property lines and sizes, easements, irrigation, access, and setbacks from existing structures, north arrow, and contours.
- Detailed Letter fully describing the request and required findings. The following findings must be included:
  - Does the property contain 15% slopes or greater?
  - Provide an irrigation plan (if applicable); and
  - Provide proof that any required conditions from previous County approvals are met or will be met as part of this request.
- Additional information for Relocation of Building Permits: Demonstrate how the request promotes effective or efficient farming and/or promotes the clustering of structures.
- Additional Information for Nonviable Parcels in the "A" Zone: (1) Demonstrate how the site constraints/resource issues on the property makes agricultural use extremely difficult; and (2) Demonstrate how the request does not create a negative impact to surrounding agricultural uses.
- Deed or evidence of property interest to all subject properties
- Draft record of survey with metes and bounds descriptions of all lots, that shows access from each parcel complies with the requirements of section 07-10-03: of this chapter, and that includes all required utility easements.
- Road User's Maintenance Agreement (if applicable)
- \$330 (lot split) or \$600 (building permit transfer/non-viable division) non-refundable fee**

### ADDITIONAL APPROVALS COMBINED WITH THIS REQUEST:

- Private Road application **\$80 fee**
- Easement reduction request (The reduction cannot be less than 28 feet wide) **\$80 fee**
- Property Boundary Adjustment **\$80 fee**

**DISCLAIMER: The subject property shall be in compliance with the public nuisance ordinance, the building code and the zoning code before the Director can approve the application.**

**Process:**

1. Complete **Parcel Inquiry** verifying eligibility for Administrative Land Division process or provide evidence demonstrating the subject parcel is eligible for land division.
2. Submit application with all required submittals and fees.
3. Notification of the application shall be provided to the applicable fire and highway districts and shall provide such districts a period of fifteen (15) calendar days from the date of notice to submit comments concerning the application.
4. Once the case planner reviews the application and provided preliminary approval; the following must be provided:
  - a. A recorded Record of Survey;
  - b. A recorded Road User's Maintenance Agreement (if applicable); and
  - c. Any additional information required by the case planner.
5. The case planner provides a report to the Director who will make a final determination regarding the application.
6. The signed approval document by the Director, which may include conditions of approval, must be recorded at the Recorder's office by the applicant or their representative. A copy of the recorded approval must be submitted to DSD.
7. **DISCLAIMER:** The decision by the Director is appealable per §07-05-07.
8. **DISCLAIMER:** Parcels will not be adjusted as approved or receive new parcel numbers by the Assessor's office until deeds are recorded.

**SETBACKS THAT MAY APPLY TO YOUR PROPERTY TO PLAN FOR WHEN DESIGNING LOTS:**

---

- Minimum Setbacks Based on Zoning (CCZO Section §07-10-21(1))
- Section/Quarter Section Line (70 foot unless waived by highway district; §07-10-19)
- Collector (50' setback from identified collectors on functional classification map; §07-10-21(1)4(A))
- Principal Arterial (70' setback from identified arterials on functional classification map; §07-10-21(1)4(B))
- State Highway 44 (95' setback from centerline); §07-10-21(1)4(B)
- State Highway 55 (90' setback from centerline); §07-10-21(1)4(B)
- US Highway 20/26 (120' setback from centerline); §07-10-21(1)4(B)



# AMENDMENT TO GOODSON ADMINISTRATIVE LAND SPLIT AD2021-0060/RD2021-0021

The following amendments are to be considered individually

- Page 1/following comments were received/Black Canyon. Replace the following statement of: Black Canyon Irrigation will require a crossing agreement to be in place at time of building permits applied for with the statement provided by Black Canyon Irrigation District's letter of acknowledgement with the requirements written under approval conditions.
- New statement to read as follows: Black Canyon Irrigation will require all irrigation easements to be retained free of obstructions and water canal to all properties.
- Page 2/under decision/modify statement #7) Crossing agreement with Black Canyon Irrigation must be in place prior to the issuance of any building permit(s).
- New statement to read as follows: Crossing agreement with Black Canyon Irrigation must be in place prior to the issuance of any building permit(s) to Parcel #4 as cited on record of survey for Goodson Family Trust.
- Access to Parcel #3 will no longer be from Indecision Ln, but off of Goodson Rd as it has always served both residential and agricultural use. The access to Parcel #3 from Goodson Rd has a 662 feet in length public road right-of-way as cited under Instrument # 835184, Contract # 8-07-10-L0194 between the Bureau of Reclamation and Canyon County.
- If Canyon County would like a road maintenance agreement to be put in place for the 662 ft, then such discussion will need to take place with the landowners of Parcel #3.





## DSD Director Administrative Decision

Canyon County Code of Ordinances  
§07-18-01, §07-17-03 & §07-10-03

2021-054590

RECORDED

08/04/2021 11:35 AM



CHRIS YAMAMOTO

CANYON COUNTY RECORDER

Pgs=9 LBERG

\$34.00

MISC

EDWARD GOODSON

Case Number: AD2021-0060/RD2021-0021

Parcel(s): R38437

Property Owner/Applicant(s): Edward Goodson

**Request:** The applicant, Edward Goodson, is requesting an administrative land division of Parcel R38437. The property is zoned "A" (Agricultural). The result of the request will create a total of four (4) parcels. Three (3) with building permits and one (1) agricultural only parcel. The result of the request also consists of a private road and easement reduction to serve the parcels.

**Property History:** The subject parcel, approximately 117.57 acres is "original parcel" as defined by CCZO (created prior to September 6, 1979 CCZO Section 07-02-03 see PI2020-0288).

**Land Division (CCZO Section 07-17-03 & 07-18-01):** Consistent with CCZO §07-18-01(1)B, the request meets the one-acre average minimum lot size requirements of the "A" Zone (CCZO §07-10-21(2)).

The request is also consistent with the following requirements of CCZO §07-17-03(3)F:

- Each parcel will maintain individual water rights after division is completed.
- A Record of Survey has been recorded (Instrument #2021-052318, Attachment A).
- Based upon the review of the application and review of County contour maps, the property does not contain slopes greater than 15%.
- The request was reviewed and accepted by Southwest District Health (SWDH), Caldwell Rural Fire District, Black Canyon Irrigation District and Notus-Parma Highway District. Following comments were received:
  - o Southwest District Health requires a septic permit at the time of building permit submittal.
  - o Caldwell Rural Fire District requires a permit at the time of building permit submittal.
  - o Black Canyon Irrigation will require a crossing agreement to be in place at time of building permits applied for.
  - o Notus-Parma Highway approved the proposed access via shared approach and require an approach permit at time of building permits.

**Private Roads and Easement Reduction (CCZO Section 07-10-03):** The applicant is requesting a private road of 60-foot wide. The proposed private road name, "Indecision Lane" is in substantial conformance with Section 06-05-13. The names are not duplicated by sound or spelling within Canyon County. As conditioned, the private road shall meet all minimum construction standards (CCZO Section 07-10-03(3)). Private road signage must be installed per the highway district standards. Per CCZO §07-10-03(1)B3, a Road User's Maintenance Agreement (RUMA) has been recorded (Instrument No.2021-052157).

The applicant is requesting an easement reduction of a shared access easement from 60-foot to 28-foot. The 28-foot wide shared access easement continues beyond the 60-foot Private Road access easement (severed by all parcels) to serve parcel 1 & 3 (Attachment B). Per CCZO §07-10-03(1)B2, an access easement must be 60' wide unless a reduction is approved by the Development Services Director. Per CCZO §07-10-03(1)D, the proposed 28' easement provides adequate access without creating safety issues. No evidence was provided or found showing the reduction would create impacts to neighbors or essential services. Therefore, a 28' wide easement will provide adequate access to parcel 1 & 3.



The parcel shall be divided in compliance with Instrument No. 2021-052318 (Attachment A), as follows:

Parcel 1: 5.01 acres – Residential permit available

Parcel 2: 97.82 acres – No building permit available (Agricultural Only)

Parcel 3: 10.00 acres – Residential permit available

Parcel 4: 5.01 acres – Residential permit available

**\*\* New parcel numbers will be created by the Canyon County Assessor upon recordation of deeds\*\***

**Decision:** Upon review by the Director of DSD, the application to complete the requested land division, private road and easement reduction per §07-18-01, §07-17-03 & §07-10-03 is **APPROVED** subject to the following conditions:

- 1) The development shall comply with all applicable federal, state, and county laws, ordinances, rules and regulations that pertain to the property include the Idaho Right to Farm Act (Idaho Code § 22-4503).
- 2) An approach permit shall be obtained from Notus-Parma Highway prior to building permit issuance.
- 3) Prior to building permit issuance, a septic permit is required by Southwest District Health.
- 4) Prior to a certificate of occupancy, the private road shall be built to meet the minimum construction standards (CCZO Section 07-10-03(2) & (3)). The construction of driveways/private roads longer than one hundred fifty feet (150') from a public street right of way to the most distant portion of an inhabited building and private roads shall be inspected and certified by the applicant's engineer before obtaining a certificate of occupancy.
- 5) A sign conforming to the applicable highway district standards shall be erected and maintained at the property owners' expense. Verification of installation of road signs shall be provided to DSD before Certificate of Occupancy.
- 6) Historic irrigation lateral, drain, ditch flow patterns and associated easements shall be maintained and protected unless approved in writing by the local irrigation district or ditch company.
- 7) Crossing agreement with Black Canyon Irrigation must be in place prior to the issuance of any building permit(s).

  
Steve Fultz, Director

8/3/21  
Date

State of Idaho )

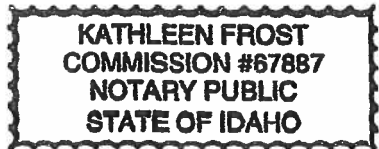
SS

County of Canyon County )

On this 3<sup>rd</sup> day of August, in the year of 2021, before me Kathleen Frost, a notary public, personally appeared Stephen Fultz, personally known to me to be the person(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged to me that he (she)(they) executed the same.

Notary: K Frost

My Commission Expires: 6-3-2022





IRRIGATION DISTRICT

ADMINISTRATIVE LAND DIVISION LETTER OF ACKNOWLEDGEMENT

To: Jack Canyon Irrigation District

Date: 04/01/2021

Applicant Name:

Edward M. Gordon

Current Mailing Address:

22470 Gordon Pl. Parma, ID 83660

Site (Subject Property) Address: Sec 24 T5N R4W Bm Parcel # R38437

Phone Number: 208-713-2092 Fax: \_\_\_\_\_

E-mail address: maleepaul6761@gmail.com

Type of Administrative Land Division Application:

- Administrative Land Division [Canyon County Code § 07-18-01]
- Transfer of Building Permits [Canyon County Code § 07-18-03]
- Variance--Discretionary Decrease/Increase in Lot Size [Canyon County Code, Article 8]
- Easement Reduction [Canyon County Code § 07-10-03 (1) (B)]

**OFFICIAL USE ONLY BELOW THIS LINE**

**LETTER OF ACKNOWLEDGEMENT ACTION:**

**Determination and Decision and Order on Application for Letter of Acknowledgement:**

- Approval       Approval Subject to Conditions       Denied

Approval Conditions, if any, are herein set forth:

All irrigation easements to be obtained free of obstructions and water conveyed to all properties.

*This acknowledgement is valid only for six months from the date issued.*

Basis for action:

\_\_\_\_\_  
\_\_\_\_\_

Dated: 4/9/21

Signed Cal Hay  
Authorized Irrigation District Representative

Revised 3/23/21





# RECORD OF SURVEY FOR GOODSON FAMILY TRUST

A PORTION OF THE SOUTH 1/2 OF THE NORTHWEST 1/4, AND THE EAST 1/2 OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, B.M., CANYON COUNTY, IDAHO -2021-



2021-05-23 18  
RECORDED  
07/27/2021 1:00:09 AM  
CHRIS YAMAMOTO  
CANYON COUNTY RECORDER  
Piper Searle & Sons  
SURVEY  
TRIMLINE SURVEYING  
3100

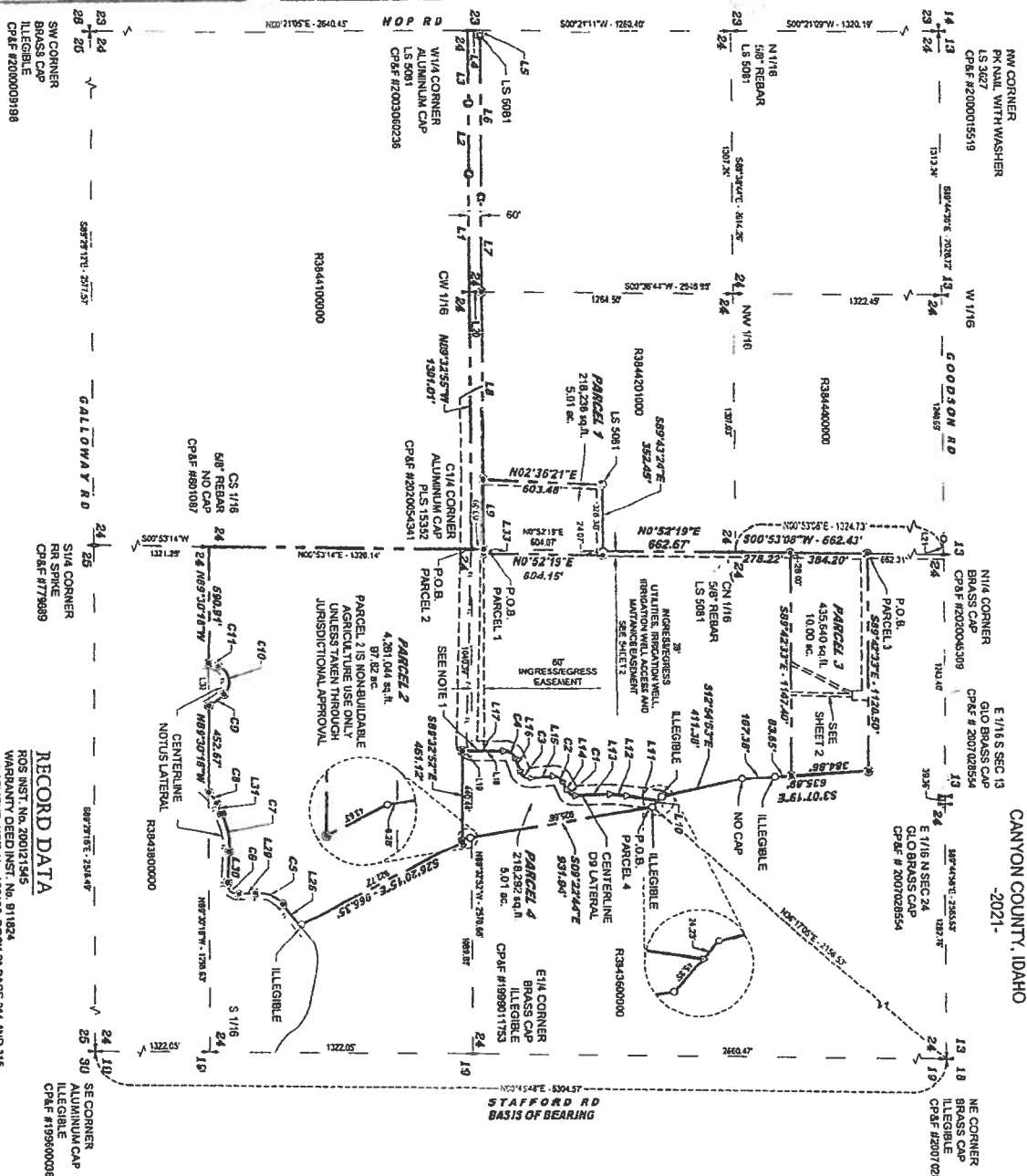
### LEGEND

- SECTION OR MONUMENT AS NOTED
- 1/4 COR. MONUMENT AS NOTED
- 1/16 COR. MONUMENT AS NOTED
- FOUND 1/2" REBAR AS NOTED
- FOUND 5/8" REBAR AS NOTED
- FOUND IRON PIPE
- SET 1/2" REBAR W/ CAP 101C PLS 8895
- SET 5/8" REBAR W/ CAP 101C PLS 8895
- ▲ CALC POINT
- POINT OF BEGINNING
- BRASS CORNER
- ADJONER LINE
- BOUNDARY LINE
- SECTION LINE
- RIGHT OF WAY LINE
- EASEMENT LINE
- THE LINE

### CERTIFICATE:

I, KENNETH H. COOK, A PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO, CERTIFY THAT:  
1. THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF MALEE THOMAS.  
2. THE LANDS SURVEYED LIE WITHIN SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, BOISE MERIDIAN, AND THE SURVEY WAS COMPLETED ON APRIL 20, 2021.  
3. THE MONUMENTS DEPICTED ON THE PLAT ARE OF THE CHARACTERS SHOWN, AND CHAIN THE POSITIONS INDICATED AND ARE OF SUFFICIENT NUMBER AND DURABILITY AND IS IN CONFORMITY WITH THE CORNER PERPETUATION AND FILING ACT, STATE OF IDAHO CODE SS-1601 THROUGH SS-1812.

KENNETH H. COOK  
P.L.S. 9895



### RECORD DATA

ROS INST. NO. 200721545  
WARDENANT DEED INST. No. 911874  
JUDGEMENT INST. No. 489468 BOOK 29 PAGE 314 AND 315

### NARRATIVE:

THIS SURVEY WAS MADE AT THE REQUEST OF MALEE THOMAS TO ESTABLISH THE BOUNDARY AS SHOWN. BOUNDARY WAS DEFINED FROM FOUND MONUMENTS OF RECORD.

### BASIS OF BEARING:

THE EAST LINE OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, BOISE MERIDIAN WAS NORTH 07°46'48" EAST AND DISTANCE BETWEEN MONUMENTS FOUND TO BE 5304.57 FEET.

### NOTES:

A CROSSING AGREEMENT FOR THE D9 LATERAL MUST BE ESTABLISHED BEFORE BUILDING PERMIT IS ACQUIRED

SW CORNER  
BRASS CAP  
ILLEGIBLE  
CP#F #20000001918

SE CORNER  
ALUMINUM CAP  
ILLEGIBLE  
CP#F #1994000057



7011 NO. 2003  
5414 N. 24th St. - P.O. Box 100  
CAREY, IDAHO 83414  
PH: 208-465-5487 - F: 208-465-5990  
WWW.TIMBERLINESURVEYING.COM

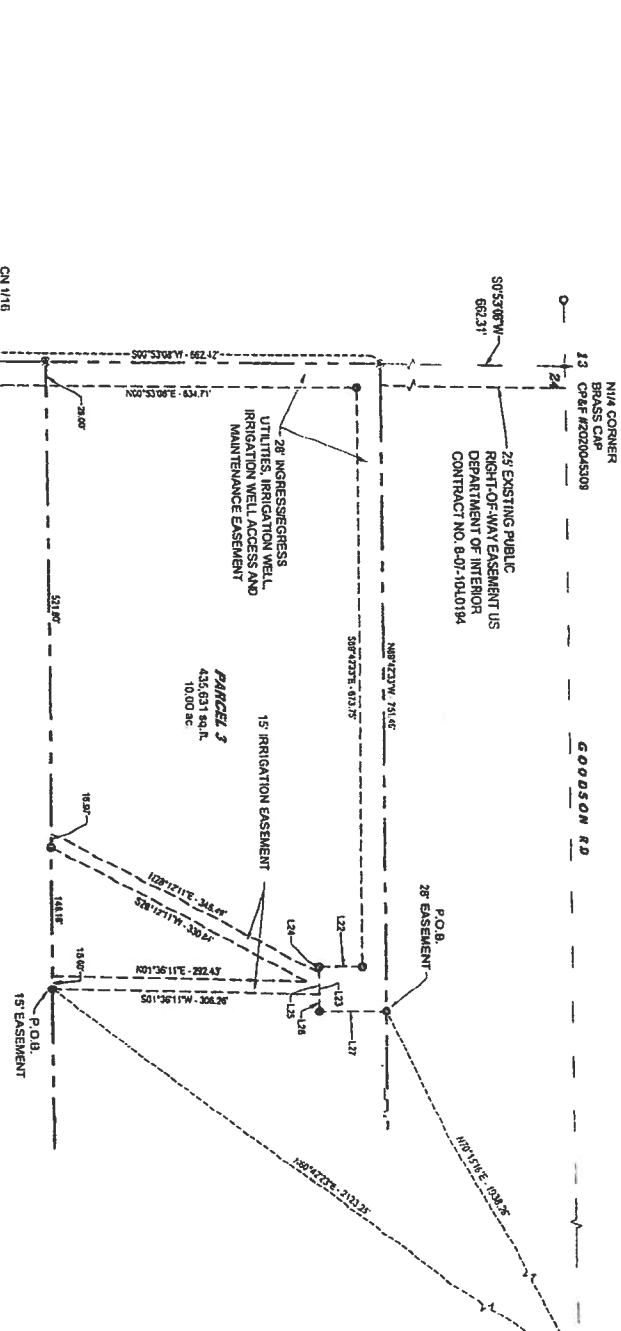


N1/4 CORNER  
BRASS CAP  
CP&F #2020045308

2x EXISTING PUBLIC  
RIGHT-OF-WAY EASEMENT US  
DEPARTMENT OF INTERIOR  
CONTRACT NO. 8-07-1010194

GOODSON RD

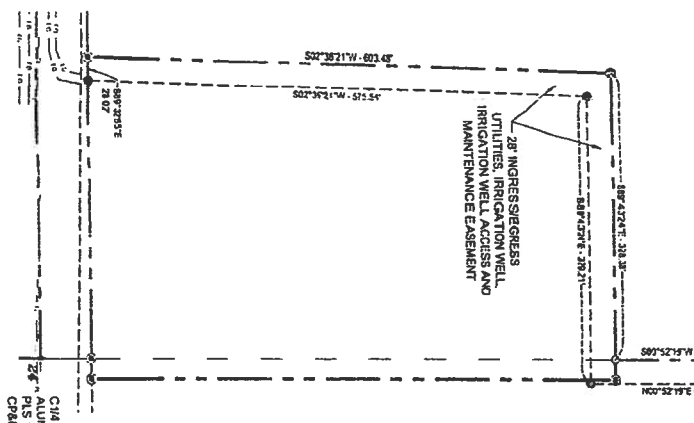
1/4 CORNER  
BRASS CAP  
ILLEGIBLE  
CP&F #2007020557



| LINE # | LENGTH  | DIRECTION   |
|--------|---------|-------------|
| L1     | 664.88' | S89°27'39"E |
| L2     | 347.27' | S89°27'39"E |
| L3     | 388.60' | S89°27'39"E |
| L4     | 600.00' | N00°21'17"E |
| L5     | 244.97' | S89°27'39"E |
| L6     | 800.52' | S89°27'39"E |
| L7     | 401.02' | S89°27'39"E |
| L8     | 924.55' | S89°27'39"E |
| L9     | 344.83' | S89°27'39"E |
| L10    | 694.86' | S44°55'07"E |
| L11    | 102.07' | S09°22'27"W |
| L12    | 85.85'  | S09°26'11"W |
| L13    | 174.42' | S07°48'49"E |
| L14    | 644.88' | S65°01'39"W |
| L15    | 110.07' | S09°26'23"E |
| L16    | 684.88' | S77°41'39"W |
| L17    | 211.09' | S09°23'09"W |

| LINE # | LENGTH  | DIRECTION   |
|--------|---------|-------------|
| L18    | 664.88' | S09°23'04"W |
| L19    | 43.15'  | S09°23'07"W |
| L20    | 800.26' | S09°26'44"W |
| L21    | 72.80'  | S89°46'39"E |
| L22    | 80.00'  | S09°17'21"W |
| L23    | 30.00'  | S89°42'33"E |
| L24    | 8.55'   | S89°42'32"E |
| L25    | 24.87'  | S89°42'31"E |
| L26    | 18.48'  | S89°42'30"E |
| L27    | 78.00'  | N00°17'27"E |
| L28    | 184.19' | S09°23'28"W |
| L29    | 82.72'  | S09°42'17"E |
| L30    | 150.78' | N89°43'36"W |
| L31    | 96.14'  | S64°42'22"W |
| L32    | 224.28' | S89°29'18"E |
| L33    | 24.07'  | S89°22'51"E |

| CURVE | RADIUS  | DELTA      | LENGTH  | TANGENT | BEARING     | CHORD   |
|-------|---------|------------|---------|---------|-------------|---------|
| C1    | 40.00'  | 68°09'52"  | 44.87'  | 78.40'  | S31°38'33"W | 44.67'  |
| C2    | 50.00'  | 10°28'27"  | 61.84'  | 33.43'  | S89°42'48"W | 51.81'  |
| C3    | 55.00'  | 7°08'34"   | 73.84'  | 43.20'  | S89°28'21"W | 61.85'  |
| C4    | 84.00'  | 10°18'34"  | 92.27'  | 30.02'  | S39°32'21"W | 61.18'  |
| C5    | 180.00' | 64°17'48"  | 151.62' | 82.00'  | S29°28'28"W | 148.01' |
| C6    | 53.00'  | 97°54'47"  | 65.26'  | 60.88'  | S43°10'34"W | 78.86'  |
| C7    | 200.00' | 26°27'04"  | 193.44' | 98.57'  | S19°29'21"W | 102.28' |
| C8    | 170.00' | 22°05'55"  | 165.57' | 33.50'  | S59°42'24"W | 61.18'  |
| C9    | 268.00' | 20°21'07"  | 185.20' | 48.18'  | N07°10'10"W | 150.41' |
| C10   | 98.00'  | 104°54'13" | 170.45' | 127.48' | S89°27'14"W | 150.41' |
| C11   | 125.00' | 22°30'02"  | 50.00'  | 23.34'  | S18°39'37"W | 49.85'  |



C1/4 CORNER  
ALUMINUM CAP  
PLS 15352  
CP&F #202004541

DISCLAIMER  
The undersigned assumes no responsibility for any present or future compliance or non-compliance of any ordinance to include building permits or the issuance thereof.



RD PARKCENTRAL WAY, SUITE 1, NAPA, IDAHO 83401  
P: 208-953-9887 • F: 208-953-9979  
E: D.M.KOCIS@TIMBERLINE.SURVEYING.COM  
SHEET: 2 OF 2  
DATE: 24-0-0-00-00  
INSTR. NO. 5124-D-01-01





United States Department of the Interior

BUREAU OF RECLAMATION  
PACIFIC NORTHWEST REGION  
FEDERAL BUILDING, 700 THIRD AVENUE  
BOISE, IDAHO 83720  
PHONE: 462-1000

FEDERAL BUREAU OF INVESTIGATION

JUL 2 1977

420  
774.

JUL 13 1977

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| 1000 | 1000 |

Memorandum

To: Project Superintendent  
Attn: 400

From: Regional Supervisor of Water, Power and Lands,  
Boise, Idaho

Subject: Right-of-Way Easement for Canyon County Road,  
Boise Project - Payette Division

*Returned in  
to J. J. J. J.  
10/17/76*

Enclosed are two copies of the agreement providing Canyon County an easement for a county road. The agreement has been assigned the contract number 8-07-10-L0194. The County's copy was hand carried to the county courthouse for recording by Mrs. Josephson of Western Realty. There was only one copy signed by the County. It is on file in the Canyon County Courthouse. A conformed copy has been retained in this office.

*Neil Stassen*

Enclosure



CHIEF DEPUTY  
RICHARD L. HARRIS

DEPUTIES  
ROBERT J. ELGEE  
DENNIS E. GOFF  
STEPHEN W. DRESCHER  
WILLIAM B. DILLON III

JAMES C. MORFITT  
CANYON COUNTY PROSECUTING ATTORNEY

COURTHOUSE  
P. O. BOX 669  
CALDWELL, IDAHO 83605  
TELEPHONE  
AREA CODE 208  
456-0442

June 21, 1978


Board of Commissioners  
Canyon County Courthouse  
Caldwell, ID 83605

Re: Road Right of Way Easement Contract

Gentlemen:

I have reviewed the proposed contract between Canyon County and the Bureau of Reclamation concerning the road right of way easement and it appears to be legally proper.

Sincerely,

  
WILLIAM B. DILLON  
Deputy Prosecuting Attorney

WBD/jw





United States  
Department of the Interior  
BUREAU OF RECLAMATION  
PACIFIC NORTHWEST REGIONAL OFFICE  
Central Snake Projects Office  
Boise Project - Payette Division

(Project or office)

## RECORD OF EXECUTION OF CONTRACT

Contractor..... Canyon County, State of Idaho  
Contract No..... 8-07-10-L0194..... Date of contract..... June 22, 1978  
Estimated amount involved \$..... None  
Purpose..... Right of way easement

Remarks:

Place..... Boise, Idaho..... Date..... June 27, 1978

1. Contract transmitted to Field Solicitor for legal approval.

*J. J. [Signature]*

*Neil [Signature]* Regional Supervisor of  
Water, Power & Lands  
(Title)

Place..... Boise, Idaho..... Date..... June 27, 1978

2. Contract given legal approval.

*Robert S. Burr*

Field Solicitor

3. Contract executed and transmitted to the following:

~~Original~~ contract - RO files

~~Transmitted~~ original to contractor

Copy to: Project Superintendent, Boise, Idaho  
RO 426



UNITED STATES  
DEPARTMENT OF THE INTERIOR  
BUREAU OF RECLAMATION

Central Snake Projects Office  
Boise Project - Payette Division

ROAD RIGHT-OF-WAY EASEMENT

THIS AGREEMENT, made this 22 day of June, 1978, pursuant to the Act of Congress approved June 17, 1902 (32 Stat. 388) and acts amendatory thereof or supplementary thereto, all of which acts are commonly known and referred to as the Federal Reclamation Laws, between THE UNITED STATES OF AMERICA, hereinafter referred to as the United States, represented by the officer executing this agreement, hereinafter called the Contracting Officer, and CANYON COUNTY, STATE OF IDAHO, a body politic, hereinafter called the County, acting by and through its Board of County Commissioners, hereinafter styled the Board,

WITNESSETH, THAT:

2. WHEREAS, in connection with the Payette Division of the Boise Project, Idaho, the United States, through the Bureau of Reclamation, Department of the Interior, has, pursuant to Federal Reclamation Laws, withdrawn certain public lands in connection with the aforementioned Project; and

3. WHEREAS, the County desires to utilize portions of such land for the purpose of constructing and maintaining a County road upon the premises.

NOW, THEREFORE, in consideration of the mutual covenants and stipulations hereinafter stated, the parties hereto do mutually agree as follows:

4. The United States hereby grants to the County, subject to the terms and conditions of this agreement, an easement to construct, operate and maintain a county road upon the property of the United States described as the west 25 feet of the ~~W<sup>1</sup>/<sub>4</sub>~~ of Section 24, Township 5 north, Range 4 west, Boise meridian, Canyon County, Idaho, as shown on the attached plat marked Exhibit "A" and by this reference made a part hereof.

The above described tract of land contains 0.38 acres, more or less, and is subject to all existing easements and rights-of-way.

5. The County shall use said premises for the purposes stated herein and agrees that in the use of said premises it shall conduct



its operations in a good and workmanlike manner, and shall insure compliance with the laws of the State of Idaho, and with all laws, regulations and orders of the United States affecting such operations. The failure of the County, after due notice, to abide by any of the terms and conditions of any of such applicable laws, rules and regulations shall cause this easement to be subject to immediate termination at the option of the Contracting Officer.

6. This easement is granted subject to all rights previously acquired by third parties.

7. The County agrees as follows:

a. There is reserved to the United States, its successors and assigns, the prior right to use any of the right-of-way herein described to construct, operate and maintain all structures and facilities, including but not limited to canals, wasteways, laterals, ditches, roadways, electrical transmission lines, communication structures generally, substations, switchyards, powerplants and any other appurtenant irrigation and power structures and facilities, without any payment made by the United States or its successors for such right.

b. That if the construction of any or all of such structures and facilities across, over or upon said right-of-way should be made more expensive by reason of the existence of improvements or works of the County thereon, such additional expense is to be estimated by the Secretary of the Interior, whose estimate is to be final and binding upon the parties hereto. Within 30 days after demand is made upon the County for payment of any such sums, the County will make payment thereof to the United States or any of its successors or assigns constructing such structures and facilities across, over and upon said lands. As an alternative to payment, the County at its sole cost and expense and within time limits established by the Government, may remove or adapt facilities constructed and operated by it on said right-of-way to accommodate the aforementioned structures and facilities of the United States. The County shall bear the cost to the Government of any costs occasioned by the failure of the County to remove or adapt its facilities within the time limits specified.

c. There is also reserved to the United States the right of its officers, agents, employees, licensees and permittees, at all proper times and places freely to have ingress to, passage over, and egress from all of said right-of-way for the purpose of exercising, enforcing and protecting the rights reserved herein.

d. That the United States, its officers, agents and employees and its successors and assigns, shall not be held liable for any damage to the County's improvements or works by reason of the



exercise of the rights here reserved; nor shall anything contained in this paragraph be construed as in any manner limiting other reservations in favor of the United States contained in this agreement.

8. The County hereby agrees to indemnify and hold harmless the United States, its agents and employees, from any loss or damage and from any liability on account of personal injury, death, or property damage, or claims for personal injury, death, or property damage of any nature whatsoever and by whomsoever made arising out of the County's activities under this agreement.

9. The County will use, operate and maintain the land covered by this easement in such a manner as not to interfere with the operation and maintenance of the Boise Project, Payette Division; or with the administration of adjacent land owned by the United States.

10. The County shall reseed and establish grass on the road cuts where erosion may occur. These areas will be determined by the Contracting Officer.

11. The provisions of this easement shall apply to and bind the successors and assigns of the parties hereto, but no assignment or transfer of this easement or any part or interest therein shall be valid until approved by the Contracting Officer.

12. This easement shall terminate:

a. At the option of the Contracting Officer if the County fails to comply with any of the terms and conditions thereof.

b. At the option of the Contracting Officer upon discontinuance by the County of the use of the land covered by this easement for the purposes herein stated for a period of twelve (12) consecutive months.

c. At the request by the County by giving written notice to the Contracting Officer.

13. The County hereby agrees as follows:

a. To comply with Title VI (Section 601) of the Civil Rights Act of July 2, 1964 (78 Stat. 241) which provides that "No person in the United States shall, on the grounds of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be subject to discrimination under any program or activity receiving Federal financial assistance," and to be bound by the regulations of the Department of the Interior for the effectuation thereof, as set forth in 43 CFR 17.





b. To obligate its subcontractors, subgrantees, transferees, successors in interest, or any other participants receiving Federal financial assistance hereunder, to comply with the requirements of this provision.

14. No Member of or Delegate to Congress or Resident Commissioner shall be admitted to any share or part of this contract or to any benefit that may arise herefrom. This restriction shall not be construed to extend to this contract if made with a corporation or company for its general benefit.

IN WITNESS WHEREOF, the parties hereto have executed this easement the day and year first above written.

THE UNITED STATES OF AMERICA

By *Robert M. ...*  
Regional Director, PII Region  
Bureau of Reclamation  
Box 043 - 550 West Fort Street  
Boise, Idaho 83724

CANYON COUNTY, STATE OF IDAHO

By *Earl ...*  
Chairman of the Board of  
County Commissioners

*R.A.*  
Commissioner

*[Signature]*  
Commissioner

(SEAL)

Attest:

*Bill A. ...*  
Clerk *Ruth E. ...*  
*deputy*



This agreement has been considered and is hereby approved  
by the BLACK CANYON IRRIGATION DISTRICT this 6th day of June  
1978 .

BLACK CANYON IRRIGATION DISTRICT

By Robert D. Hill

Title Manager

Attest:

Mary K. Kohn  
Secretary of the Board



STATE OF IDAHO }  
County of Ada } ss

On this 27<sup>th</sup> day of June, 1978, personally appeared before me Rodney J. Vissia, to me known to be the official of the UNITED STATES OF AMERICA that executed the within and foregoing instrument, and acknowledged said instrument to be the free and voluntary act and deed of said United States, for the uses and purposes therein mentioned, and on oath stated that he was authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

*John H. Seal*  
Notary Public in and for the  
State of Idaho  
Residing at: Boise  
My commission expires: life  
My Bond Expires June 10, 1979

(SEAL)

\*\*\*

STATE OF IDAHO }  
County County } ss

On this 22<sup>nd</sup> day of June, 1978, personally appeared before me Earl Giles, Bill Anderson, and Stan E. Pilcher, to me known to be the members of the Board of Commissioners, Canyon County, Idaho, that executed the within and foregoing instrument, and acknowledged said instrument to be the free and voluntary act and deed of said County for the uses and purposes therein mentioned, and on oath stated that they were authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

*Robert E. Seal*  
Notary Public in and for the  
State of Idaho  
Residing at: *Boise*  
My commission expires: 8/20/79

(SEAL)



N 1/2 NW 1/4 Sec 29 T50 R40 E. 11A.

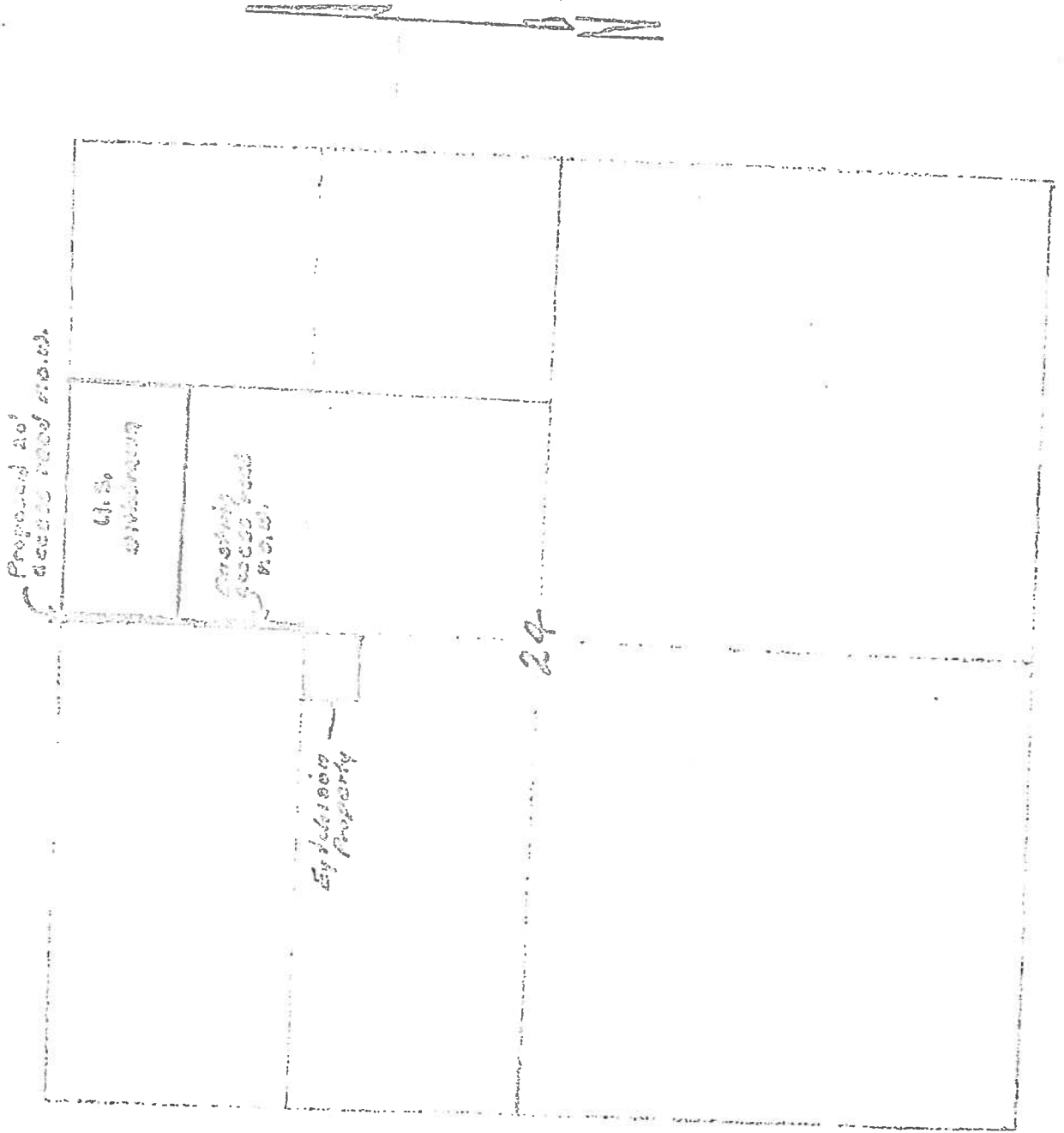


Exhibit "A"





**Canyon County Development Services**  
111 N. 11th Ave. Room 310, Caldwell, ID 83605  
(208) 454-7458

**Building Divsn Email:** buildinginfo@canyoncounty.id.gov **Planning Divsn Email:** zoninginfo@canyoncounty.id.gov

**Receipt Number:** 81122

**Date:** 11/27/2023

**Date Created:** 11/27/2023 **Receipt Type:** Normal Receipt **Status:** Active

**Customer's Name:** Destiny Platt

**Comments:** AD2021-0060-MOD

**Site Address:** 0 INDECISION LN, Caldwell ID 83607 / Parcel Number: 38437011 0

**CHARGES**

| <u>Item Being Paid For:</u>                                                               | <u>Application Number:</u> | <u>Amount Paid:</u> | <u>Prevs Pymnts:</u> | <u>Unpaid Amnt:</u> |
|-------------------------------------------------------------------------------------------|----------------------------|---------------------|----------------------|---------------------|
| Planning - Director's Decision without<br>Notification to Property Owners - All<br>Others | AD2021-0060-MOD            | \$330.00            | \$0.00               | \$0.00              |

**Sub Total:** \$330.00

**Sales Tax:** \$0.00

**Total Charges:** \$330.00

**PAYMENTS**

| <u>Type of Payment:</u> | <u>Check/Ref Number:</u> | <u>Amount:</u> |
|-------------------------|--------------------------|----------------|
| Check                   | 2330                     | \$330.00       |

**Total Payments:** \$330.00

**ADJUSTMENTS**

**Receipt Balance:** \$0.00



N 1/2 NE 1/4 Sec 24 T5N R4W E.M.

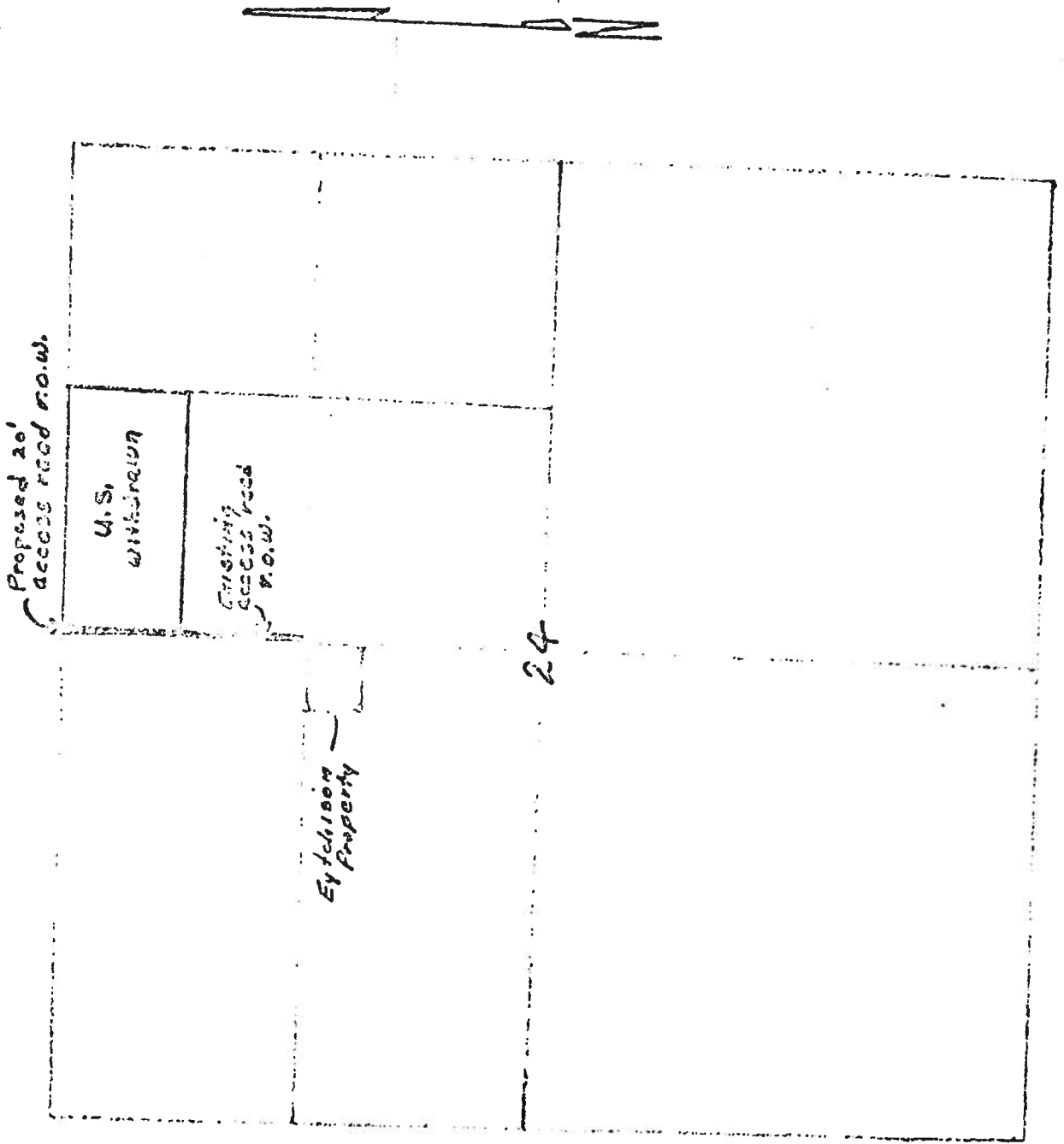


Exhibit "A"



## Sabrina Minshall

---

**From:** Destiny Platt <diesel.momma86@gmail.com>  
**Sent:** Monday, January 8, 2024 12:49 AM  
**To:** Sabrina Minshall; Debbie Root  
**Cc:** Zach Wesley; Darin Taylor  
**Subject:** [External] Amendment Request Update AD2021-0060/RD2021-0021

Hello Sabrina,

I wanted to send you a quick explanation regarding the most recent forms I dropped off regarding my request to access my parcel from Goodson Rd. I provided a copy of my Warranty Deed and Legal Description regarding my property. It does not indicate that I have access off of Indecision Ln, but off of Goodson Rd and cites the existing right of way between BOR and Canyon County as allowing me Ingress/Egress to my parcel. I reviewed the administrative decision from 2021 and the exhibits that were referenced. The only referenced items are a road maintenance agreement and the Record of Survey. The road maintenance agreement allows me to use Indecision Ln, but the lane does not come into contact with my property. The Record of Survey does not indicate residential access to parcel #3 which is my parcel. Only a farm maintenance easement to access the existing farm well on parcel #3. I have been unable to locate any legal document providing access to my parcel off of Indecision Ln. The only proof of access to my property is showing it coming off of Goodson Rd.

Due to this most recent understanding/discovery it appears that I do not have another way in to access my property. I have reviewed the cited instrument numbers on my legal description and it is the same Record of Survey that the county has included with the administrative decision. If you would like me to send you a copy of the recorded instrument documents, please let me know and I will send those your way.

I will be happy to answer any additional questions you may have. I look forward to hearing from you.

Destiny Platt



## Sabrina Minshall

---

**From:** Destiny Platt <diesel.momma86@gmail.com>  
**Sent:** Thursday, January 4, 2024 1:42 PM  
**To:** Sabrina Minshall  
**Subject:** Re: [External] Re: Administrative Decision Question AD2021-0060 Goodson

Hello Sabrina,

In regards to the crossing agreement, it is not issued by BCID but by BOR as mentioned in our previous conversations and email with the land patent attached stating ownership of the waterway easement. I would be happy to send you the federal regulation that discusses who has the authority to issue crossing agreements if you would like for reference, just let me know. Yes, we had been working with BCID initially but were informed that the crossing agreement must come from BOR. Was BCID able to shed any light as to their opinion regarding the status from their communications with BOR? It is my understanding that BOR has reached out to BCID regarding this matter.

I'm happy to update you with my last communication from BOR. They have stated the crossing agreement continues to move forward, but the gentleman working on our application has been out of the office since December 22nd. He will be returning to the office next week and I anticipate to hear from him some time then with an update. If you would like BOR's contact information I would be happy to send that to you as well so you can reach out to them directly with any specific questions you may have. Let me know and I will send the information your way.

Thank you,  
Destiny Platt

On Thu, Jan 4, 2024 at 12:44 PM Sabrina Minshall <[Sabrina.Minshall@canyoncounty.id.gov](mailto:Sabrina.Minshall@canyoncounty.id.gov)> wrote:

Hi Destiny,

I have had some email communication with BCID on part of this and they have provided documentation of their process and discussions with you and your family.

Do you have any updates as to the status of getting a crossing agreement with them?



**Sabrina C. Minshall, AICP**

Director

Canyon County Development Services Department

111 N. 11<sup>th</sup> Ave., #310, Caldwell, ID 83605





## Sabrina Minshall

---

**From:** Destiny Platt <diesel.momma86@gmail.com>  
**Sent:** Monday, December 4, 2023 10:32 PM  
**To:** Sabrina Minshall  
**Subject:** [External] BCID and BOR Agreement AD2021-0060/RD2021-021

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello Sabrina,

Here is a document I believe fulfills your request from our meeting last week showing the relationship between BCID and BOR and their contractual agreements of authority. Please let me know if this document and additional information within this email is sufficient regarding our request for the amendments regarding the crossing agreement wording for application AD2021-0060/RD2021-0021.

Thank you,  
Destiny Platt

Here is a contract between BCID and BOR showing Black Canyon's repayment to BOR.



[Black Canyon Irrigation and BOR STATUTE-68-Pg79...](#)

Below is the direct link to BCID's website stating they operate and maintain BOR's waterway projects. Below the link is the section on their webpage that focuses on the contracts stating such. You can also find additional information under the Desert Land Act, also known as the Carey Act.

<https://blackcanyonirrigation.com/bcid-history>

**HISTORY:** Construction began on the First unit (Notus) canal in 1919. The completion of the First Unit distribution system was in 1921. Responsibility for operation and maintenance of the irrigation facilities were assumed by the Black Canyon Irrigation District on February 1, 1922.

The next development was construction of Black Canyon Dam and Power plant, completed in 1924. Deadwood Dam was completed in 1931 and Cascade Dam in 1948. Construction of these projects was performed by the Bureau of Reclamation. Work on the Black Canyon Main Canal was started in 1936 and was followed by completion of the distribution system for the gravity area of the second unit in 1940. The C-Line Pumping Plant and the distribution system for the pump area of the second unit were completed by 1949. Following the construction of the Second Unit distribution system, the facilities were operated by the Bureau until January 1, 1955, when the responsibility was transferred to the Black Canyon Irrigation District. By this transfer the District assumed operating responsibility for all facilities of the Payette Division excepting the



Direct Line: 208-454-6634

Fax: 208-454-6633

Email: [Sabrina.Minshall@canyoncounty.id.gov](mailto:Sabrina.Minshall@canyoncounty.id.gov)

Website: [www.canyoncounty.id.gov](http://www.canyoncounty.id.gov)

Development Services Department (DSD)

**From:** Destiny Platt <[diesel.momma86@gmail.com](mailto:diesel.momma86@gmail.com)>

**Sent:** Monday, November 20, 2023 1:46 PM

**To:** Sabrina Minshall <[Sabrina.Minshall@canyoncounty.id.gov](mailto:Sabrina.Minshall@canyoncounty.id.gov)>

**Subject:** [External] Re: Administrative Decision Question AD2021-0060 Goodson

**\*URGENT\***

Hi Sabrina,

Sorry to bother you again. I know you are very busy and have many important matters to attend to and I hate to continue bothering you. This matter is extremely urgent for my family and I. My sister, her husband and small children are displaced without a home until this matter is resolved and I am residing in a family member's basement with my family at this time. The holidays are here and the builder told my sister she could move into her home in time for Thanksgiving. Here it is Thanksgiving week, her home is finished and all the other boxes are checked for occupancy and yet she is unable to move into her finished home. I put a down payment on my home in February and began this process shortly after and now my building permit has been stopped due to the Black Canyon irrigation wording that was put on our Administrative Decision. I know for some this is not an urgent matter, but for my family and my sister's family this matter is life altering and we need to find a resolution to this issue quickly. There are only 41 days left in this year which is why time is extremely important to us. I do not want to lose my house that is already built and on a lot waiting to be brought to our land and my sister is being called with extremely upset builders that will not be getting paid because her construction loan cannot convert to a mortgage without the COO. All of this upset is unnecessarily being caused because of two very specific sentences which need to be corrected on our Administrative Decision from a past Director. We have made sure to follow all the rules and regulations and yet we are still being denied access to our property for our homes. Could you please spare a few moments of your time to address our concerns? We would be very appreciative and I am more than willing to answer any questions you may have and provide any additional documentation you may need. Please feel free to reach out to me any day, any time.

Thank you for taking the time to address our concerns,



Destiny Platt

On Mon, Nov 20, 2023 at 8:50 AM Destiny Platt <[diesel.momma86@gmail.com](mailto:diesel.momma86@gmail.com)> wrote:

Hello Sabrina,

I hope you had a great weekend. I am following up on a voicemail I left on Friday as I thought sending everything via email might be helpful in saving some time and an in person meeting may not need to take place.

My question for you is in regards to a section on page 1 and page 2 on the Administrative Decision. I have circled and starred the ones in question in my attachment. The 3rd page is the signed letter of acknowledgement from the irrigation district and their approval conditions for us. To put it simply, the two don't match. Would you be willing to remove or modify the two statements in question on our Administrative Land Decision?

If you need more information please let me know and I will be happy to fill in any gaps and answer any questions you may have.

Thank you for taking the time to address our situation and concerns.

Destiny Platt



**UPDATED AMENDMENT TO GOODSON  
ADMINISTRATIVE LAND SPLIT  
AD2021-0060/RD2021-0021**



The following amendments are to be considered individually

- Page 1/<sup>delet</sup> following comments were received/Black Canyon. Replace the following statement of: Black Canyon Irrigation will require a crossing agreement to be in place at time of building permits applied for with the statement provided by Black Canyon Irrigation District's letter of acknowledgement with the requirements written under approval conditions.
  
- New statement to read as follows: Black Canyon Irrigation will require all irrigation easements to be retained free of obstructions and water canal to all properties.
  - OR
  
- New Statement to read as follows: A crossing agreement to be in place at time of building permits applied for.
  
- Page 2/under decision/modify statement #7) Crossing agreement with Black Canyon Irrigation must be in place prior to the issuance of any building permit(s).
  
- New statement to read as follows: Crossing agreement must be in place prior to the issuance of any building permit(s) to Parcel #4 as cited on record of survey for Goodson Family Trust.
  
- Access to Parcel #3 will no longer be from Indecision Ln, but off of Goodson Rd as it has always served both residential and agricultural use. The access to Parcel #3 from Goodson Rd has a 662 feet in length public road right-of-way as cited under Instrument # 835184, Contract # 8-07-10-L0194 between the Bureau of Reclamation and Canyon County.
  
- If Canyon County would like a road maintenance agreement to be put in place for the 662 ft, then such discussion will need to take place with the landowners of Parcel #3.





**LEGAL DESCRIPTION FOR  
GOODSON FAMILY TRUST  
25' WIDE INGRESS/EGRESS EASEMENT**

The following describes a twenty-five (25) foot wide Ingress/Egress Easement located in the North 1/2 of Section 24, Township 5 North, Range 4 West, Boise Meridian, Canyon County, Idaho. Being further described as follows:

**BASIS OF BEARING:**

**BASIS OF BEARING:**

*The East line of Section 24, Township 5 North, Range 4 West, Boise Meridian, derived from found monuments and taken as North 00°45'48" East with the distance between monuments found to be 5,304.57 feet.*

**BEGINNING** at a point on the North line of said Section 24, Township 5 North, Range 4 West, Boise Meridian from which the Northeast corner of said Section 24 bears South 89°45'58" East a distance of 2540.53 feet;

Thence South 00°53'08" West, a distance of 662.33 feet;

Thence North 89°42'33" West, to a point on the West line of the Northwest 1/4 of the Northeast 1/4 a distance of 25.00 feet;

Thence along said West line North 00°53'08" East, to a point on the North line of the Northeast 1/4 a distance of 662.31 feet;

Thence along said North line South 89°45'22" East, a distance of 25.00 feet to the **POINT OF BEGINNING**.

Said Parcel containing 16,558 square feet or 0.38 acres, more or less and is subject to all existing easements and rights-of-ways of record or implied.

**END OF DESCRIPTION.**

Kenneth H. Cook, P.L.S. 9895  
Timberline Surveying  
847 Park Centre Way, Suite 3  
Nampa, Idaho 83651  
(208) 465-5687



AD2021-0060 / RD2021-0021



2023-038015

RECORDED

11/29/2023 09:55 AM



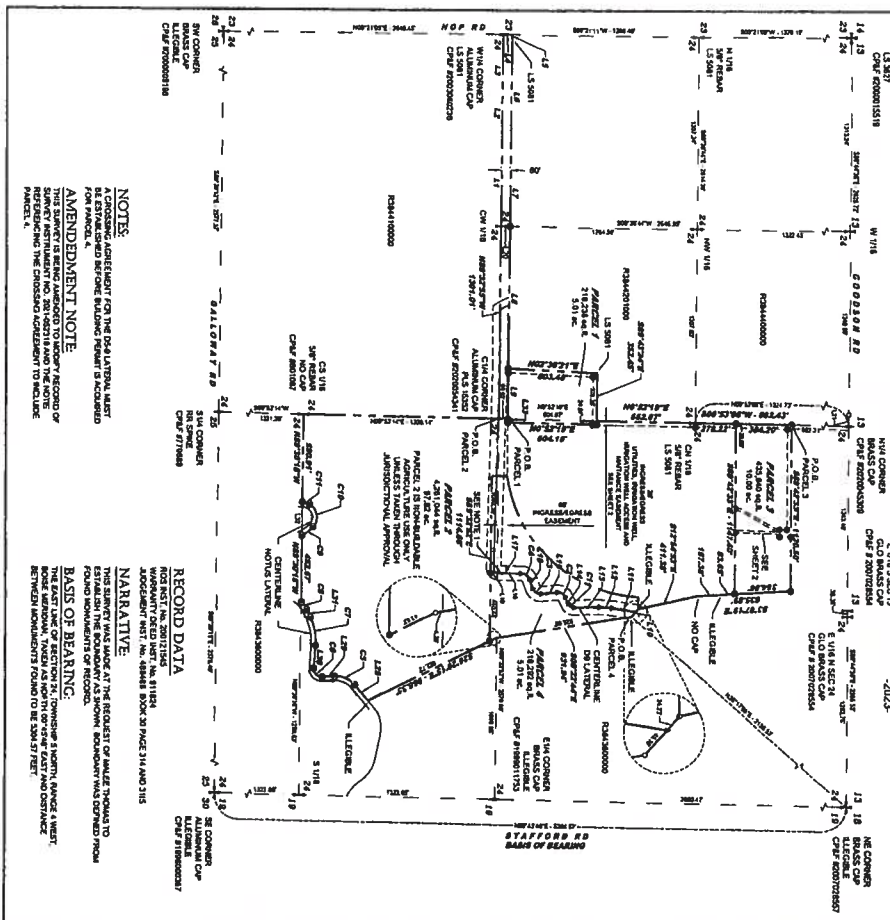
NOT OFFICIAL  
SEE ORIGINAL IN RECORDER'S  
OFFICE

CHRIS YAMAMOTO  
CANYON COUNTY RECORDER  
Pgs=2 JWINSLOW \$10.00  
SURVEY  
GOODSON FAMILY TRUST

AD 2021-0850/AD 2021-0021 Amendment Application

AMENDED RECORD OF SURVEY FOR  
GOODSON FAMILY TRUST

A PORTION OF THE SOUTH 1/2 OF THE NORTHWEST 1/4, AND THE EAST 1/2,  
OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, 5 M.,  
CANYON COUNTY, IDAHO  
2023



NOTES:  
A PROFESSIONAL RECORD FOR THE RESUBDIVISION  
OF THE LAND DESCRIBED IN THE ORIGINAL SURVEY  
FOR PARCEL 4.  
AMENDMENT NOTE:  
THIS SURVEY IS BEING AMENDED TO REFLECT RECORD OF  
REVISIONS TO THE ORIGINAL SURVEY TO INCLUDE  
PARCEL 4.

RECORD DATA  
THIS SURVEY WAS MADE AT THE REQUEST OF SAULZE THOMAS TO  
REVISIONS TO THE ORIGINAL SURVEY TO INCLUDE PARCEL 4.  
BASIS OF BEARING:  
THE EAST LINE OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST,  
RANGE 4 WEST, CANYON COUNTY, IDAHO IS BEING USED AS THE  
BASIS OF BEARING.

TRIMBERLINE SURVEYING  
117 FALLENLEAF CIRCLE, SUITE 100A, SANDOZ  
BOISE, IDAHO 83725  
PHONE: 208-451-5487 FAX: 208-451-4400  
WWW.TRIMBERLINE.SURVEYING.COM  
INDEX NO. W-3-D-0-00



CERTIFICATE  
I, CHRISTOPHER YAMAMOTO, PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF  
IDAHO, CERTIFY THAT:  
1. THIS PLAN REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY  
DIRECT SUPERVISION IN THE MANNER OF SAULZE THOMAS.  
2. THE LANDS SURVEYED IN WITHIN SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST,  
RANGE 4 WEST, AND THE SURVEY WAS COMPLETED ON NOVEMBER 23, 2023.  
3. THE MONUMENTS DEPICTED ON THE PLAN ARE OF THE CHARACTER SHOWN, AND  
OCCUPY THE POSITIONS SPECIFIED AND WERE SUFFICIENTLY MARKED AND  
CORRECTLY IDENTIFIED BY THE SURVEYOR AT THE TIME OF THE SURVEY AND  
ACTUALLY EXIST AT THE TIME OF THIS CERTIFICATE.  
DEPARTMENT CODE: PLS 1885

LEGEND  
SECTION COR. MONUMENT AS NOTED  
M COR. MONUMENT AS NOTED  
M COR. MONUMENT AS NOTED  
FOUND 1/2 REBAR AS NOTED  
FOUND 1/2 REBAR AS NOTED  
FOUND 1/2 REBAR W/ CAP AS NOTED  
SET 1/2 REBAR W/ CAP AS NOTED  
CALC POINT  
W.C.  
WITNESS CORNER  
PROPERTY CORNER  
SECTION LINE  
RIGHT OF WAY LINE  
EASEMENT LINE  
THE LINE





# Master Application

Canyon County Development Services 1115 Albany Street, Caldwell, ID 83605.

www.canyoncounties.org Phone 208-454-7458 fax 208-454-6633

**Owner(s) information:**  
 Name: Edward M. Goodson Address: 22670 Goodson Rd.  
 Telephone: 208-713-2072 Fax: \_\_\_\_\_ Email: maleepaul6761@gmail.com  
 City: Pema State: ID Zip: 83660  
 Signature: (Owners) \_\_\_\_\_ Date \_\_\_\_\_  
 I consent to this application and agree to allow DSD Staff / Commissioners to enter the property for site inspections. If owner(s) are a business entity, please include business documents, including those that indicate the person(s) who is eligible to sign.

**Applicant: Representative / Business Name:**  
 Name: Malee Thomas **Additional Contact if applicable: Business Name:** \_\_\_\_\_  
 Address: 1914 Cralloway Rd. Name: \_\_\_\_\_  
 City: Caldwell State: ID Zip: 83607 Address: \_\_\_\_\_  
 Telephone: 208-713-2072 Fax: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Email: maleepaul6761@gmail.com Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 I certify this information is correct to the best of my knowledge. **Engineer / Surveyor if applicable: Business Name:** \_\_\_\_\_  
 Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Address: \_\_\_\_\_ Fax: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Email: \_\_\_\_\_

Signature: (Applicant) \_\_\_\_\_ Date \_\_\_\_\_

**Site Information:** Address: \_\_\_\_\_ Total Acreage: 117.84

Tax Parcel Number(s): 20-392- R38437

Quarter Section: NW Section: 24 Township: 5N Range: 4W Zoning: \_\_\_\_\_

Area of Impact: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_

**Check application type:**

- Administrative Applications**
- Assisted Care Facility
  - Bed and Breakfast
  - Day Care Facility
  - Reduction Frontage, Easement, Road Lot
  - Floodplain Development
  - Home Business  New Application  Renewal
  - Land Division Administrative
  - Mineral Extraction short term
  - Public Service Agency Telecom >75'
  - Parcel Inquiry
  - Property Boundary Adjustment
  - Quasi-Public Use
  - Sign
  - Temporary Use  New Application  Renewal
  - Utility Facility
  - Variance up to 33%
  - Wind Energy System Small
  - Zoning Compliance Certificate

*\*see 2nd pg for Plat RD.*

- Hearing Level Applications**
- Appeal
  - Comprehensive Plan Change  Text  Map
  - Conditional Use
  - Road Name Change
  - Time Extension
  - Variance
  - Zoning Ordinance Amendment  Map  Text

- Subdivision Applications**
- Final Plat
  - Short Plat
  - Preliminary Plat
  - Plat Amendment or Minor Replat
  - Simple Changes to a Plat
  - Vacation of Plat, Lot, Road, Easement

|                         |                            |                                 |                      |                  |                  |
|-------------------------|----------------------------|---------------------------------|----------------------|------------------|------------------|
| <b>Office Use Only:</b> | Case #: <u>402021-0060</u> | Received by: <u>[Signature]</u> | Date: <u>3-30-21</u> | Fees: <u>400</u> | Receipt #: _____ |
|                         | <u>RD2021-0021</u>         |                                 |                      |                  |                  |



# MASTER APPLICATION

CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

www.canyonco.org/dsd.aspx Phone: 208-454-7458 Fax: 208-454-6633



|                       |                                                  |
|-----------------------|--------------------------------------------------|
| <b>PROPERTY OWNER</b> | OWNER NAME:                                      |
|                       | MAILING ADDRESS:                                 |
|                       | PHONE: <span style="float: right;">EMAIL:</span> |

I consent to this application and allow DSD staff / Commissioners to enter the property for site inspections. If owner(s) are a business entity, please include business documents, including those that indicate the person(s) who are eligible to sign.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

|                                                       |                                                  |
|-------------------------------------------------------|--------------------------------------------------|
| <b>(AGENT)<br/>ARCHITECT<br/>ENGINEER<br/>BUILDER</b> | CONTACT NAME:                                    |
|                                                       | COMPANY NAME:                                    |
|                                                       | MAILING ADDRESS:                                 |
|                                                       | PHONE: <span style="float: right;">EMAIL:</span> |

|                  |                                                                                                                                                               |
|------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>SITE INFO</b> | STREET ADDRESS:                                                                                                                                               |
|                  | PARCEL #: <span style="float: right;">LOT SIZE/AREA:</span>                                                                                                   |
|                  | LOT: <span style="margin-left: 50px;">BLOCK:</span> <span style="margin-left: 100px;">SUBDIVISION:</span>                                                     |
|                  | QUARTER: <span style="margin-left: 100px;">SECTION:</span> <span style="margin-left: 100px;">TOWNSHIP:</span> <span style="margin-left: 100px;">RANGE:</span> |
|                  | ZONING DISTRICT: <span style="float: right;">FLOODZONE (YES/NO):</span>                                                                                       |

|                                   |                                                    |                                                       |                                                 |
|-----------------------------------|----------------------------------------------------|-------------------------------------------------------|-------------------------------------------------|
| <b>HEARING<br/>LEVEL<br/>APPS</b> | <input type="checkbox"/> CONDITIONAL USE           | <input type="checkbox"/> COMP PLAN AMENDMENT          | <input type="checkbox"/> CONDITIONAL REZONE     |
|                                   | <input type="checkbox"/> ZONING AMENDMENT (REZONE) | <input type="checkbox"/> DEV. AGREEMENT MODIFICATION  | <input type="checkbox"/> VARIANCE > 33%         |
|                                   | <input type="checkbox"/> MINOR REPLAT              | <input type="checkbox"/> VACATION                     | <input type="checkbox"/> APPEAL                 |
|                                   | <input type="checkbox"/> SHORT PLAT SUBDIVISION    | <input type="checkbox"/> PRELIMINARY PLAT SUBDIVISION | <input type="checkbox"/> FINAL PLAT SUBDIVISION |

|                                        |                                                       |                                             |                                         |
|----------------------------------------|-------------------------------------------------------|---------------------------------------------|-----------------------------------------|
| <b>DIRECTORS<br/>DECISION<br/>APPS</b> | <input type="checkbox"/> ADMINISTRATIVE LAND DIVISION | <input type="checkbox"/> EASEMENT REDUCTION | <input type="checkbox"/> SIGN PERMIT    |
|                                        | <input type="checkbox"/> PROPERTY BOUNDARY ADJUSTMENT | <input type="checkbox"/> HOME BUSINESS      | <input type="checkbox"/> VARIANCE 33% > |
|                                        | <input checked="" type="checkbox"/> PRIVATE ROAD NAME | <input type="checkbox"/> TEMPORARY USE      | <input type="checkbox"/> DAY CARE       |
|                                        | <input type="checkbox"/> OTHER _____                  |                                             |                                         |

|                                 |                                             |
|---------------------------------|---------------------------------------------|
| CASE NUMBER: <b>RD2021-0021</b> | DATE RECEIVED:                              |
| RECEIVED BY:                    | APPLICATION FEE: <b>80.00</b> CK MO CC CASH |



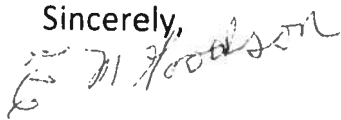


March 29, 2021

Canyon County Development Services  
1115 Albany St. Caldwell, ID 83605

This is a request to perform an administrative split on the property I own located in section 24 of T5N R4W of the Boise Meridian. I have owned and farmed this section of land since 1981. I wish to take the approved 3 splits provided by Canyon County Development Services of my 117.84 acre parcel to create 3 potential building lots. The remainder acreage would continue to be agricultural. Public access for proposed parcels 1 and 4 would be from Hop Rd. on the 60 ft. road owned by me and used for access to the agricultural property. Access to parcel 3 would be from the existing county road that borders the west side of the Bureau of Reclamation property, north of my parcel and is accessed from Goodson Rd. I have included the private road maintenance agreement, dated March 23, 2021, that provides details for building and maintaining the roads to the proposed parcels. Farm access to parcel 2 would remain as it is currently, which is both Hop Rd. and Goodson Rd. Please refer to Record of Survey for Goodson, Exhibit "A" map for proposed parcel locations. It is my wish to use the proposed parcels to minimize the impact to the farm and yet provide area for building lots.

Sincerely,

A handwritten signature in black ink that reads "Edward M. Goodson". The signature is written in a cursive style and is positioned to the right of the word "Sincerely,".

Edward M. Goodson



April 22, 2021

RE: Goodson Administrative Split

I am asking for a road easement reduction from 60' to 28' for the proposed road "Indicision Lane". This proposed road will travel west to east and will be used to maintain the agricultural irrigation well/water lines and provide access to a private residence. By locating this road on the most northern border of my property, my attempt is to minimize the impact on the availability of farmable acres. There is a center pivot irrigation system installed on this land and reducing the road width would allow this system to function without modification or redesign.

Sincerely,

A handwritten signature in cursive script, appearing to read "E.M. Goodson".

E.M. Goodson



# PRIVATE ROAD MAINTENANCE AGREEMENT

This agreement is for the construction, repair and maintenance of the private lane/lanes and easement identified in Exhibit "A" attached hereto and is entered into with the current landowners and will apply to all future lot owners and their heirs, successors and assigns and will bind and ensure to the benefit of each parcel for ingress/egress access. No construction of the private road and easement shall occur or be required until such time that any lot owner obtains a residential building permit to improve a lot. As any lot owner/owners proceed with obtaining a building permit, that lot owner will be required to improve and construct the easement road to access their lot. Parcel 2 has agricultural access and shall not be restricted.

It is the mutual desire of all parties to maintain the private road easement in a safe and usable for all weather conditions by all current and future lot owners. The private roads must be maintained for the safe passage of emergency vehicles, first responders and any civil authorities that require access on the private road and cannot be gated or otherwise restrict access by adjoining lot owners.

The cost of maintaining and repairing the private lane/lanes easement will be shared by all lot owners for their pro-rata share and shall apply to the full length and width of the private road easement, related drainage culverts and irrigation lateral crossings. In the event the identified parcels are subdivided further, any additional lot owners accessing the private road/easement shall be responsible for their pro-rata share of all costs pertaining to the road maintenance, repairs and construction.

It is understood that the landowners with residential occupancy will act as agents to contract and oversee the acts necessary to accomplish the maintenance and repairs required. Decisions to authorize maintenance and repairs shall be made by majority of the lot owners.

In witness whereof, the parties have executed this agreement on this 26<sup>th</sup> day of July, 2021.

This agreement shall be governed by the laws of the State of Idaho.

Edward M. Goodson  
Edward M. Goodson

Joyce M. Goodson  
Joyce M. Goodson

STATE OF IDAHO            )  
                                          ):SS  
County of Canyon        )

On this 26<sup>th</sup> day of July, 2021, before me, a Notary Public, personally appeared Edward M. Goodson and Joyce M. Goodson, husband and wife, known or identified to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same.

*Attached in new recording*

# 2021-052157

~~2021-051180~~

RECORDED

07/21/2021 03:56 PM



00632336202100511800010018

CHRIS YAMAMOTO

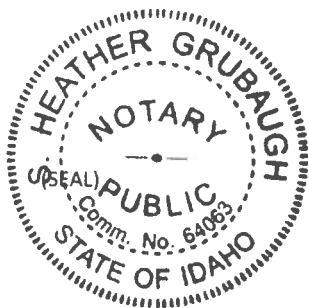
CANYON COUNTY RECORDER

Pgs=1 HCRETAL

\$10.00

AGR

PAUL THOMAS



Heather Grubaugh  
Notary Public for Idaho  
My Commission Expires: 3/11/26



**PRIVATE ROAD NAME APPLICATION**  
CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT  
111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605  
WWW.CANYONCO.ORG/DEV.SERVS Phone: 208-454-7458 Fax: 208-454-6633



Addressing Ordinance 0220-06-05-0929J & 06-05-11J, 3I. All street names shall be approved by the Director within the unincorporated area of the County designated for addressing by the County. The right to use a street or private road name, its accompanying street designation and right to install a sign for a street, proposed street and private road names for new subdivisions, proposed new private roads.

Applicant(s): Edward M. Goodson Phone: 208-713-2092  
Please Print Name

2267D Goodson Rd Payson ID 83410  
Current Street Address City/State Zip

Location of Private Road: Hop / Goodson  
Two Nearest Cross Streets

Parcel Number of owner requesting private road name: R384137

The following must be provided as part of this application:

1. A dimensioned sketch showing the location, configuration and length of the private road.
2. A typewritten or printed list of names and addresses of all persons having a legal right to use the road. (They must sign below.)
3. A list containing a minimum of three proposed road names in preferential order, i.e. first choice as number one, etc.
  - a. First Choice: SUNSHINE LA ME
  - b. Second Choice: HOMESTEAD LA ME
  - c. Third Choice: INDEPENDENCE LA ME
4. If project requires multiple road names provide road names use this section. Mark on sketch which road names belongs to each road segment. If more than three road names are needed, please write them on a separate piece of paper.
  - a. First road name : \_\_\_\_\_
  - b. Second road name: \_\_\_\_\_
  - c. Third road name: \_\_\_\_\_

NOTE: Words that are difficult to spell or pronounce are generally prohibited. The Director may reject a street name if the street name is found to be vulgar, rude or offensive. Private road names cannot be first, last names, or initials. Proposed road names cannot use words, sound alike or similar spelling from an existing road name. If the parties who have the legal right to utilize the road cannot agree on a name, Development Services Department will take suggestions from all parties and make the final decision and approval. (9-06-05-14(13)). Please note that The County makes every effort to notify public and private agencies of new address, address changes or new private roads. The County cannot guarantee the agencies will update their records to reflect this new address, address change or new private road. It is suggested that you make "Suggestion Edits" on Google Maps to update your new private road and new addresses.

APP2021-00660 / RD2021-0021





We, the undersigned, declare that we are owners of all or portions of the land upon which the private road lies or have legal right of ingress and egress upon said road. We understand that we are responsible for the purchasing of a blue private road sign of a design approved by the Board of County Commissioners, and installed in accordance with the most current edition of the Manual Of Uniform Traffic Control Devices, such installation to be inspected and approved by the County Engineer. We further understand that our address will change as a result of naming this private road.

Signed: E.M. Spredator Date: 7/29/21  
Primary Applicant/Property Owner Application Date

Signed: \_\_\_\_\_ Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Applicant/Property Owner

Signed: \_\_\_\_\_ Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Applicant/Property Owner

Signed: \_\_\_\_\_ Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Applicant/Property Owner

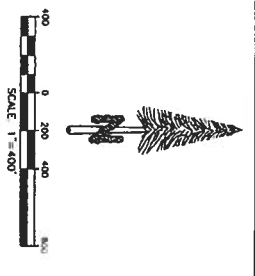
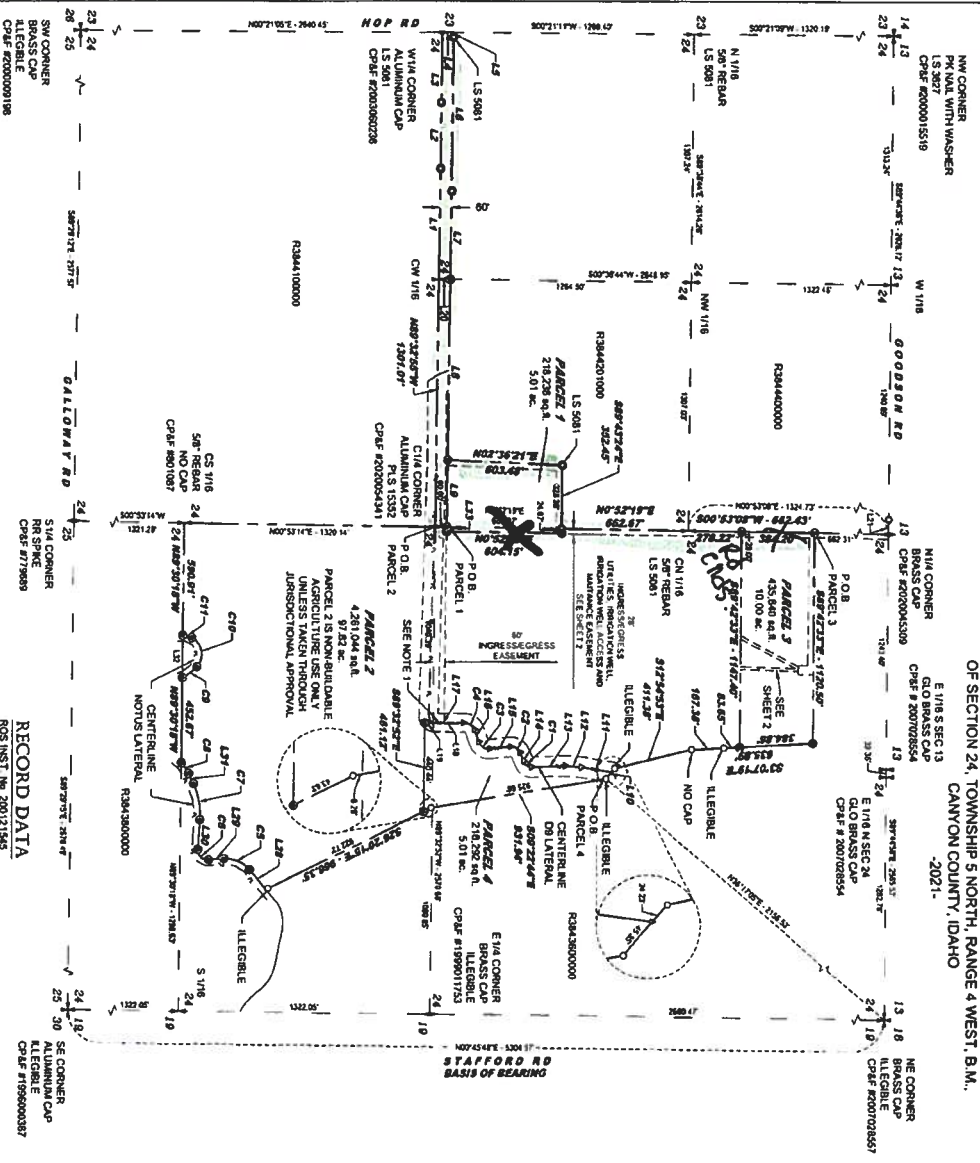
Accepted By: [Signature] Date: 7.30.21  
Director/Staff Signature Application Accepted

Office Use Only: Case #: \_\_\_\_\_ Received by: \_\_\_\_\_ Date: \_\_\_\_\_ Fees: \_\_\_\_\_ Receipt #: \_\_\_\_\_  
Revised 11/20/2020



# RECORD OF SURVEY FOR GOODSON FAMILY TRUST

A PORTION OF THE SOUTH 1/2 OF THE NORTHWEST 1/4, AND THE EAST 1/2  
OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, B.M.,  
CANYON COUNTY, IDAHO  
-2021-



### LEGEND

- SECTION CORNER AS NOTED
- 1/4 COR MONUMENT AS NOTED
- 1/8 COR MONUMENT AS NOTED
- FOUND 1/2 REBAR AS NOTED
- FOUND 5/8 REBAR AS NOTED
- FOUND IRON PIPE
- SET 1/2 REBAR W/ CAP "KHC PLS 9885"
- SET 5/8 REBAR W/ CAP "KHC PLS 9885"
- CALC POINT
- POINT OF BEGINNING
- WITNESS CORNER
- ADJOURN LINE
- BOUNDARY LINE
- SECTION LINE
- RIGHT OF WAY LINE
- EASEMENT LINE
- THE LINE

### CERTIFICATE

1. KENNETH COOK, A PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO CERTIFY THAT  
 1 THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF MALEE THOMAS  
 2 THE LANDS SURVEYED LIE WITHIN SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, BOSE MERIDIAN, AND THE SURVEY WAS COMPLETED ON APRIL 20, 2021  
 3 THE MONUMENTS DEPICTED ON THE PLAT ARE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED AND ARE OF SUFFICIENT NUMBER AND DISTRIBUTION AND IS IN ACCORDANCE WITH THE CORNER PERPETUATION AND PLACING ACT OF THE STATE OF IDAHO CODE SS-1801 THROUGH SS-1812

P. L. S. 00036  
KENNETH COOK

**NOTES:**  
 A CROSSING AGREEMENT FOR THE RELAYERS MUST BE ESTABLISHED BEFORE BUILDING PERMIT IS ACQUIRED

**RECORD DATA**  
 ROS INST. NO. 20012154  
 WARRANTY DEED INST. NO. 91184  
 JUDGEMENT INST. NO. 48448 BOOK 30 PAGE 314 AND 315

**NARRATIVE:**  
 THIS SURVEY WAS MADE AT THE REQUEST OF MALEE THOMAS TO ESTABLISH THE BOUNDARY AS SHOWN. BOUNDARY WAS DERIVED FROM FOUND MONUMENTS OF RECORD.

**BASIS OF BEARING:**  
 THE EAST LINE OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, BOSE MERIDIAN, TAKEN AS NORTH 80°54'48" EAST AND DISTANCE BETWEEN MONUMENTS FOUND TO BE 5004.57 FEET

**TIMBERLINE SURVEYING**

607 PARK CENTRAL WAY, SUITE 1, NAHVA, IDAHO 83426  
 P: 208-465-5800 ~ F: 208-465-5500  
 www.timberlinesurveying.com

DISCLAIMER  
 Timberline Surveying assumes no responsibility for any omissions or errors appearing on this plat. Any ordinance to which building permits or the like apply shall be observed.

JOB NO. 20201  
 SHEET 1 OF 3



**LEGAL DESCRIPTION FOR  
GOODSON FAMILY TRUST  
28' WIDE INGRESS/EGRESS, UTILITIES, IRRIGATION WELL, AND IRRIGATION  
WELL ACCESS AND MAINTENANCE EASEMENT**

The following describes a twenty-eight (28) foot wide Ingress/Egress, Utilities, Irrigation Well, a And Irrigation Well Access And Maintenance Easement located in the North 1/2 of Section 24, Township 5 North, Range 4 West, Boise Meridian, Canyon County, Idaho. Being further described as follows:

**BASIS OF BEARING:**

*The East line of Section 24, Township 5 North, Range 4 West, Boise Meridian, derived from found monuments and taken as North 00°45'48" East with the distance between monuments found to be 5,304.57 feet.*

**BEGINNING** at a point from which the Northeast Corner of said Section 24, Township 5 North, Range 4 West, Boise Meridian bears North 70°15'16" East a distance of 1,938.26 feet;

Thence South 00°17'27" West, a distance of 78.00 feet;

Thence North 89°42'33" West, a distance of 50.00 feet;

Thence North 00°17'27" East, a distance of 50.00 feet;

Thence North 89°42'33" West, a distance of 673.75 feet;

Thence North 89°42'33" West, a distance of 673.75 feet;

Thence South 00°53'08" West, a distance of 634.71 feet;

Thence South 00°52'19" West, a distance of 690.38 feet;

Thence North 89°43'24" West, a distance of 329.21 feet;

Thence South 02°36'21" West, a distance of 575.54 feet;

Thence North 89°32'55" West, a distance of 28.02 feet;

Thence North 02°36'21" East, a distance of 603.48 feet;

Thence South 89°43'24" East, to a point on the West line of the Southwest 1/4 of the Northeast 1/4 of said Section 24, a distance of 328.38 feet;

Thence along said West line, North 00°52'19" East, to the Center North 1/16 Corner of said Section 24, a distance of 662.67 feet;



CONTINUE DESCRIPTION FOR  
GOODSON FAMILY TRUST  
28' WIDE WELL ACCESS AND MAINTENANCE EASEMENT

Thence leaving said Center North 1/16 Corner and along the West line of the Northwest 1/4 of the Northeast 1/4 of said Section 24, North 00°53'08" East, a distance of 662.42 feet;

Thence leaving said West line, South 89°42'33" East, a distance of 751.46 feet to the **POINT OF BEGINNING.**

Said Parcel containing 85,968 square feet or 1.97 acres, more or less and is subject to all existing easements and rights-of-ways of record or implied.

END OF DESCRIPTION.

Kenneth H. Cook, P.L.S. 9895  
Timberline Surveying  
847 Park Centre Way, Suite 3  
Nampa, Idaho 83651  
(208) 465-5687







# RECORD OF SURVEY FOR GOODSON FAMILY TRUST

A PORTION OF THE SOUTH 1/2 OF THE NORTHWEST 1/4, AND THE EAST 1/2,  
OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, B.M.,  
CANYON COUNTY, IDAHO

NW CORNER  
W/4 WITH WASHER  
LS 5081  
CP&F #2000015519

W/1/8  
S/4 PART 2/4 N  
S/4 PART 2/4 N

N/4 CORNER  
BRASS CAP  
CP&F #2000043309

E 1/16 S SEC 13  
GLO BRASS CAP  
CP&F #7007028054

NE CORNER  
BRASS CAP  
ILLEGIBLE  
CP&F #2000708557

N/4 CORNER  
BRASS CAP  
CP&F #2000708557

F 1/16 N SEC 24  
GLO BRASS CAP  
CP&F #2007028574

N/4 CORNER  
BRASS CAP  
CP&F #2000043309

N/4 CORNER  
BRASS CAP  
CP&F #2000043309

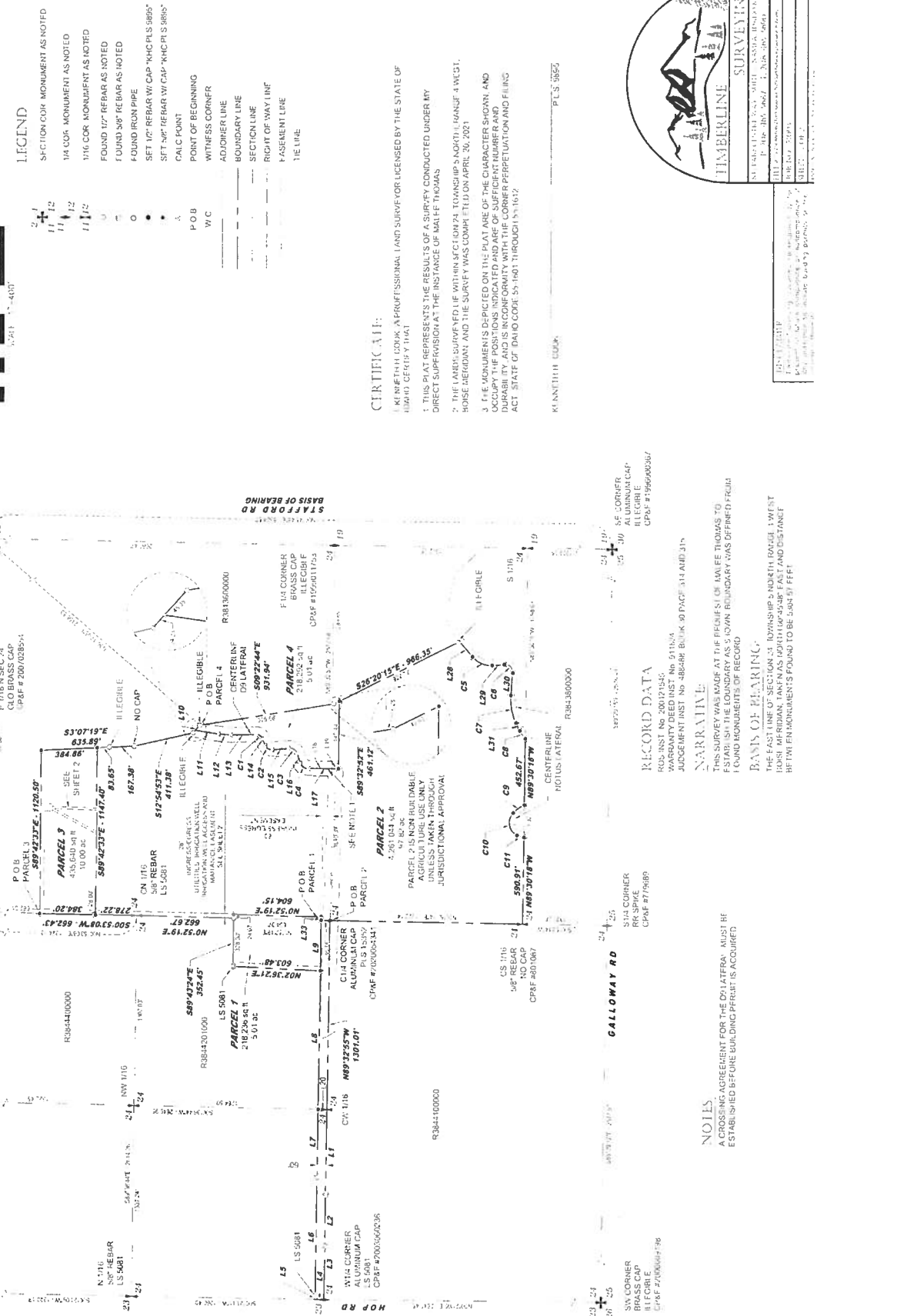
N/4 CORNER  
BRASS CAP  
CP&F #2000043309

N/4 CORNER  
BRASS CAP  
CP&F #2000043309

N/4 CORNER  
BRASS CAP  
CP&F #2000043309

N/4 CORNER  
BRASS CAP  
CP&F #2000043309

N/4 CORNER  
BRASS CAP  
CP&F #2000043309



### LEGEND

- SECTION CORNER MONUMENT AS NOTED
- 1/4 COR. MONUMENT AS NOTED
- 1/16 COR. MONUMENT AS NOTED
- FOUND 1/2" REBAR AS NOTED
- FOUND 3/8" REBAR AS NOTED
- FOUND IRON PIPE
- SET 1/2" REBAR W/ CAP - "KHC PLS 5895"
- SET 3/8" REBAR W/ CAP - "KHC PLS 5895"
- CALC POINT
- POINT OF BEGINNING
- WITNESS CORNER
- ADJOINER LINE
- BOUNDARY LINE
- SECTION LINE
- RIGHT OF WAY LINE
- EASEMENT LINE
- THE LINE

### CERTIFICATE:

1. KENNETH EDGAR, A PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO CERTIFY THAT
2. THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF MAILE THOMAS
3. THE LANDS SURVEYED, IF WITHIN SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, RANGE 4 WEST, AND THE SURVEY WAS COMPLETED ON APRIL 30, 2021
4. THE MONUMENTS DEPICTED ON THIS PLAT ARE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED AND ARE OF SUFFICIENT NUMBER AND DURABILITY, AND IS IN CONFORMITY WITH THE CORNER PERPETUATION AND FILING ACT, STATE OF IDAHO CODE §§ 1801 THROUGH 1817-162

KENNETH EDGAR  
PLS 5955



HAMELINE SURVEYING  
1100 S. 1000 E. SUITE 100  
BOISE, IDAHO 83706  
PHONE: 208.333.6667  
FAX: 208.333.6668  
WWW.HAMELINE.SURVEYING.COM

### RECORD DATA

WARRANTY DEED INST. NO. 5112134  
JUDGEMENT INST. NO. 484381, BULK # 90 PACF 314 AND 317

### NARRATIVE

THIS SURVEY WAS MADE AT THE REQUEST OF MAILE THOMAS TO ESTABLISH THE BOUNDARY AS SHOWN BOUNDARY WAS DERIVED FROM FOUND MONUMENTS OF RECORD

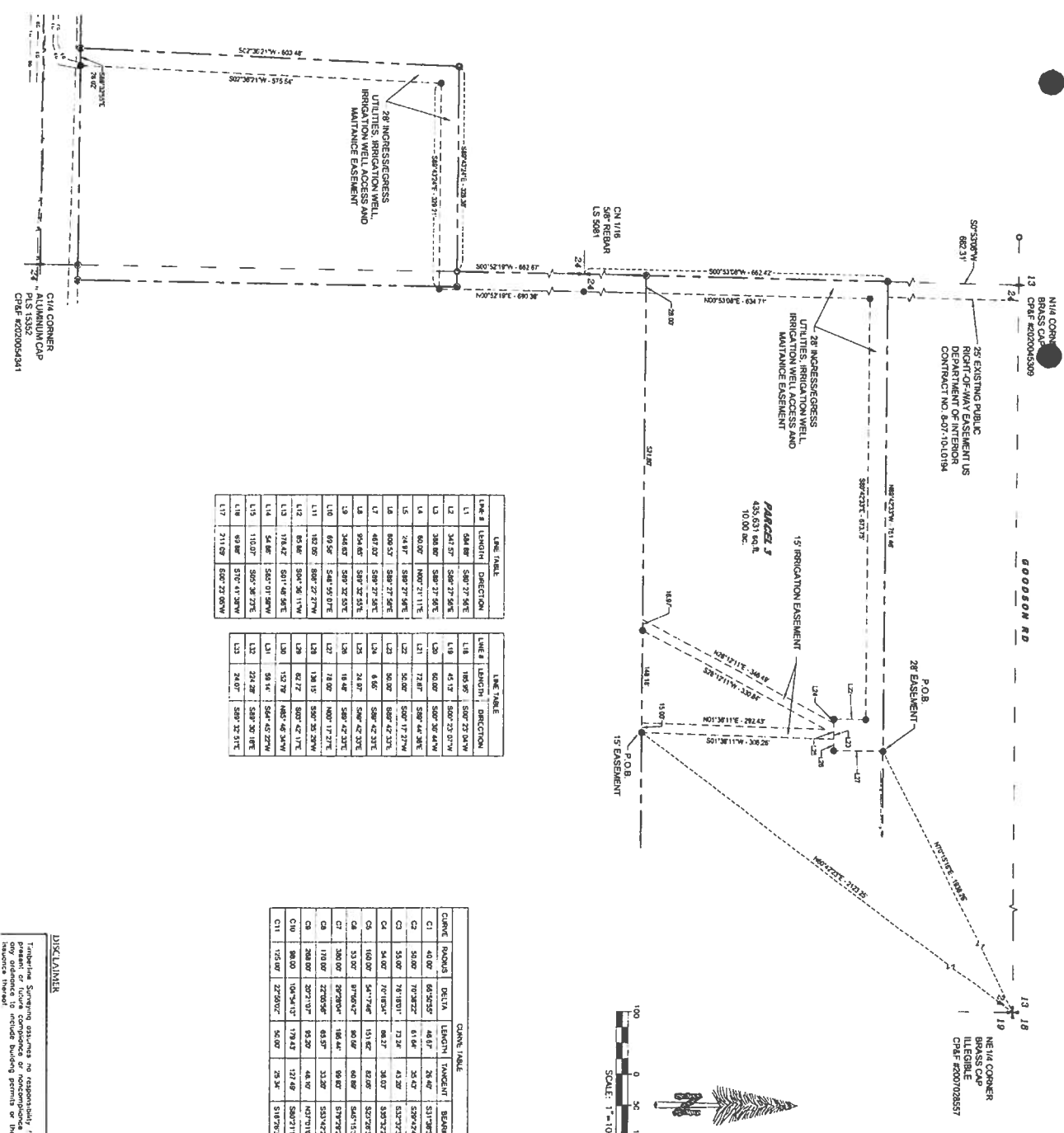
### NOTES

A CROSSING AGREEMENT FOR THE GALLOWAY ROAD MUST BE ESTABLISHED BEFORE BUILDING PERMIT IS ACQUIRED.

THE EAST LINE OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, IDAHO MERIDIAN, TANGENS POINT 101°45'48" EAST AND DISTANCE BETWEEN MONUMENTS FOUND TO BE 504.97 FEET.

IDENTIFICATION  
Plat No. 2021-001  
Section 24, Township 5 North, Range 4 West, B.M., Canyon County, Idaho  
Date of Survey: April 30, 2021  
Sheet: 1 of 1





**LINE TABLE**

| LINE # | LENGTH | DIRECTION   |
|--------|--------|-------------|
| L1     | 644.87 | S89°27'56"E |
| L2     | 341.27 | S89°27'56"E |
| L3     | 308.87 | S89°27'56"E |
| L4     | 80.00  | S89°27'56"E |
| L5     | 22.87  | S89°27'56"E |
| L6     | 608.52 | S89°27'56"E |
| L7     | 467.02 | S89°27'56"E |
| L8     | 956.67 | S89°27'56"E |
| L9     | 346.87 | S89°27'56"E |
| L10    | 693.74 | S89°27'56"E |
| L11    | 102.00 | S89°27'56"E |
| L12    | 69.88  | S89°27'56"E |
| L13    | 118.42 | S89°27'56"E |
| L14    | 54.88  | S89°27'56"E |
| L15    | 115.07 | S89°27'56"E |
| L16    | 49.88  | S89°27'56"E |
| L17    | 211.07 | S89°27'56"E |

**LINE TABLE**

| LINE # | LENGTH | DIRECTION   |
|--------|--------|-------------|
| L18    | 785.97 | S00°23'51"W |
| L19    | 43.17  | S00°23'51"W |
| L20    | 60.00  | S00°23'51"W |
| L21    | 72.67  | S00°23'51"W |
| L22    | 30.00  | S00°23'51"W |
| L23    | 50.00  | S00°23'51"W |
| L24    | 6.66   | S00°23'51"W |
| L25    | 24.87  | S00°23'51"W |
| L26    | 18.48  | S00°23'51"W |
| L27    | 138.15 | S00°23'51"W |
| L28    | 62.72  | S00°23'51"W |
| L29    | 82.72  | S00°23'51"W |
| L30    | 152.78 | S00°23'51"W |
| L31    | 91.14  | S00°23'51"W |
| L32    | 224.28 | S00°23'51"W |
| L33    | 24.07  | S00°23'51"W |

**CURVE TABLE**

| CURVE | CHORDS | DEG:1/4   | LENGTH | TANGENT | BEARING     | CHORD  |
|-------|--------|-----------|--------|---------|-------------|--------|
| C1    | 41.00  | 65.5055   | 48.97  | 28.40   | S31°28'29"W | 44.07  |
| C2    | 50.00  | 70.8222   | 61.64  | 35.42   | S29°42'29"W | 51.61  |
| C3    | 55.00  | 74.1831   | 72.24  | 43.20   | S27°32'31"W | 61.85  |
| C4    | 54.00  | 74.1831   | 68.37  | 38.07   | S27°32'31"W | 62.18  |
| C5    | 160.00 | 54.1748   | 151.62 | 82.05   | S27°28'31"W | 168.01 |
| C6    | 53.00  | 67.9642   | 60.48  | 46.80   | S45°15'31"W | 73.85  |
| C7    | 300.00 | 27°28'04" | 186.44 | 69.80   | S79°28'24"W | 191.72 |
| C8    | 118.00 | 29°13'37" | 63.20  | 48.40   | S47°10'36"W | 61.16  |
| C9    | 208.00 | 12°54'13" | 178.42 | 127.49  | S82°21'14"W | 153.47 |
| C10   | 88.00  | 12°54'13" | 178.42 | 127.49  | S82°21'14"W | 153.47 |
| C11   | 145.00 | 22°26'02" | 54.00  | 25.34   | S18°29'31"W | 49.88  |

**DISCLAIMER**

Timberline Surveying assumes no responsibility for any reliance to be placed on this plat without the presence of the original plat and the original survey data.

**TIMBERLINE SURVEYING**

107 PARKVIEW DRIVE, SUITE 1, MANA, INDIANAPOLIS, IN 46204  
 P: 308-465-5687 • F: 308-465-5690  
 FILED IN 2020-08-10  
 JOB NO. 2100  
 SHEET 2 OF 2  
 INDEX IN 51-34-0-0-100



**APPROVAL FOR PRIVATE ROAD NAME**

**CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT**

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

[www.canyonco.org/dsd.aspx](http://www.canyonco.org/dsd.aspx) Phone: 208-454-7458 Fax: 208-454-6633



**Addressing Ordinance § 06-05-09(2B) & 06-05-11(1, 3):** All street names shall be approved by the Director within the unincorporated area of the County designated for addressing by the County. The right to use a street or private road name, its accompanying street designation and right to install a sign for a street. Proposed street and private road names for new subdivisions, proposed new private roads.

Applicants(s): Edward M. Goodson Date: 7/28/2021

22670 Goodson Rd Parma, ID 83660  
Current Street Address City/State Zip

Location of Private Road: Hop Rd & Goodson Rd

Two Nearest Cross Streets of Property Site Address

**YOUR APPLICATION FOR A PRIVATE ROAD NAME HAS BEEN APPROVED FOR THE NAME:**

Indecision Ln

Case No. RD2021-0060/ Rd2021-0021

The following addresses will be changed accordingly because of the new Private Road Name:

Old Address:

New Address:

0 Hop Rd (R38437)

Indecision Ln (R38437)

Road name approved by:

Date: 7/28/2021

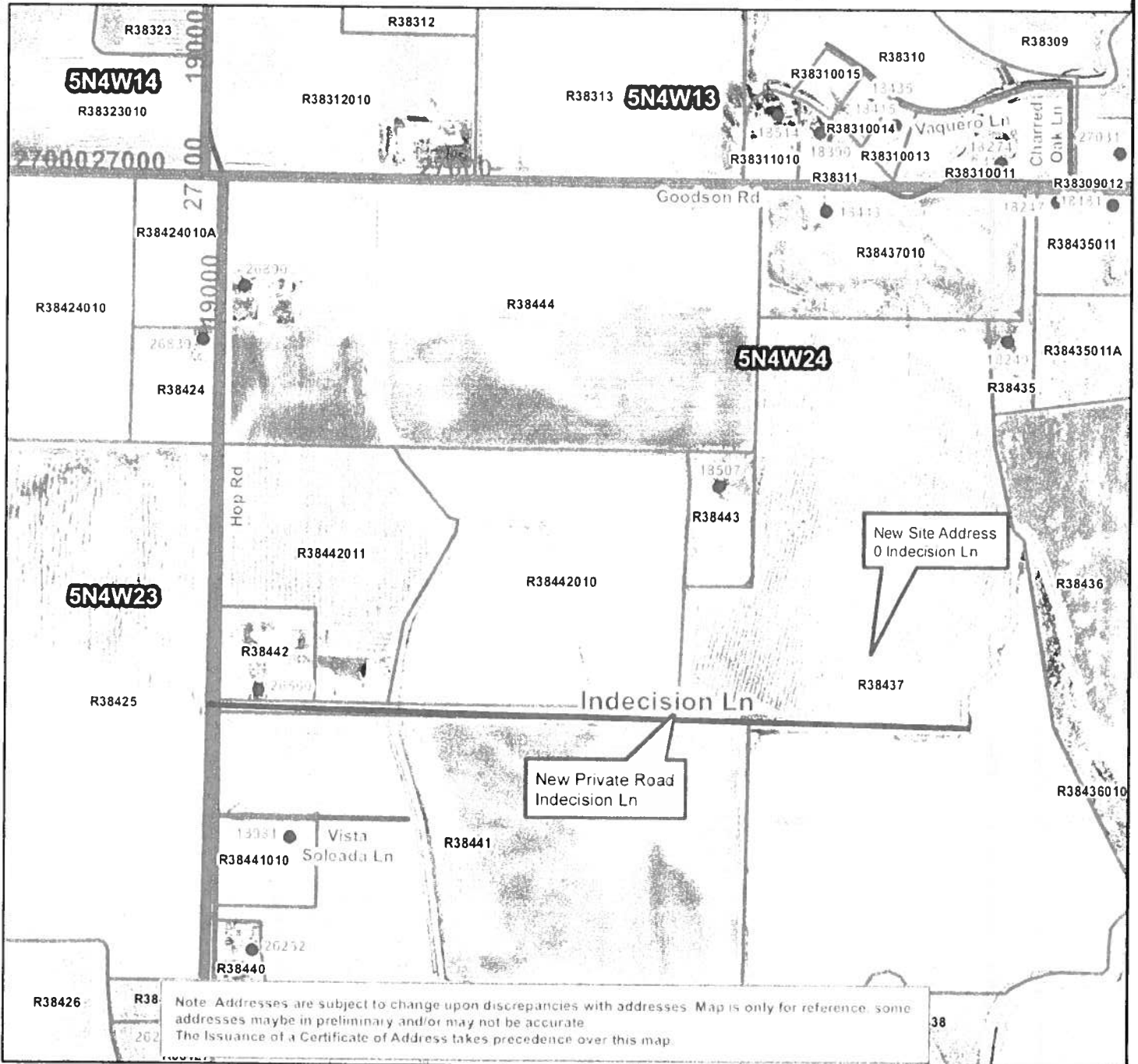
The Applicant is responsible for the purchasing of a blue private road sign that meets highway district specifications, and installed according to highway district requirements. Please note that The County makes every effort to notify public and private agencies of new address, address changes or new private roads. The County cannot guarantee the agencies will update their records to reflect this new address, address change or new private road. It is suggested that you make "Suggestion Edits" on Google Maps to update your new private road and new addresses.



# ADDRESSING MAP

Map Contains:  
 Property Identification Map  
 Property Site Address  
 Canyon County, ID

Canyon County  
 Development Services  
 111 North 11th Ave. #140  
 Caldwell, ID 83605  
 Address Issued By TAlmeida  
 Date 7/28/2021



Note: Addresses are subject to change upon discrepancies with addresses. Map is only for reference, some addresses maybe in preliminary and/or may not be accurate. The issuance of a Certificate of Address takes precedence over this map.



### Legend

- Address Point
- Retired Address Point
- Caldwell
- Highway
- City Limits
- Interstate
- Nampa
- Roads

### SCALE

1 in = 680 feet  
 1 8 165

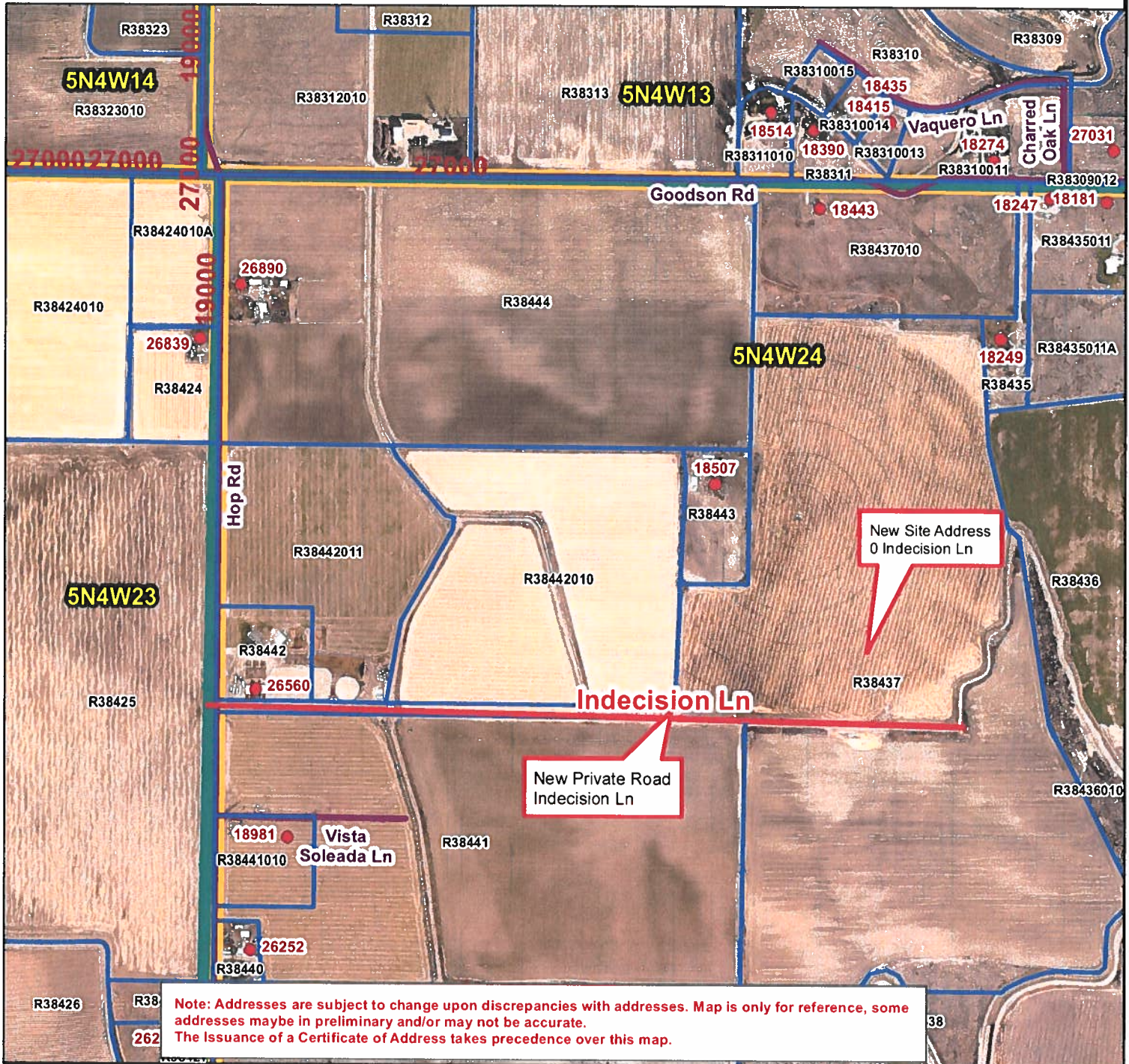




# ADDRESSING MAP

Map Contains:  
 Property Identification Map  
 Property Site Address  
 Canyon County, ID

Canyon County  
 Development Services  
 111 North 11th Ave, #140  
 Caldwell, ID 83605  
 Address Issued By: TAlmeida  
 Date: 7/28/2021



## Legend

- Address Point
- Retired Address Point
- Caldwell
- City Limits
- Nampa
- Highway
- Interstate
- Roads

## SCALE

1 in = 680 feet

1:8,165

The maps are provided "as-is" with no warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for the intended purpose for use rests solely on the user accessing this information. Canyon County, ID makes no warranties, express or implied, as to the use of the maps. There are no implied warranties of merchantability or fitness for a particular purpose. The user acknowledges and accepts all inherent limitations of the maps, including the fact that the maps are dynamic and in a constant state of maintenance, correction and revision. The maps do not represent a survey. Neither Canyon County, ID nor its officers and employees assume any liability for the accuracy of the data as presented on any map. In no event shall the Canyon County, ID or its officers or employees be liable for any damages arising in any way out of the use of this information.



**EMERGENCY VEHICLE ACCESS TO PLATT PROPERTY**

To Whom It May Concern,

I, Alan Perry, have reviewed and determined that the existing 25 foot Public Right of Way Easement granted to Canyon County from the Bureau of Reclamation is indeed adequate to serve not only the residence of 18507 Goodson Rd, Caldwell, ID 83607, but also a second residence located on Parcel # R38437011.

Sincerely,

Alan Perry C.F.D

7/3/23

Date

AD2021-0060 / RD2021-0021







Destiny Platt <diesel.momma86@gmail.com>

## Goodson Family Trust- Application Review

Randall, Reece C <rccrandall@usbr.gov>  
To: Destiny Platt <diesel.momma86@gmail.com>

Mon, Nov 13, 2023 at 2:28 PM

Hi Destiny,

Sure. Our engineer had no concerns about utilizing the existing culverts for the use (access to the subdivided lots) that was proposed in the SF-299 application submitted by the Goodson Family Trust.

Best,  
Reece

**From:** Destiny Platt <diesel.momma86@gmail.com>  
**Sent:** Monday, November 13, 2023 2:18 PM  
**To:** Randall, Reece C <rccrandall@usbr.gov>  
**Subject:** [EXTERNAL] Re: Goodson Family Trust- Application Review

**This email has been received from outside of DOI - Use caution before clicking on links, opening attachments, or responding.**

[Quoted text hidden]

AD 2021-0060 / RD 2021-0021 Amendment Application



STANDARD FORM 299 (REV. 3/2020)

APPLICATION FOR TRANSPORTATION, UTILITY SYSTEMS, TELECOMMUNICATIONS AND FACILITIES ON FEDERAL LANDS AND PROPERTY

FORM APPROVED  
OMB Control Number: 0596-0249  
Expiration Date: 2/28/2023

FOR AGENCY USE ONLY

NOTE: Before completing and filing the application for an authorization (easement, right-of-way, lease, license or permit), the applicant should completely review this package, including instructions, and schedule a pre-application meeting with representatives of the agency responsible for processing the application. Each agency may have specific and unique requirements to be met in preparing and processing the application. Many times, with the help of the agency representative, the application can be completed at the pre-application meeting.

Application Number

Date Filed

3. Applicant telephone number and email:

Authorized agent telephone number and email:

1. Name and address of applicant

Goodson Family Trust  
19114 Galloway Rd. Caldwell  
Idaho 83607

2. Name and address of authorized agent if different from item 1

4. As applicant are you? (check one)

- a.  Individual
- b.  Corporation\*
- c.  Partnership/Association\*
- d.  State Government/State Agency
- e.  Local Government
- f.  Federal Agency

\* If checked, complete supplemental page

5. Specify what application is for: (check one)

- a.  New authorization
- b.  Renewing existing authorization number
- c.  Amend existing authorization number
- d.  Assign existing authorization number
- e.  Existing use for which no authorization has been received \*
- f.  Other\*

\* If checked, provide details under item 7

6. If an individual, or partnership, are you a citizen(s) of the United States?  Yes  No

7. Project description (describe in detail): (a) Type of use or occupancy, (e.g., canal, pipeline, road, telecommunications); (b) related structures and facilities; (c) physical specifications (Length, width, grading, etc.); (d) term of days/years needed; (e) time of year of use or operation; (f) Volume or amount of product to be transported; (g) duration and timing of construction; and (h) temporary work areas needed for activity/construction (Attach additional sheets, if additional space is needed.)

Existing lateral crossings for agricultural + residential use,

8. Attach a map covering area and show location of project proposal.

9. State or Local government approval:  Attached  Applied for  Not Required

10. Nonrefundable application fee:  Attached  Not required  To be determined by agency

11. Does project cross international boundary or affect international waterways?  Yes  No (if "yes," indicate on map)

12. Give statement of your technical and financial capability to construct, operate, maintain, and terminate system for which authorization is being requested.

We have an active, working relationship with a licensed engineer to assist with any technical aspects. We have family members with previous irrigation and farming knowledge. There is an existing farm contract to cover any unexpected heavy machinery damage to the existing crossings. There is also a recorded Road Maintenance Agreement which addresses sharing of costs for all parcels within the Goodson Family Trust who will be using the existing access road.

AD2021-0060/RD2021-0021 Amendment Application





13a. Describe other alternative locations considered.

Only approved access by Canyon County, no alternatives available.

b. Why were these alternatives not selected?

N/A

c. Give explanation as to why it is necessary to use or occupy Federal assets (lands or buildings).

Existing crossings are part of the only approved access to our parcels. They have been used for AG for 40+ years.

14. List authorizations and pending applications filed for similar projects which may provide information to the authorizing agency. (Specify number, date, code, or name)

N/A

15. Provide statement of need for project, including the economic feasibility and items such as: (a) cost of proposal (construction, operation, and maintenance); (b) estimated cost of next best alternative; and (c) expected public benefits.

The need is to obtain a crossing agreement on existing lateral crossings that have been used for residential use so that it may now be used for agricultural use. It will allow owners to obtain a certificate of occupancy for their homes. No construction costs at this time. Crossings already exist. Continued + maintained access for BCID.

16. Describe probable effects on the population in the area, including the social and economic aspects, and the rural lifestyles.

N/A

17. Describe likely environmental effects that the proposed project will have on: (a) air quality; (b) visual impact; (c) surface and ground water quality and quantity; (d) the control or structural change on any stream or other body of water; (e) existing noise levels; and (f) the surface of the land, including vegetation, permafrost, soil, and soil stability; and, (g) historic or archaeological resources or properties.

N/A

18. Describe the probable effects that the proposed project will have on (a) populations of fish, plant life, wildlife, and marine life, including threatened and endangered species; and (b) marine mammals, including hunting, capturing, collecting, or killing these animals.

N/A

19. State whether any hazardous material, as defined in this paragraph, would be used, produced, transported or stored on or in a federal building or federal lands or would be used in connection with the proposed use or occupancy. "Hazardous material" shall mean (a) any hazardous substance under section 101(14) of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA), 42 U.S.C. § 9601(14); (b) any pollutant or contaminant under section 101(33) of CERCLA, 42 U.S.C. § 9601(33); (c) any petroleum product or its derivative, including fuel oil, and waste oils; and (d) any hazardous substance, extremely hazardous substance, toxic substance, hazardous waste, ignitable, reactive or corrosive materials, pollutant, contaminant, element, compound, mixture, solution or substance that may pose a present or potential hazard to human health or the environment under any applicable environmental laws. The holder shall not store any hazardous materials at the site without prior written approval from the authorized officer. This approval shall not be unreasonably withheld. If the authorized officer provides approval, this permit shall include (or in the case of approval provided after this permit is issued, shall be amended to include) specific terms addressing the storage of hazardous materials, including the specific type of materials to be stored, the volume, the type of storage, and a spill plan. Such terms shall be proposed by the holder and are subject to approval by the authorized officer.

N/A

20. Name all the Federal Department(s)/Agency(ies) where this application is being filed.

I HEREBY CERTIFY, That I am of legal age and authorized to do business in the State and that I have personally examined the information contained in the application and believe that the information submitted is correct to the best of my knowledge.

Signature of Applicant

Melanie Thomas agent Trustee

Date

10-18-2023

Title 18, U.S.C. Section 1001, makes it a crime for any person knowingly and willfully to make to any department or agency of the United States any false, fictitious, or fraudulent statements or representations as to any matter within its jurisdiction.

AD2021-0060/RD2021-0321 Amendment Application





Pioneer Title Co.  
GOING BEYOND

610 S. Kimball Avenue  
Caldwell, ID 83605

ELECTRONICALLY RECORDED-DO NOT  
REMOVE THE COUNTY STAMPED FIRST  
PAGE AS IT IS NOW INCORPORATED AS  
PART OF THE ORIGINAL DOCUMENT

File No. 781293 TK/SM

WARRANTY DEED

For Value Received Edward M. Goodson and Joyce Mahala Goodson, Trustees of The  
Goodson Family Trust dated March 20, 2001  
hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

Steven C. Platt and Destiny J. Platt, husband and wife

hereinafter referred to as Grantee, whose current address is 19114 Galloway Rd Caldwell, ID 83607

The following described premises, to-wit:

See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and  
Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the  
said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are  
free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those  
made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions,  
dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies,  
and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable,  
and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: August 11, 2021

The Goodson Family Trust dated March 20, 2001

By: Edward M. Goodson  
Edward M. Goodson, Trustee

By: Joyce Mahala Goodson  
Joyce Mahala Goodson, Trustee

State of Idaho, County of Canyon

This record was acknowledged before me on 8-17-2021 by Edward M. Goodson and Joyce  
Mahala Goodson, Trustees of the Goodson Family Trust dated March 20, 2001

Tammy Kratzberg  
Signature of notary public  
Commission Expires: 2/3/2022

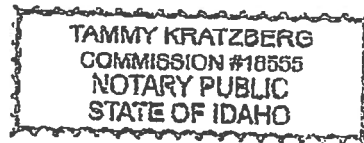




EXHIBIT A

Parcel 3

A parcel of land located in the Northwest 1/4 of the Northeast 1/4 of Section 24, Township 5 North, Range 4 West, Boise Meridian, Canyon County, Idaho. Being further described as follows

BASIS OF BEARING:

The East line of Section 24, Township 5 North, Range 4 West, Boise Meridian, derived from found monuments and taken as North 00°45'48" East with the distance between monuments found to be 5,304.57 feet.

BEGINNING at a point on the West line of the Northwest Quarter of the Northeast Quarter of said Section 24, Township 5 North, Range 4 West, Boise Meridian, from which the North 1/4 Corner of said Section 24 bears North 00°53'08" East a distance of 662.31 feet;

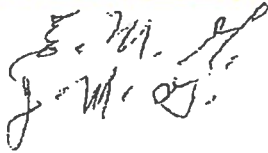
thence leaving said West line, South 89°42'33" East, a distance of 1,120.50 feet;

thence South 03°07'19" East, a distance of 384.86 feet;

thence North 89°42'33" West, to a point on the West line of the Northwest Quarter of the Northeast Quarter of said Section 24, a distance of 1,147.40 feet;

thence along said West line, North 00°53'08" East, a distance of 384.20 feet to the POINT OF BEGINNING.

Together with and subject to those easements necessary for ingress and egress and other purposes, as shown in Road Maintenance Agreement recorded July 26, 2021 as Instrument No. 2021-052157 and Record of Survey recorded July 27, 2021 as Instrument No. 2021-052318





2021-052157

RECORDED

07/26/2021 02:32 PM



00633419202100521570040044

CHRIS YAMAMOTO

CANYON COUNTY RECORDER

Pgs=4 MBROWN

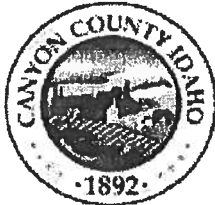
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AGR

THOMAS PAUL



**Canyon County  
Recorder's Office  
Document  
Cover Sheet**



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▶ JAN 04 2024 ◀

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AD 2021-0060  
RD 2021-0021



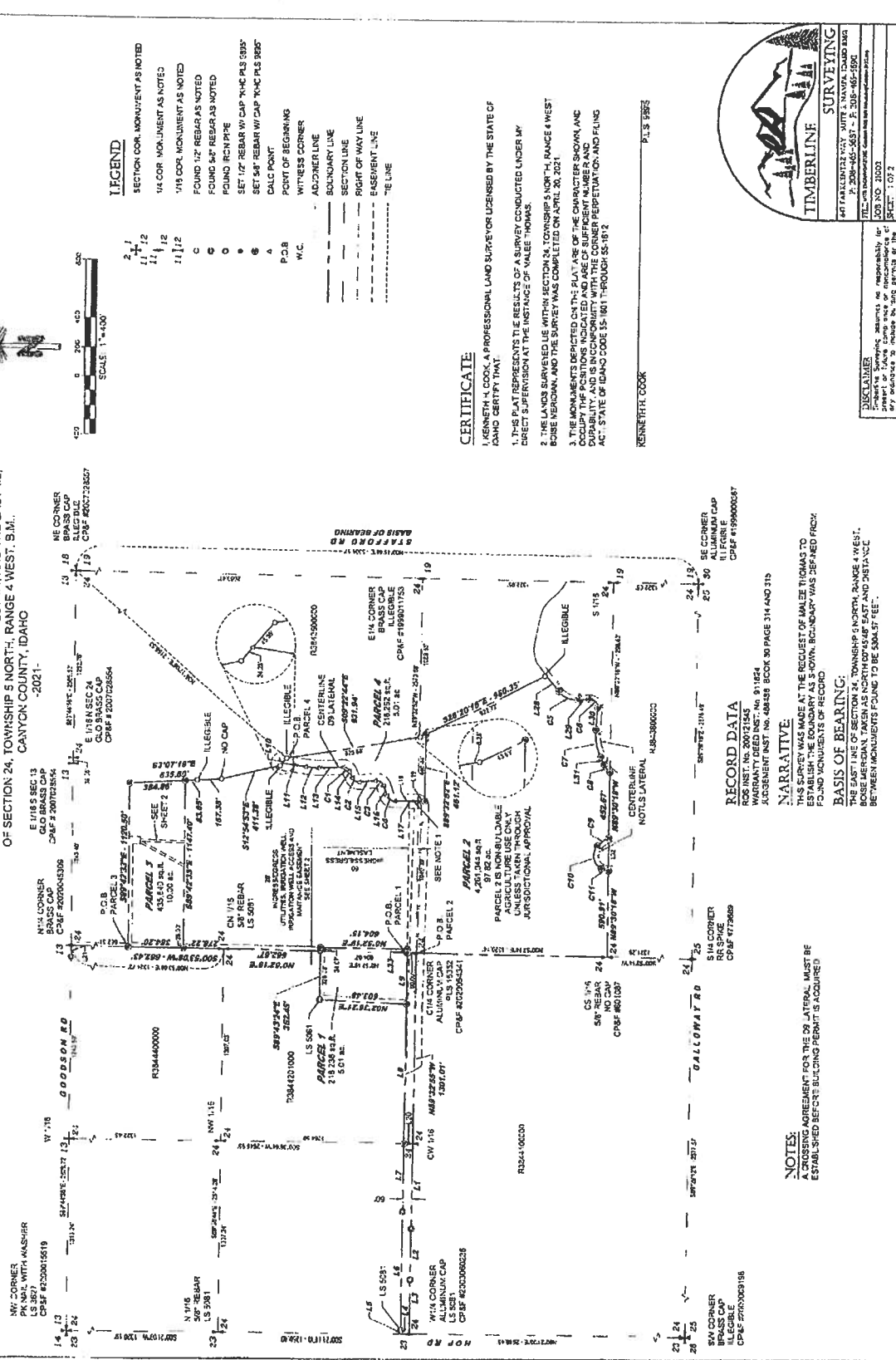






EXHIBIT "A"

RECORD OF SURVEY FOR  
**GOODSON FAMILY TRUST**  
 A PORTION OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 AND THE EAST 1/2  
 OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, S.M.,  
 CANYON COUNTY, IDAHO  
 -2021-



**LEGEND**

- SECTION CORNER MONUMENT AS NOTED
- 1/4 COR. MONUMENT AS NOTED
- 1/16 COR. MONUMENT AS NOTED
- FOUND 1/2" REBAR AS NOTED
- FOUND 3/4" REBAR AS NOTED
- FOUND 1" REBAR AS NOTED
- FOUND 1 1/2" REBAR AS NOTED
- FOUND 2" REBAR AS NOTED
- FOUND 3" REBAR AS NOTED
- FOUND 4" REBAR AS NOTED
- FOUND 6" REBAR AS NOTED
- FOUND 8" REBAR AS NOTED
- FOUND 10" REBAR AS NOTED
- FOUND 12" REBAR AS NOTED
- FOUND 14" REBAR AS NOTED
- FOUND 16" REBAR AS NOTED
- FOUND 18" REBAR AS NOTED
- FOUND 20" REBAR AS NOTED
- FOUND 24" REBAR AS NOTED
- FOUND 28" REBAR AS NOTED
- FOUND 32" REBAR AS NOTED
- FOUND 36" REBAR AS NOTED
- FOUND 40" REBAR AS NOTED
- FOUND 44" REBAR AS NOTED
- FOUND 48" REBAR AS NOTED
- FOUND 52" REBAR AS NOTED
- FOUND 56" REBAR AS NOTED
- FOUND 60" REBAR AS NOTED
- FOUND 64" REBAR AS NOTED
- FOUND 68" REBAR AS NOTED
- FOUND 72" REBAR AS NOTED
- FOUND 76" REBAR AS NOTED
- FOUND 80" REBAR AS NOTED
- FOUND 84" REBAR AS NOTED
- FOUND 88" REBAR AS NOTED
- FOUND 92" REBAR AS NOTED
- FOUND 96" REBAR AS NOTED
- FOUND 100" REBAR AS NOTED
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- FOUND 112" REBAR AS NOTED
- FOUND 116" REBAR AS NOTED
- FOUND 120" REBAR AS NOTED
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- FOUND 128" REBAR AS NOTED
- FOUND 132" REBAR AS NOTED
- FOUND 136" REBAR AS NOTED
- FOUND 140" REBAR AS NOTED
- FOUND 144" REBAR AS NOTED
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- FOUND 572" REBAR AS NOTED
- FOUND 576" REBAR AS NOTED
- FOUND 580" REBAR AS NOTED
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- FOUND 896" REBAR AS NOTED
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- FOUND 904" REBAR AS NOTED
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- FOUND 1000" REBAR AS NOTED

**CERTIFICATE**

I, KENNETH L. COOK, A PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO, CERTIFY THAT:  
 1. THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCES OF WALEZE THOMAS.  
 2. THE LANDS SURVEYED ARE WITHIN SECTION 24, TOWNSHIP 5 NORTH, RANGE 4 WEST, BOISE MERIDIAN, AND THE SURVEY WAS COMPLETED ON APRIL 20, 2021.  
 3. THE MONUMENTS DEPICTED ON THIS PLAT ARE OF THE CHARACTER SHOWN, AND THE SURVEY IS ACCURATE AND CORRECT IN ACCORDANCE WITH THE SURVEYING ACT, STATE OF IDAHO CODE 35-1801 THROUGH 35-1812.

KENNETH L. COOK  
 P.L.S. 9985



**RECORD DATA**

BOOK INST. NO. 200721545  
 PAGE 30  
 AGREEMENT EAST NO. 448158 BOOK 30 PAGE 314 AND 315

**NARRATIVE**

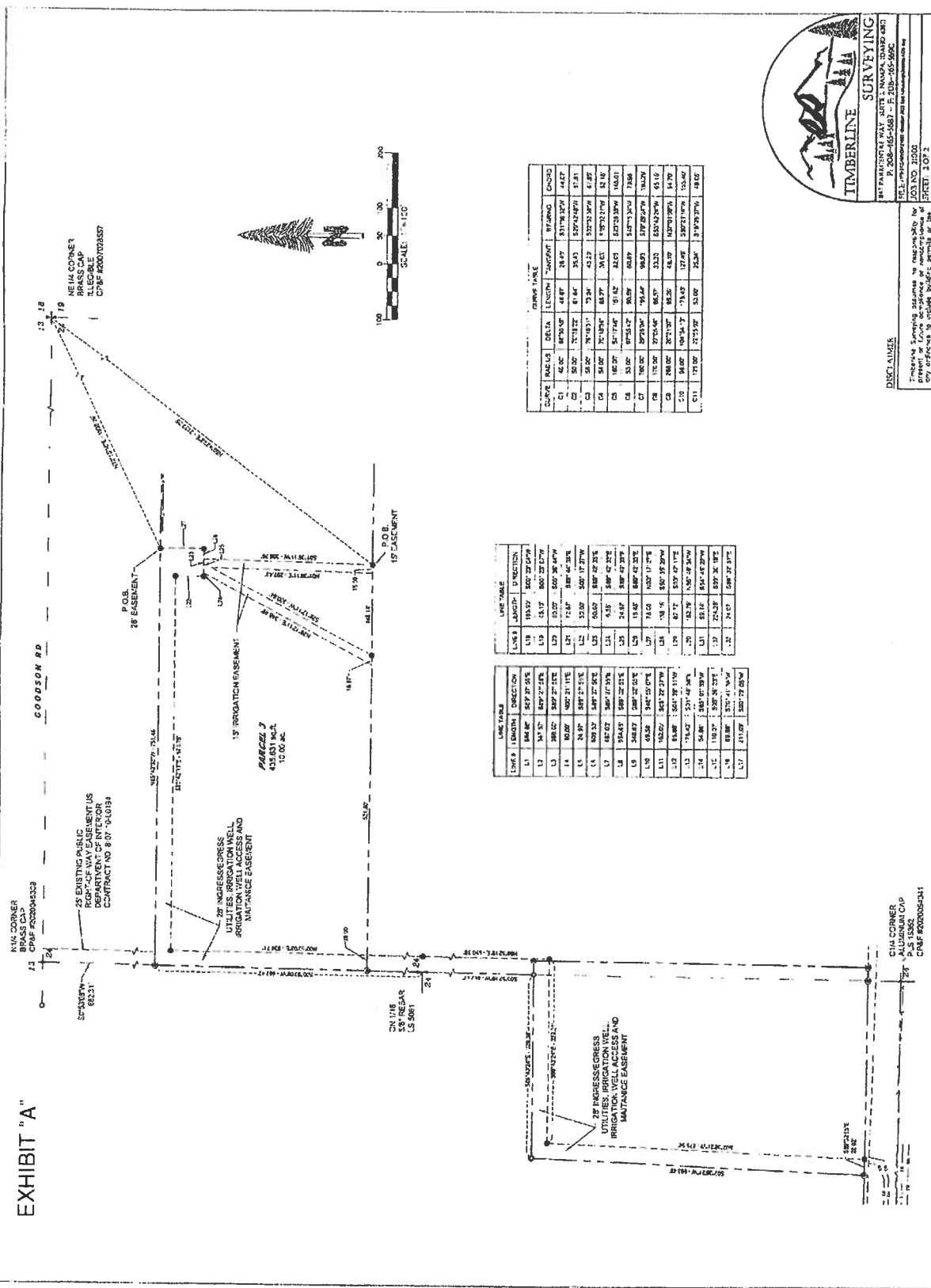
THIS SURVEY WAS MADE AT THE REQUEST OF WALEZE THOMAS TO ESTABLISH THE BOUNDARY AS SHOWN. BOUNDARY WAS DEFINED FROM THE MONUMENTS OF RECORD.

**NOTES:**

A CROSSING AGREEMENT FOR THE 09 LATERAL MUST BE ESTABLISHED BEFORE BUILDING PERMIT IS ACQUIRED.



EXHIBIT "A"



| LINE # | LENGTH | DIRECTION   |
|--------|--------|-------------|
| L1     | 185.07 | S82°27'55"E |
| L2     | 131.57 | S87°27'45"E |
| L3     | 131.57 | S87°27'45"E |
| L4     | 100.00 | S87°27'45"E |
| L5     | 24.87  | S87°27'45"E |
| L6     | 185.07 | S82°27'55"E |
| L7     | 185.07 | S82°27'55"E |
| L8     | 185.07 | S82°27'55"E |
| L9     | 185.07 | S82°27'55"E |
| L10    | 185.07 | S82°27'55"E |
| L11    | 185.07 | S82°27'55"E |
| L12    | 185.07 | S82°27'55"E |
| L13    | 185.07 | S82°27'55"E |
| L14    | 185.07 | S82°27'55"E |
| L15    | 185.07 | S82°27'55"E |
| L16    | 185.07 | S82°27'55"E |
| L17    | 185.07 | S82°27'55"E |
| L18    | 185.07 | S82°27'55"E |
| L19    | 185.07 | S82°27'55"E |
| L20    | 185.07 | S82°27'55"E |
| L21    | 185.07 | S82°27'55"E |
| L22    | 185.07 | S82°27'55"E |

| CURVE | BEACONS | DELTA     | LENGTH | ANGULAR | BEACONS | CHORD |
|-------|---------|-----------|--------|---------|---------|-------|
| C1    | 46.00   | 80°30'00" | 48.87  | 28.87   | 131.70  | 64.67 |
| C2    | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |
| C3    | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |
| C4    | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |
| C5    | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |
| C6    | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |
| C7    | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |
| C8    | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |
| C9    | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |
| C10   | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |
| C11   | 50.00   | 70°11'30" | 41.64  | 25.00   | 125.00  | 62.50 |

**TIMBERLINE SURVEYING**  
 1817 W. 10th Street, Suite 100, Anchorage, Alaska 99503  
 P. 907-556-4660 F. 907-556-4661  
 www.timberline-surveying.com

DISCLAIMER  
 This plat is a true and correct copy of the original survey records as filed in the public records of the State of Alaska. It is not intended to be used for any other purpose. The surveyor is not responsible for any errors or omissions in this plat.

JOHN NO. 2000  
 SHEET 1 OF 2





**Pioneer Title Co.**  
GOING BEYOND

610 S. Kimball Avenue  
Caldwell, ID 83605

ELECTRONICALLY RECORDED-DO NOT REMOVE THE COUNTY STAMPED FIRST PAGE AS IT IS NOW INCORPORATED AS PART OF THE ORIGINAL DOCUMENT

RECEIVED  
JAN 04 2024  
RECEIVED

File No. 781293 TK/SM

**WARRANTY DEED**

For Value Received Edward M. Goodson and Joyce Mahala Goodson, Trustees of The Goodson Family Trust dated March 20, 2001 hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

Steven C. Platt and Destiny J. Platt, husband and wife

hereinafter referred to as Grantee, whose current address is 19114 Galloway Rd Caldwell, ID 83607

The following described premises, to-wit:

See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: August 11, 2021

The Goodson Family Trust dated March 20, 2001

By: Edward M. Goodson  
Edward M. Goodson, Trustee

By: Joyce Mahala Goodson  
Joyce Mahala Goodson, Trustee

State of Idaho, County of Canyon

This record was acknowledged before me on 8-17-2021 by Edward M. Goodson and Joyce Mahala Goodson, Trustees of the Goodson Family Trust dated March 20, 2001

Tammy Kratzberg  
Signature of notary public  
Commission Expires: 2/3/2022

TAMMY KRATZBERG  
COMMISSION #18655  
NOTARY PUBLIC  
STATE OF IDAHO





EXHIBIT A

Parcel 3

A parcel of land located in the Northwest 1/4 of the Northeast 1/4 of Section 24, Township 5 North, Range 4 West, Boise Meridian, Canyon County, Idaho. Being further described as follows

BASIS OF BEARING:

The East line of Section 24, Township 5 North, Range 4 West, Boise Meridian, derived from found monuments and taken as North 00°45'48" East with the distance between monuments found to be 5,304.57 feet.

BEGINNING at a point on the West line of the Northwest Quarter of the Northeast Quarter of said Section 24, Township 5 North, Range 4 West, Boise Meridian, from which the North 1/4 Corner of said Section 24 bears North 00°53'08" East a distance of 662.31 feet;

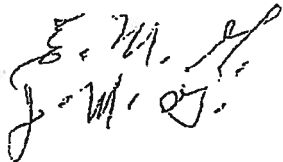
thence leaving said West line, South 89°42'33" East, a distance of 1,120.50 feet;

thence South 03°07'19" East, a distance of 384.86 feet;

thence North 89°42'33" West, to a point on the West line of the Northwest Quarter of the Northeast Quarter of said Section 24, a distance of 1,147.40 feet;

thence along said West line, North 00°53'08" East, a distance of 384.20 feet to the POINT OF BEGINNING.

Together with and subject to those easements necessary for ingress and egress and other purposes, as shown in Road Maintenance Agreement recorded July 26, 2021 as Instrument No. 2021-052157 and Record of Survey recorded July 27, 2021 as Instrument No. 2021-052318



Handwritten signatures of E. M. J. and J. M. J.



**LEGAL DESCRIPTION FOR  
GOODSON FAMILY TRUST  
PARCEL 3**

A parcel of land located in the Northwest 1/4 of the Northeast 1/4 of Section 24, Township 5 North, Range 4 West, Boise Meridian, Canyon County, Idaho. Being further described as follows:

**BASIS OF BEARING:**

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**BEGINNING** at a point on the West line of the Northwest 1/4 of the Northeast 1/4 of said Section 24, Township 5 North, Range 4 West, Boise Meridian from which the North 1/4 Corner of said Section 24 bears North 00°53'08" East a distance of 662.31 feet;

Thence leaving said West line, South 89°42'33" East, a distance of 1,120.50 feet;

Thence South 03°07'19" East, a distance of 384.86 feet;

Thence North 89°42'33" West, to a point on the West line of the Northwest 1/4 of the Northeast 1/4 of said Section 24, a distance of 1,147.40 feet;

Thence along said West line, North 00°53'08" East, a distance of 384.20 feet to the **POINT OF BEGINNING.**

Said Parcel containing 435,640 square feet or 10.00 acres, more or less and is subject to all existing easements and rights-of-ways of record or implied.

END OF DESCRIPTION.

Kenneth H. Cook, P.L.S. 9895  
Timberline Surveying  
847 Park Centre Way, Suite 3  
Nampa, Idaho 83651  
(208) 465-5687







610 S. Kimball Avenue  
Caldwell, ID 83605

ELECTRONICALLY RECORDED-DO NOT REMOVE THE COUNTY STAMPED FIRST PAGE AS IT IS NOW INCORPORATED AS PART OF THE ORIGINAL DOCUMENT

File No. 781293 TK/SM

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Steven C. Platt and Destiny J. Platt, husband and wife hereinafter referred to as Grantee, whose current address is 19114 Galloway Rd Caldwell, ID 83607

The following described premises, to-wit:

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To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: August 11, 2021

The Goodson Family Trust dated March 20, 2001

By: Edward M. Goodson  
Edward M. Goodson, Trustee

By: Joyce Mahala Goodson  
Joyce Mahala Goodson, Trustee

State of Idaho, County of Canyon

This record was acknowledged before me on 8-17-2021 by Edward M. Goodson and Joyce Mahala Goodson, Trustees of the Goodson Family Trust dated March 20, 2001

Tammy Kratzberg  
Signature of notary public  
Commission Expires: 2/3/2022

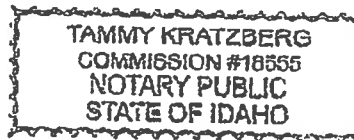




EXHIBIT A

Parcel 3

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BASIS OF BEARING:

The East line of Section 24, Township 5 North, Range 4 West, Boise Meridian, derived from found monuments and taken as North 00°45'48" East with the distance between monuments found to be 5,304.57 feet.

BEGINNING at a point on the West line of the Northwest Quarter of the Northeast Quarter of said Section 24, Township 5 North, Range 4 West, Boise Meridian, from which the North 1/4 Corner of said Section 24 bears North 00°53'08" East a distance of 662.31 feet;

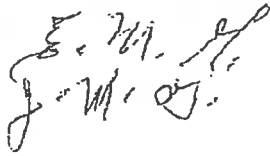
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thence South 03°07'19" East, a distance of 384.86 feet;

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GOODSON FAMILY TRUST  
PARCEL 3**

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*The East line of Section 24, Township 5 North, Range 4 West, Boise Meridian, derived from found monuments and taken as North 00°45'48" East with the distance between monuments found to be 5,304.57 feet.*

**BEGINNING** at a point on the West line of the Northwest 1/4 of the Northeast 1/4 of said Section 24, Township 5 North, Range 4 West, Boise Meridian from which the North 1/4 Corner of said Section 24 bears North 00°53'08" East a distance of 662.31 feet;

Thence leaving said West line, South 89°42'33" East, a distance of 1,120.50 feet;

Thence South 03°07'19" East, a distance of 384.86 feet;

Thence North 89°42'33" West, to a point on the West line of the Northwest 1/4 of the Northeast 1/4 of said Section 24, a distance of 1,147.40 feet;

Thence along said West line, North 00°53'08" East, a distance of 384.20 feet to the **POINT OF BEGINNING**.

Said Parcel containing 435,640 square feet or 10.00 acres, more or less and is subject to all existing easements and rights-of-ways of record or implied.

END OF DESCRIPTION.

Kenneth H. Cook, P.L.S. 9895  
Timberline Surveying  
847 Park Centre Way, Suite 3  
Nampa, Idaho 83651  
(208) 465-5687





2021-052157

RECORDED

07/26/2021 02:32 PM



00633419202100521570040044

CHRIS YAMAMOTO

CANYON COUNTY RECORDER

Pgs=4 MBROWN

\$16.00

AGR

THOMAS PAUL



**Canyon County  
Recorder's Office  
Document  
Cover Sheet**





## PRIVATE ROAD MAINTENANCE AGREEMENT

This agreement is for the construction, repair and maintenance of the private lane/lanes and easement identified in Exhibit "A" attached hereto and is entered into with the current landowners and will apply to all future lot owners and their heirs, successors and assigns and will bind and ensure to the benefit of each parcel for ingress/egress access. No construction of the private road and easement shall occur or be required until such time that any lot owner obtains a residential building permit to improve a lot. As any lot owner/owners proceed with obtaining a building permit, that lot owner will be required to improve and construct the easement road to access their lot. Parcel 2 has agricultural access and shall not be restricted.

It is the mutual desire of all parties to maintain the private road easement in a safe and usable for all weather conditions by all current and future lot owners. The private roads must be maintained for the safe passage of emergency vehicles, first responders and any civil authorities that require access on the private road and cannot be gated or otherwise restrict access by adjoining lot owners.

The cost of maintaining and repairing the private lane/lanes easement will be shared by all lot owners for their pro-rata share and shall apply to the full length and width of the private road easement, related drainage culverts and irrigation lateral crossings. In the event the identified parcels are subdivided further, any additional lot owners accessing the private road/easement shall be responsible for their pro-rata share of all costs pertaining to the road maintenance, repairs and construction.

It is understood that the landowners with residential occupancy will act as agents to contract and oversee the acts necessary to accomplish the maintenance and repairs required. Decisions to authorize maintenance and repairs shall be made by majority of the lot owners.

In witness whereof, the parties have executed this agreement on this 10<sup>th</sup> day of July, 2021.

This agreement shall be governed by the laws of the State of Idaho.

Edward M. Goodson  
Edward M. Goodson

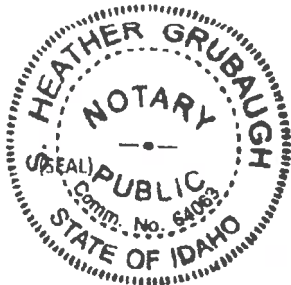
Joyce M. Goodson  
Joyce M. Goodson

STATE OF IDAHO            )  
                                          :SS  
County of Canyon        )



CHRIS YAMAMOTO  
CANYON COUNTY RECORDER  
Pgs=1 HCRETAL \$10.00  
AGR  
PAUL THOMAS

On this 10<sup>th</sup> day of July, 2021, before me, a Notary Public, personally appeared Edward M. Goodson and Joyce M. Goodson, husband and wife, known or identified to me to be the persons whose names are subscribed to the within Instrument, and acknowledged to me that they executed the same.



Heather Grubaugh  
Notary Public for Idaho  
My Commission Expires. 8/11/26

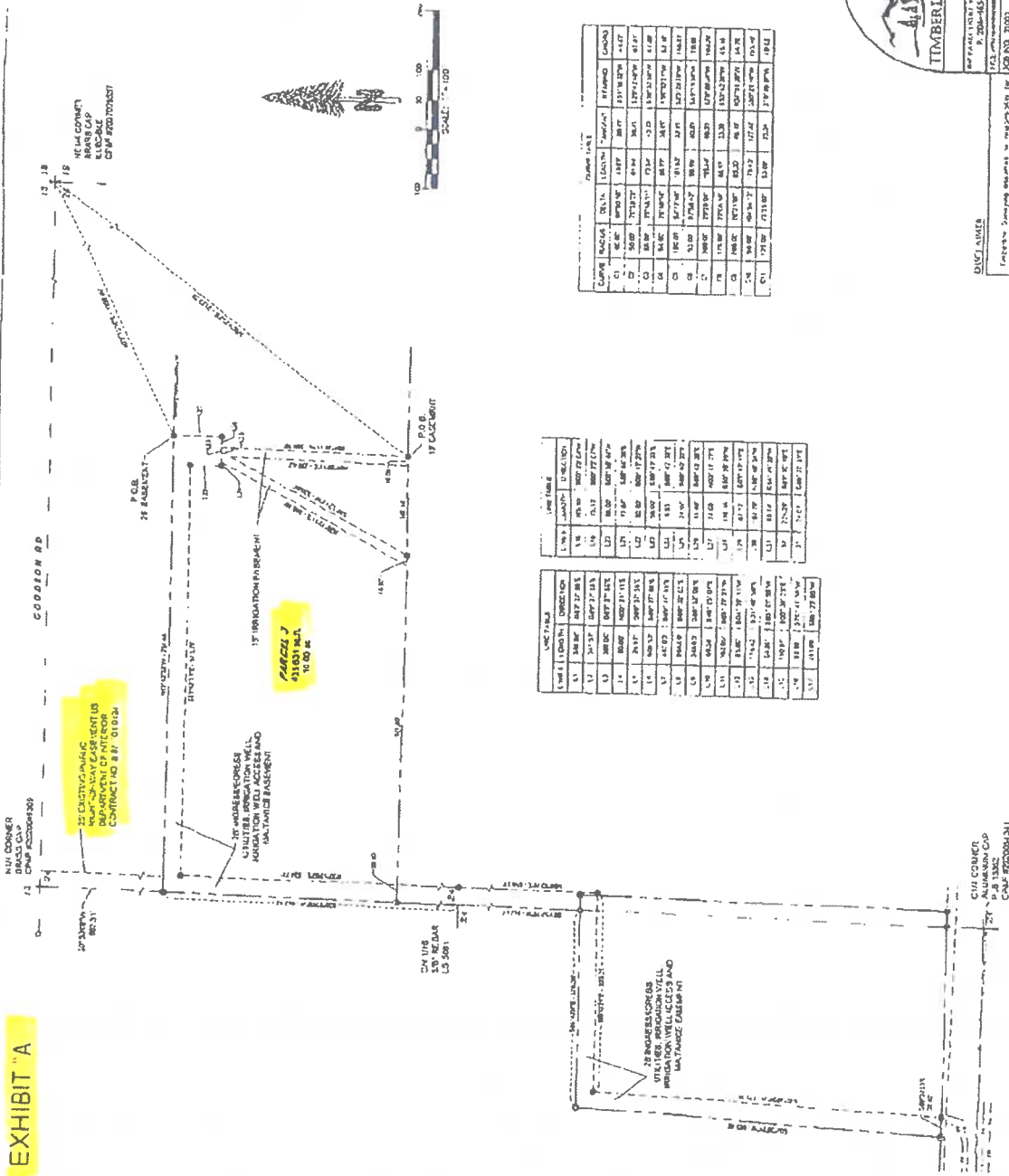






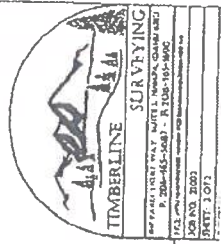


EXHIBIT "A"



| LINE # | LENGTH | BEARING         | AREA     |
|--------|--------|-----------------|----------|
| 1      | 100.00 | S 89° 57' 00" W | 10000.00 |
| 2      | 100.00 | S 00° 00' 00" W | 10000.00 |
| 3      | 100.00 | S 89° 57' 00" E | 10000.00 |
| 4      | 100.00 | S 00° 00' 00" E | 10000.00 |
| 5      | 100.00 | S 89° 57' 00" W | 10000.00 |
| 6      | 100.00 | S 00° 00' 00" W | 10000.00 |
| 7      | 100.00 | S 89° 57' 00" E | 10000.00 |
| 8      | 100.00 | S 00° 00' 00" E | 10000.00 |
| 9      | 100.00 | S 89° 57' 00" W | 10000.00 |
| 10     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 11     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 12     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 13     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 14     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 15     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 16     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 17     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 18     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 19     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 20     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 21     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 22     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 23     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 24     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 25     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 26     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 27     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 28     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 29     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 30     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 31     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 32     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 33     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 34     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 35     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 36     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 37     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 38     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 39     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 40     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 41     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 42     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 43     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 44     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 45     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 46     | 100.00 | S 00° 00' 00" W | 10000.00 |
| 47     | 100.00 | S 89° 57' 00" E | 10000.00 |
| 48     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 49     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 50     | 100.00 | S 00° 00' 00" W | 10000.00 |

| LINE # | LENGTH | BEARING         | AREA     |
|--------|--------|-----------------|----------|
| 1      | 100.00 | S 89° 57' 00" W | 10000.00 |
| 2      | 100.00 | S 00° 00' 00" W | 10000.00 |
| 3      | 100.00 | S 89° 57' 00" E | 10000.00 |
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| 5      | 100.00 | S 89° 57' 00" W | 10000.00 |
| 6      | 100.00 | S 00° 00' 00" W | 10000.00 |
| 7      | 100.00 | S 89° 57' 00" E | 10000.00 |
| 8      | 100.00 | S 00° 00' 00" E | 10000.00 |
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| 21     | 100.00 | S 89° 57' 00" W | 10000.00 |
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| 23     | 100.00 | S 89° 57' 00" E | 10000.00 |
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| 28     | 100.00 | S 00° 00' 00" E | 10000.00 |
| 29     | 100.00 | S 89° 57' 00" W | 10000.00 |
| 30     | 100.00 | S 00° 00' 00" W | 10000.00 |



TIMBERLINE SURVEYING  
 10000 10th Street, NW  
 Seattle, WA 98107  
 TEL: 206.461.1111  
 FAX: 206.461.1112  
 WWW: timberlinesurveying.com











INSTRUMENT NO 835184

Contract No. 8-07-10-L0194

UNITED STATES  
DEPARTMENT OF THE INTERIOR  
BUREAU OF RECLAMATION

Central Snake Projects Office  
Boise Project - Payette Division

ROAD RIGHT-OF-WAY EASEMENT

THIS AGREEMENT, made this 22nd day of June, 1978, pursuant to the Act of Congress approved June 17, 1902 (32 Stat. 388) and acts amendatory thereof or supplementary thereto, all of which acts are commonly known and referred to as the Federal Reclamation Laws, between THE UNITED STATES OF AMERICA, hereinafter referred to as the United States, represented by the officer executing this agreement, hereinafter called the Contracting Officer, and CANYON COUNTY, STATE OF IDAHO, a body politic, hereinafter called the County, acting by and through its Board of County Commissioners, hereinafter styled the Board.

WITNESSETH, THAT:

2. WHEREAS, in connection with the Payette Division of the Boise Project, Idaho, the United States, through the Bureau of Reclamation, Department of the Interior, has, pursuant to Federal Reclamation Laws, withdrawn certain public lands in connection with the aforementioned Project; and

3. WHEREAS, the County desires to utilize portions of such land for the purpose of constructing and maintaining a County road upon the premises.

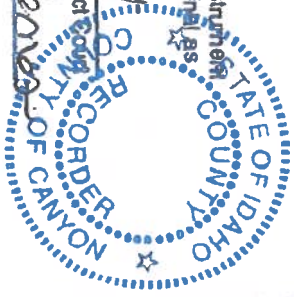
NOW, THEREFORE, in consideration of the mutual covenants and stipulations hereinafter stated, the parties hereto do mutually agree as follows:

4. The United States hereby grants to the County, subject to the terms and conditions of this agreement, an easement to construct, operate and maintain a county road upon the property of the United States described as the west 25 feet of the N<sup>1</sup>/<sub>4</sub>N<sup>1</sup>/<sub>4</sub>NE<sup>1</sup>/<sub>4</sub> of Section 24, Township 5 north, Range 4 west, Boise meridian, Canyon County, Idaho, as shown on the attached plat marked Exhibit "A" and by this reference made a part hereof.

The above described tract of land contains 0.38 acres, more or less, and is subject to all existing easements and rights-of-way.

5. The County shall use said premises for the purposes stated herein and agrees that in the use of said premises it shall conduct

State of Idaho }  
County of Canyon } ss.  
I hereby certify that the foregoing instrument is a true and correct copy of the original as the same appears in this office.  
DATED 11-29-2021  
CHRIS YAMAMOTO, Clerk of the District Court  
Deputy Ex Officio Recorder  
By Debra Cardenas  
Deputy







its operations in a good and workmanlike manner, and shall insure compliance with the laws of the State of Idaho, and with all laws, regulations and orders of the United States affecting such operations. The failure of the County, after due notice, to abide by any of the terms and conditions of any of such applicable laws, rules and regulations shall cause this easement to be subject to immediate termination at the option of the Contracting Officer.

6. This easement is granted subject to all rights previously acquired by third parties.

7. The County agrees as follows:

a. There is reserved to the United States, its successors and assigns, the prior right to use any of the right-of-way herein described to construct, operate and maintain all structures and facilities, including but not limited to canals, wasteways, laterals, ditches, roadways, electrical transmission lines, communication structures generally, substations, switchyards, powerplants and any other appurtenant irrigation and power structures and facilities, without any payment made by the United States or its successors for such right.

b. That if the construction of any or all of such structures and facilities across, over or upon said right-of-way should be made more expensive by reason of the existence of improvements or works of the County thereon, such additional expense is to be estimated by the Secretary of the Interior, whose estimate is to be final and binding upon the parties hereto. Within 30 days after demand is made upon the County for payment of any such sums, the County will make payment thereof to the United States or any of its successors or assigns constructing such structures and facilities across, over and upon said lands. As an alternative to payment, the County at its sole cost and expense and within time limits established by the Government, may remove or adapt facilities constructed and operated by it on said right-of-way to accommodate the aforementioned structures and facilities of the United States. The County shall bear the cost to the Government of any costs occasioned by the failure of the County to remove or adapt its facilities within the time limits specified.

c. There is also reserved to the United States the right of its officers, agents, employees, licensees and permittees, at all proper times and places freely to have ingress to, passage over, and egress from all of said right-of-way for the purpose of exercising, enforcing and protecting the rights reserved herein.

d. That the United States, its officers, agents and employees and its successors and assigns, shall not be held liable for any damage to the County's improvements or works by reason of the



exercise of the rights here reserved; nor shall anything contained in this paragraph be construed as in any manner limiting other reservations in favor of the United States contained in this agreement.

8. The County hereby agrees to indemnify and hold harmless the United States, its agents and employees, from any loss or damage and from any liability on account of personal injury, death, or property damage, or claims for personal injury, death, or property damage of any nature whatsoever and by whomsoever made arising out of the County's activities under this agreement.

9. The County will use, operate and maintain the land covered by this easement in such a manner as not to interfere with the operation and maintenance of the Boise Project, Payette Division; or with the administration of adjacent land owned by the United States.

10. The County shall reseed and establish grass on the road cuts where erosion may occur. These areas will be determined by the Contracting Officer.

11. The provisions of this easement shall apply to and bind the successors and assigns of the parties hereto, but no assignment or transfer of this easement or any part or interest therein shall be valid until approved by the Contracting Officer.

12. This easement shall terminate:

a. At the option of the Contracting Officer if the County fails to comply with any of the terms and conditions thereof.

b. At the option of the Contracting Officer upon discontinuance by the County of the use of the land covered by this easement for the purposes herein stated for a period of twelve (12) consecutive months.

c. At the request by the County by giving written notice to the Contracting Officer.

13. The County hereby agrees as follows:

a. To comply with Title VI (Section 601) of the Civil Rights Act of July 2, 1964 (78 Stat. 241) which provides that "No person in the United States shall, on the grounds of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be subject to discrimination under any program or activity receiving Federal financial assistance," and to be bound by the regulations of the Department of the Interior for the effectuation thereof, as set forth in 43 CFR 17.



b. To obligate its subcontractors, subgrantees, transferees, successors in interest, or any other participants receiving Federal financial assistance hereunder, to comply with the requirements of this provision.

14. No Member of or Delegate to Congress or Resident Commissioner shall be admitted to any share or part of this contract or to any benefit that may arise herefrom. This restriction shall not be construed to extend to this contract if made with a corporation or company for its general benefit.

IN WITNESS WHEREOF, the parties hereto have executed this easement the day and year first above written.

THE UNITED STATES OF AMERICA

By *Admiral [Signature]*  
Regional Director, PN Region  
Bureau of Reclamation  
Box 043 - 550 West Fort Street  
Boise, Idaho 83724

CANYON COUNTY, STATE OF IDAHO

By *E. [Signature]*  
Chairman of the Board of  
County Commissioners

*[Signature]*  
Commissioner

*[Signature]*  
Commissioner

(SEAL)

Attest:

*Bill A. Staben*  
Clerk *Rec'd. & [unclear] signed*



STATE OF IDAHO )  
County of Ada ) ss

On this 27<sup>th</sup> day of June, 1978, personally appeared before me Rodney J. Vissia, to me known to be the official of the UNITED STATES OF AMERICA that executed the within and foregoing instrument, and acknowledged said instrument to be the free and voluntary act and deed of said United States, for the uses and purposes therein mentioned, and on oath stated that he was authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.



*Rodney J. Vissia*  
Notary Public in and for the  
State of Idaho  
Residing at: Boise  
My commission expires: 4.1.79  
My Bond Expires June 30, 1979

\*\*\*

STATE OF IDAHO )  
County of Canyon ) ss

On this 22<sup>nd</sup> day of June, 1978, personally appeared before me Earl Giles, Bill Anderson, and Steve G. P. Leher, to me known to be the members of the Board of Commissioners, Canyon County, Idaho, that executed the within and foregoing instrument, and acknowledged said instrument to be the free and voluntary act and deed of said County for the uses and purposes therein mentioned, and on oath stated that they were authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.



*Earl Giles*  
Notary Public in and for the  
State of Idaho  
Residing at: ampa  
My commission expires: 8/20/79





This agreement has been considered and is hereby approved  
by the BLACK CANYON IRRIGATION DISTRICT this 6th day of June  
1978 .

BLACK CANYON IRRIGATION DISTRICT

By Robert A. Hill

Title Manager

Attest:

Mary K. Harkin  
Secretary of the Board



N 1/2 NW 1/4 NE 1/4 Sec 24 T5N R4W B.M.

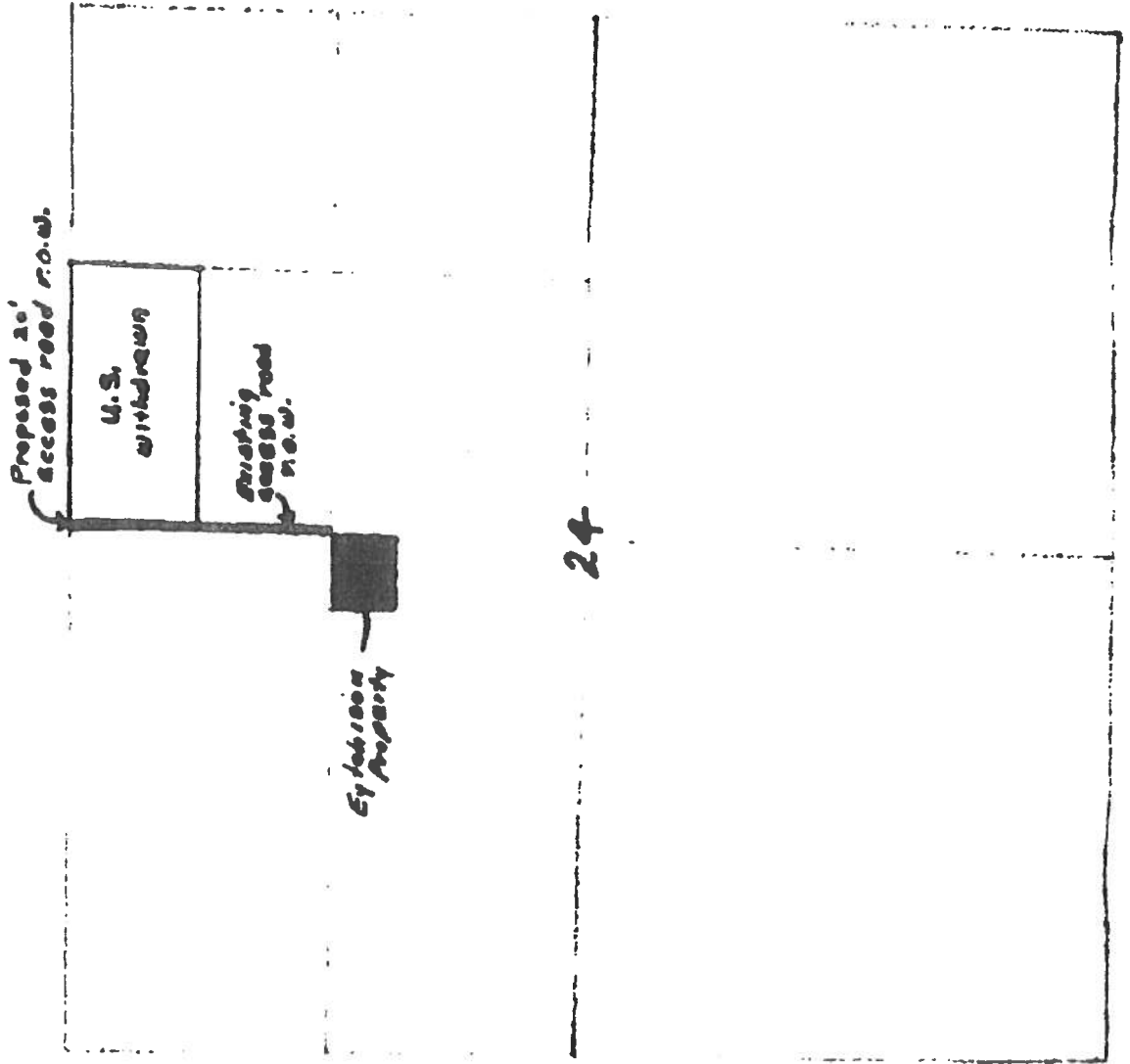


Exhibit "A"



835184

FILED

JUN 27 1 07 PM '78

RECEIVED

*Change*

RECEIVED

AT THE REQUEST OF

*Western Realty*

*Miss*

*7.00*

GRANTOR

*U. S. A.*

GRANTEE

*Canyon County*  
*Idaho*

FILED TO

*Comm. Minute*  
*Courthouse*



INSTRUMENT NO 835184

Contract No. 8-07-10-L0194

UNITED STATES  
DEPARTMENT OF THE INTERIOR  
BUREAU OF RECLAMATION

Central Snake Projects Office  
Boise Project - Payette Division

ROAD RIGHT-OF-WAY EASEMENT

THIS AGREEMENT, made this Sunday of June, 1978, pursuant to the Act of Congress approved June 17, 1902 (32 Stat. 388) and acts amendatory thereof or supplementary thereto, all of which acts are commonly known and referred to as the Federal Reclamation Laws, between THE UNITED STATES OF AMERICA, hereinafter referred to as the United States, represented by the officer executing this agreement, hereinafter called the Contracting Officer, and CANYON COUNTY, STATE OF IDAHO, a body politic, hereinafter called the County, acting by and through its Board of County Commissioners, hereinafter styled the Board.

WITNESSETH, THAT:

2. WHEREAS, in connection with the Payette Division of the Boise Project, Idaho, the United States, through the Bureau of Reclamation, Department of the Interior, has, pursuant to Federal Reclamation Laws, withdrawn certain public lands in connection with the aforementioned Project; and

3. WHEREAS, the County desires to utilize portions of such land for the purpose of constructing and maintaining a County road upon the premises.

NOW, THEREFORE, in consideration of the mutual covenants and stipulations hereinafter stated, the parties hereto do mutually agree as follows:

4. The United States hereby grants to the County, subject to the terms and conditions of this agreement, an easement to construct, operate and maintain a county road upon the property of the United States described as the west 25 feet of the N<sup>1</sup>/<sub>4</sub>NW<sup>1</sup>/<sub>4</sub>NE<sup>1</sup>/<sub>4</sub> of Section 24, Township 5 north, Range 4 west, Boise meridian, Canyon County, Idaho, as shown on the attached plat marked Exhibit "A" and by this reference made a part hereof.

The above described tract of land contains 0.38 acres, more or less, and is subject to all existing easements and rights-of-way.

5. The County shall use said premises for the purposes stated herein and agrees that in the use of said premises it shall conduct

State of Idaho }  
County of Canyon } ss.  
I hereby certify that the foregoing instrument is a true and correct copy of the original as the same appears in this office.  
DATED 11-29-2021  
CHRIS YAMAMOTO, Clerk of the District Court  
and Ex Officio Recorder  
By Devin Cordeiro  
Deputy







its operations in a good and workmanlike manner, and shall insure compliance with the laws of the State of Idaho, and with all laws, regulations and orders of the United States affecting such operations. The failure of the County, after due notice, to abide by any of the terms and conditions of any of such applicable laws, rules and regulations shall cause this easement to be subject to immediate termination at the option of the Contracting Officer.

6. This easement is granted subject to all rights previously acquired by third parties.

7. The County agrees as follows:

a. There is reserved to the United States, its successors and assigns, the prior right to use any of the right-of-way herein described to construct, operate and maintain all structures and facilities, including but not limited to canals, wasteways, laterals, ditches, roadways, electrical transmission lines, communication structures generally, substations, switchyards, powerplants and any other appurtenant irrigation and power structures and facilities, without any payment made by the United States or its successors for such right.

b. That if the construction of any or all of such structures and facilities across, over or upon said right-of-way should be made more expensive by reason of the existence of improvements or works of the County thereon, such additional expense is to be estimated by the Secretary of the Interior, whose estimate is to be final and binding upon the parties hereto. Within 30 days after demand is made upon the County for payment of any such sums, the County will make payment thereof to the United States or any of its successors or assigns constructing such structures and facilities across, over and upon said lands. As an alternative to payment, the County at its sole cost and expense and within time limits established by the Government, may remove or adapt facilities constructed and operated by it on said right-of-way to accommodate the aforementioned structures and facilities of the United States. The County shall bear the cost to the Government of any costs occasioned by the failure of the County to remove or adapt its facilities within the time limits specified.

c. There is also reserved to the United States the right of its officers, agents, employees, licensees and permittees, at all proper times and places freely to have ingress to, passage over, and egress from all of said right-of-way for the purpose of exercising, enforcing and protecting the rights reserved herein.

d. That the United States, its officers, agents and employees and its successors and assigns, shall not be held liable for any damage to the County's improvements or works by reason of the



exercise of the rights here reserved; nor shall anything contained in this paragraph be construed as in any manner limiting other reservations in favor of the United States contained in this agreement.

8. The County hereby agrees to indemnify and hold harmless the United States, its agents and employees, from any loss or damage and from any liability on account of personal injury, death, or property damage, or claims for personal injury, death, or property damage of any nature whatsoever and by whomsoever made arising out of the County's activities under this agreement.

9. The County will use, operate and maintain the land covered by this easement in such a manner as not to interfere with the operation and maintenance of the Boise Project, Payette Division; or with the administration of adjacent land owned by the United States.

10. The County shall reseed and establish grass on the road cuts where erosion may occur. These areas will be determined by the Contracting Officer.

11. The provisions of this easement shall apply to and bind the successors and assigns of the parties hereto, but no assignment or transfer of this easement or any part or interest therein shall be valid until approved by the Contracting Officer.

12. This easement shall terminate:

a. At the option of the Contracting Officer if the County fails to comply with any of the terms and conditions thereof.

b. At the option of the Contracting Officer upon discontinuance by the County of the use of the land covered by this easement for the purposes herein stated for a period of twelve (12) consecutive months.

c. At the request by the County by giving written notice to the Contracting Officer.

13. The County hereby agrees as follows:

a. To comply with Title VI (Section 601) of the Civil Rights Act of July 2, 1964 (78 Stat. 241) which provides that "No person in the United States shall, on the grounds of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be subject to discrimination under any program or activity receiving Federal financial assistance." and to be bound by the regulations of the Department of the Interior for the effectuation thereof, as set forth in 43 CFR 17.



b. To obligate its subcontractors, subgrantees, transferees, successors in interest, or any other participants receiving Federal financial assistance hereunder, to comply with the requirements of this provision.

14. No Member of or Delegate to Congress or Resident Commissioner shall be admitted to any share or part of this contract or to any benefit that may arise herefrom. This restriction shall not be construed to extend to this contract if made with a corporation company for its general benefit.

IN WITNESS WHEREOF, the parties hereto have executed this easement the day and year first above written.

THE UNITED STATES OF AMERICA

By *Adrian Whitt*  
Regional Director, PN Region  
Bureau of Reclamation  
Box 043 - 550 West Fort Street  
Boise, Idaho 83724

CANYON COUNTY, STATE OF IDAHO

By *Earl S. ...*  
Chairman of the Board of  
County Commissioners

*BA*  
Commissioner

*...*  
Commissioner

(SEAL)

Attest:

*Bill A. Staben*  
Clerk *Rec'd. 5/1/52*



This agreement has been considered and is hereby approved  
by the BLACK CANYON IRRIGATION DISTRICT this 6th day of June  
1978 .

BLACK CANYON IRRIGATION DISTRICT

By Robert Hill

Title Manager

Attest:

Mary K. Hopkins  
Secretary of the Board





STATE OF IDAHO )  
 ) ss  
County of Ada )

On this 27<sup>th</sup> day of *June*, 1978, personally  
appeared before me *Rodney J Vissia*, to me known to  
be the official of the UNITED STATES OF AMERICA that executed  
the within and foregoing instrument, and acknowledged said instrument  
to be the free and voluntary act and deed of said United States,  
for the uses and purposes therein mentioned, and on oath stated  
that he was authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and  
affixed my official seal the day and year first above written.



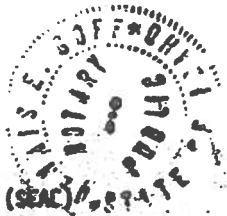
*John H. Welch*  
Notary Public in and for the  
State of Idaho  
Residing at: *Boise*  
My commission expires: *6.1.79*  
My Bond Expires June 10, 1979

\*\*\*

STATE OF IDAHO )  
 ) ss  
County County )

On this 22<sup>nd</sup> day of *June*, 1978, personally  
appeared before me *Earl Giles*, *Bill Anderson*, and  
*Stan G. P. Lehou*, to me known to be the members of the Board of  
Commissioners, Canyon County, Idaho, that executed the within  
and foregoing instrument, and acknowledged said instrument to be  
the free and voluntary act and deed of said County for the uses  
and purposes therein mentioned, and on oath stated that they were  
authorized to execute said instrument.

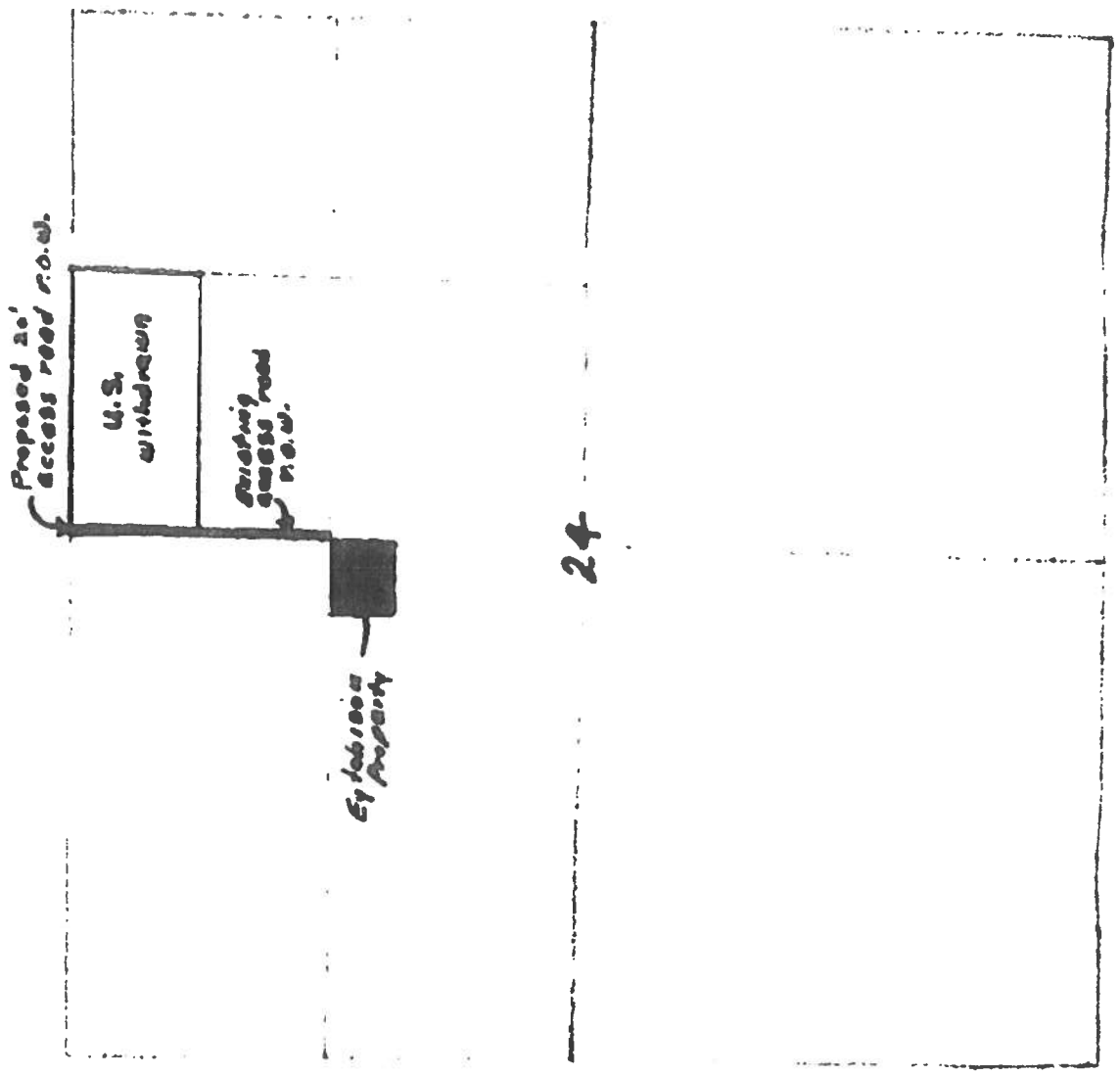
IN WITNESS WHEREOF, I have hereunto set my hand and  
affixed my official seal the day and year first above written.



*Earl Giles*  
Notary Public in and for the  
State of Idaho  
Residing at: *Boise*  
My commission expires: *8/20/78*



N 1/2 NW 1/4 NE 1/4 Sec 24 T5N R4W B.M.



24

Exhibit "A"







**PARTIAL WITHDRAWAL OF AMENDMENT REQUEST**  
**FOR GOODSON ADMINISTRATIVE LAND SPLIT**  
**AD2021-0060/RD2021-0021**

Please withdraw the following amendment suggestions from the list below as of this date: 02/08/2024

- Page 1/following comments were received/Black Canyon. Replace the following statement of: Black Canyon Irrigation will require a crossing agreement to be in place at time of building permits applied for with the statement provided by Black Canyon Irrigation District's letter of acknowledgement with the requirements written under approval conditions.
- New statement to read as follows: Black Canyon Irrigation will require all irrigation easements to be retained free of obstructions and water canal to all properties.

■ OR

- New Statement to read as follows: A crossing agreement to be in place at time of building permits applied for.
- Page 2/under decision/modify statement #7) Crossing agreement with Black Canyon Irrigation must be in place prior to the issuance of any building permit(s).
- New statement to read as follows: Crossing agreement must be in place prior to the issuance of any building permit(s) to Parcel #4 as cited on record of survey for Goodson Family Trust.





Canyon County  
Development Services  
111 North 11th Avenue, #140  
Caldwell, ID 83605

Received  
2-8-24  
7:45am  
[Signature]



## United States Department of the Interior



BUREAU OF RECLAMATION  
Snake River Area Office  
230 Collins Road  
Boise, ID 83702-4520

IN REPLY REFER TO:

MSF-6112  
2.2.3.19

**FEB 07 2024**

Goodson Family Trust  
C/O Destiny Platt  
19114 Galloway Rd  
Caldwell, ID 83607

Subject: Goodson Family Trust, Use Authorization, Contract No. 24-07-11-L6062,  
Culvert and Headwall Crossings, D. 5.9 and D.5.9-5.2 Lateral, Section 24,  
T5N, R4W, B.M., Boise Project, Idaho.

Dear Ms. Platt:

Enclosed for the Goodson Family Trust's records is an executed original of the subject Use Authorization.

Please contact Mr. Reece Randall, Realty Specialist, at (208) 383-2228, or rcrandall@usbr.gov, if we can be of further assistance.

If you are deaf, hard of hearing, or have a speech disability, please dial 7-1-1 to access telecommunications relay services.

Sincerely,

ACTING FOR

Bryan R. Horsburgh  
Deputy Area Manager

Enclosure

cc: Mr. Carl Hayes  
Manager  
Black Canyon Irrigation District  
P.O. Box 226  
Notus, ID 83656  
(w/encl)

INTERIOR REGION 9 • COLUMBIA-PACIFIC NORTHWEST

IDAHO, MONTANA\*, OREGON\*, WASHINGTON

\* PARTIAL



RETURN TO:  
Bureau of Reclamation  
Attn: MSF-6112  
230 Collins Road  
Boise, ID 83702

Contract No. 24-07-11-L6062

**UNITED STATES  
DEPARTMENT OF THE INTERIOR  
BUREAU OF RECLAMATION  
Payette Division, Boise Project, Idaho**

**USE AUTHORIZATION**

**THIS USE AUTHORIZATION**, hereinafter referred to as Authorization, made this 7 day of February, 2024, pursuant to the Act of Congress June 17, 1902 (32 Stat. 388; 43 U.S.C. §391), and acts amendatory thereof or supplementary thereto, collectively referred to as the Federal Reclamation Laws, specifically, Section 10 of the Reclamation Project Act of 1939 (53 Stat. 1196) and pursuant to regulations promulgated under 43 CFR Part 429, between the **UNITED STATES OF AMERICA**, hereinafter called the **United States**, represented by the official executing this Use Authorization, and **The GOODSON FAMILY TRUST**, herein after referred to as **APPLICANT**.

WITNESSETH, THAT:

WHEREAS, in connection with the Payette Division, Boise Project, Idaho, the United States, by and through the Bureau of Reclamation, Department of the Interior, hereinafter referred to as Reclamation, has, pursuant to Federal Reclamation Laws, constructed, operates, and maintains certain irrigation works now or hereinafter authorized by Congress and referred to as project facilities; and

WHEREAS, said project facilities, referred to as the D 5.9-5.2 and the D 5.9, are operated and maintained by the Black Canyon Irrigation District, hereinafter referred to as the District; and

WHEREAS, Reclamation and the District's primary concern is the continued safe and effective operation of said Federal facilities; and

WHEREAS, Applicant desires to construct, install, operate, maintain and to replace the existing RCP culvert with a 40' long by 24" diameter culvert with headwalls crossing the D 5.9-5.2; to install headwalls on the D 5.9 lateral; and to install a new 20' long by 36" diameter culvert with headwalls crossing the D 5.9 Lateral, for which Reclamation has exercised a right-of-way reserved to the United States for ditches and canals in accordance with the Act of August 30, 1890 (26 Stat. 391; 43 U.S.C. § 945); and

WHEREAS, the proposed use has been reviewed for the purpose and location as stated herein.

NOW, THEREFORE, in consideration of the mutual covenants and following conditions, Reclamation and Applicant agree as follows:



1. LEGAL

The improvement(s) would cross the Federal facility in the following location:

The D 5.9-5.2 Lateral in a portion of SW¼NW¼ and NW¼SW¼, Section 24, Township 5 North, Range 4 West, Boise Meridian, in the manner and at the location shown on Exhibits 1-10 attached hereto.

The D 5.9 Lateral in a portion of SE¼NW¼ and NE¼SW¼, Section 24, Township 5 North, Range 4 West, Boise Meridian, in the manner and at the location shown on Exhibits 1-10 attached hereto.

The D 5.9 Lateral in a portion of SW¼NE Section 24, Township 5 North, Range 4 West, Boise Meridian, in the manner and at the location shown on Exhibit 1-10 attached hereto.

**All culverts are to be installed via the District's design standards on Exhibit 6**

2. SUBJECT TO FEE OWNER APPROVAL

Unless the Applicant is the underlying fee owner, Applicant will acquire the necessary permission from the underlying landowner.

3. FEES

The Applicant has provided an application to obtain this Use Authorization in conformance with Title 43 of the Code of Federal Regulations, Part 429 and a payment of \$100.00 for the application fee. In accordance with 43 CFR 429.26 (a) (9), administrative fees are being waived. However, Reclamation reserves the right to recover additional and related administrative costs if the need arises for monitoring, to ensure compliance with the conditions noted above.

4. CONDITIONS

To ensure that the proposed project does not interfere with Reclamation's dominant interest, the following conditions must be adhered to:

a. Reclamation has a contract with the District to provide irrigation water. Applicant must ensure unrestricted flow and quality of water in the easement or right-of-way so that the proposed project does not interfere with Reclamation's or the District's ability to fulfill its contractual obligation to deliver water. Applicant shall coordinate with the District at least 7 days prior to the onset of implementation/construction. This office can be reached at (208) 459-4141. All work must be performed during the non-irrigation season (November 1 through March 15), or as determined by the District.

b. Any obstructions or impedance to the flow of project waters or damages to the property or interests of the United States or the District, caused by the requested use will be promptly addressed at Applicant's expense. Obstructions may occur from, but are not limited to, impacts from trees, shrubs, or other vegetation removal, erosion, rutting or other types of soil deterioration.

c. Applicant agrees that its use will not restrict access to, or diminish Reclamation's or the District's ability to, operate and maintain its facilities, nor will it interfere with Reclamation's ability to exercise full use and enjoyment of its dominant interest.



- d. Reclamation has developed general guidelines for the proposed crossing of Reclamation facilities. Reclamation's *Engineering and O&M Guidelines for Crossings* publication can be found at <https://www.usbr.gov/pn/snakeriver/landuse/authorized/crossings.pdf>.
- e. Applicant accepts the requested use location(s) in the existing condition as of the date of this document, Applicant shall keep the premises in a neat and orderly condition at all times, and shall comply with all applicable municipal, County, State and Federal laws, rules and regulations.
- f. Implementation/Construction, operation, and maintenance of the use and associated improvements is at Applicant's expense.
- g. Implementation/Construction shall be halted immediately if Reclamation or the District determines that the conditions are not being followed, or if it becomes apparent that damage to the Federal interests may result from implementation/construction.
- h. The requested use shall not interfere with the District, or any other authorized personnel, in the performance of their duties. If the operation, maintenance, or construction in the Federal easement or right-of-way for public works now or hereafter authorized by the Congress should require removal or relocation of the requested use, this removal or relocation will be at Applicant's expense.
- i. Applicant agrees to indemnify the United States for, and hold the United States and all of its representatives harmless from, all damages resulting from suits, actions, or claims of any character brought on account of any injury to any person or property arising out of any act, omission, neglect, or misconduct in the manner or method of performing any construction, care, operation, maintenance, supervision, examination, inspection, or other activities of Applicant addressed in this Use Authorization. Reclamation and the District shall not be responsible for any loss or damage to property arising from issuance of this Use Authorization, including but not limited to damages to growing crops, animals, and machinery; or injury to Applicant's associates, officers, agents, employees, or any others who are on the premises; or for damages or interference caused by natural phenomena.
- j. Should Applicant want to perform substantial reconstruction of the Federal facility identified in this Use Authorization, this will require specific permission not granted by this Use Authorization. Applicant shall submit an application for the requested use, with a complete project proposal to Reclamation no later than ninety (90) days prior to proposed construction. Applicant agrees to notify in writing and by phone the Middle Snake Field Office, Bureau of Reclamation, 230 N. Collins Road, Boise, ID 83702, (208) 383-2200. Reclamation will review the application for current Federal, State and local compliance and guidelines, including the National Environmental Policy Act. Applicant agrees to attend any on-site investigations if requested by Reclamation.
- k. Applicant shall protect all survey monuments found within the easement or right-of-way. Survey monuments include, but are not limited to, General Land Office (GLO) and Bureau of Land Management (BLM) Cadastral Survey Corners, reference corners, witness points, geodetic benchmarks and triangulation stations, military control monuments, Reclamation markers, and any other survey monuments. In the event of obliteration or disturbance of any of the above, Applicant shall immediately report the incident, in writing, to Reclamation and the appropriate survey authority. Where GLO or BLM monuments or references are obliterated, Applicant shall coordinate with the BLM to restore the disturbed monument or references. Applicant shall provide a copy of any resultant survey to Reclamation. Applicant shall be responsible for all associated costs.





l. Applicant agrees not to allow contamination or pollution of Federal lands, waters, or facilities by its employees or agents and shall take reasonable precautions to prevent such contamination or pollution from the requested use. Applicant agrees to comply with all applicable Federal, State, and local laws and regulations, and Reclamation policies and directives and standards, existing or hereafter enacted or promulgated, concerning any hazardous material that will be used, produced, transported, stored, or disposed of on the site of the use. Upon discovery of any event which may or does result in contamination or pollution of Federal lands, waters, or facilities, Applicant agrees to initiate any necessary emergency measures to protect health, safety, and the environment, and shall report such discovery and full details of the actions taken to the Middle Snake Field Office, Bureau of Reclamation, 230 N. Collins Road, Boise, ID 83702, (208) 383-2200 and the Black Canyon Irrigation District, P.O. Box 226, Notus, ID, 83656, (208) 459-4141. Reporting shall be within twenty-four (24) hours of occurrence or discovery of the action. Written documentation with full details of the event and the necessary emergency measures taken shall be sent no later than fifteen (15) days after the event. An emergency is any situation that requires immediate action to reduce or avoid endangering public health, safety, or the environment.

m. Depending on the complexity of the proposed use, Applicant shall furnish Reclamation and the District a copy of the as-built drawing and/or survey upon completion of installation/construction as agreed upon by Reclamation and Applicant. The survey shall provide measured distances or other appropriate location information to show the exact location of the use.

n. This use authorization does not grant any water rights or rights-of-way. This use authorization does not supersede any existing easements, rights-of-way, or reservations.

o. Applicant acknowledges and agrees that this Use Authorization is not and shall not be interpreted as, the authorization of any other use, encroachment or activity upon Project facilities or land except as expressly stated herein. In addition, the Use Authorization shall not in any way be construed as authorization to construct, install, or modify of any facilities, which would permit, allow or enable discharge of storm water run-off into the facilities or works of the United States or the Board/District. Notwithstanding anything to the contrary contained in this Use Authorization, neither the United States nor the Board/District approves, authorizes, permits, allows, or accepts any non-agricultural stormwater discharge into any facility owned, operated, and/or maintained by the United States or the Board/District, whether it be through a pipe, conduit, culvert, canal, lateral, drain or other ditch, or surface or ground water, absent the United States' prior written permission and Board's/District's concurrence per Reclamation regulations and policy. Applicant acknowledges that the authorized works identified in this Use Authorization does not permit nor allow any nonagricultural water discharge to enter the facility.

p. Applicant is aware that if the aforementioned conditions are not followed and the project jeopardizes Reclamation's or the District's right and ability to operate and maintain the Federal facility, during construction, or at a later date, Reclamation will seek full and just compensation.

q. Each provision of this use authorization shall be interpreted in such a manner as to be valid under applicable law, but if any provision of this use authorization shall be deemed or determined by competent authority to be invalid or prohibited hereunder, such provision shall be ineffective and void only to the extent of such invalidity or prohibition, but shall not be deemed ineffective or invalid as to the remainder of such provision or any other remaining provisions, or of the use authorization as a whole

r. (1) The grantee agrees to indemnify the United States for, and hold the United States and all of its representatives harmless from, all damages resulting from suits, actions, or claims of any character brought



on account of any injury to any person or property arising out of any act, omission, neglect, or misconduct in the manner or method of performing any construction, care, operation, maintenance, supervision, examination, inspection, or other activities of the grantee.

(2) The United States, acting through Reclamation, Department of the Interior, reserves rights to construct, operate, and maintain public works now or hereafter authorized by the Congress without liability for termination of the use authorization or other damage to the grantee's activities or facilities.

(3) Reclamation may, at any time and at no cost or liability to the United States, terminate any use authorization in the event of a natural disaster, a national emergency, a need arising from security requirements, or an immediate and overriding threat to public health and safety.

(4) Reclamation may, at any time and at no cost or liability to the United States, terminate any use authorization for activities other than existing authorized private exclusive recreational or residential use as defined under § 429.2 if Reclamation determines that any of the following apply:

(i) The use has become incompatible with authorized project purposes, project operations, safety, and security;

(ii) A higher public use is identified through a public process described at § 429.32(a)(1); or

(iii) Termination is necessary for operational needs of the project.

(5) Reclamation may, at any time and at no cost or liability to the United States, terminate any use authorization if Reclamation determines that the grantee has failed to use the use authorization for its intended purpose.

(6) Reclamation may, at any time and at no cost or liability to the United States, terminate any use authorization if the grantee fails to comply with all applicable Federal, State, and local laws, regulations, ordinances, or terms and conditions of any use authorization, or to obtain any required permits or authorizations.

(7) The Regional Director may, upon advice of the Solicitor, modify these terms and conditions with respect to the contents of the use authorization to meet local and special conditions.

## 5. NOTICES

a. Notices served under this Use Authorization shall be in writing and may be delivered by personal delivery; via recognized delivery services such as United Parcel Services (UPS) or Federal Express (FedEx); or by deposit in the United States Mail, postage prepaid, as certified mail, return receipt requested, and addressed as follows:

| UNITED STATES                                                                                         | APPLICANT                                                                                   | DISTRICT                                                                                         |
|-------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------|
| Deputy Area Manager<br>Bureau of Reclamation<br>230 Collins Road<br>Boise, ID 83702<br>(208) 383-2200 | Agent<br>Goodson Family Trust<br>19114 Galloway Rd.<br>Caldwell, ID 83607<br>(208) 713-2092 | Manager<br>Black Canyon Irrigation District<br>P.O. Box 226<br>Notus, ID 83656<br>(208) 459-4141 |



b. Any notice delivered by personal delivery shall be deemed received by the addressee upon actual delivery. Any notice delivered by certified mail or delivery service shall be deemed received by the addressee on the third business day after deposit. The addresses to which notices are to be delivered may be changed by giving notice of such change in accordance with this paragraph. This paragraph shall apply where notice is required under this Use Authorization, and no specific requirements are set forth. Where this Use Authorization provides for a specific notice in a different manner, the more specific requirements shall prevail.

c. The parties hereby designate the Deputy Area Manager of the Snake River Area Office, Manager of the Black Canyon Irrigation District, and Agent of the Goodson Family Trust, as their respective authorized representatives for this Use Authorization. These individuals shall have authority to take any action allowed or required under this Use Authorization, on behalf of their employer. The parties may change their designated representatives at any time by giving notice of such change in accordance with this Article.

6. INCREASED COSTS

If the construction, operation, or maintenance of any or all of such structures and facilities of the United States across, over, under, or upon said right of way should be made more expensive by reason of the existence of improvements or works of Applicant thereon, such additional expense is to be estimated by the Reclamation, whose estimate is to be final and binding upon the parties hereto. Applicant will make payment thereof to the United States or any of its successors or assigns within (30) days after demand is made upon Applicant for payment of any such sums. As an alternative to payment, Applicant, at its sole cost and expense and within the time limits established by the United States, may remove or adapt its facilities constructed and operated by it on said right of way to accommodate the aforementioned structures and facilities of the United States. Applicant shall bear any costs incurred by the United States occasioned by the failure to remove or adapt its facilities within the time limits specified.

7. OFFICIALS NOT TO BENEFIT

No Member of Congress shall be admitted to any share or part of any contract or agreement made, entered into, or accepted by or on behalf of the United States, or to any benefit to arise thereupon.

IN WITNESS WHEREOF, the parties hereto have executed this Use Authorization the day and year first above written.

**GOODSON FAMILY TRUST**

By [Signature]  
Title Authorized Agent

ACTING FOR

**UNITED STATES OF AMERICA**

By [Signature]  
Bryan R. Horsburgh  
Deputy Area Manager  
Bureau of Reclamation  
230 Collins Road  
Boise, Idaho 83702-4520



DISTRICT:

This Use Authorization has been considered and is hereby approved by **Black Canyon Irrigation District** this

7<sup>th</sup> day of February, 2024.

Signed By *Carl Hayes*

Title *Manager*

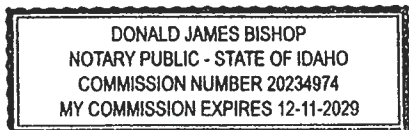
ACKNOWLEDGEMENT

STATE OF IDAHO     )  
                                          )ss  
County of Canyon     )

On this 7 day of February, 2024, personally appeared before me, the undersigned notary, Carl Hayes, known to me to be the official of the **Black Canyon Irrigation District** who executed the within and foregoing instrument and acknowledged said instrument to be the free and voluntary act and deed of said District, for the uses and purposes therein mentioned, and on oath stated that he was authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

(SEAL)



*Donald Bishop*  
Notary Public in and for the  
State of Idaho  
Residing at *Boise, ID*  
My commission expires *12/11/2029*





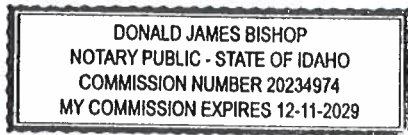
ACKNOWLEDGEMENT

STATE OF Idaho )  
 )ss  
County of Ada )

On this 7 day of February, 20 24, personally appeared before me, the undersigned notary, Destiny Platt, known to me to be the official of the **Goodson Family Trust**, who executed the within and foregoing instrument and acknowledged said instrument to be the free and voluntary act and deed of said Goodson Family Trust, for the uses and purposes therein mentioned, and on oath stated that s/he was authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

(SEAL)



*Donald Bishop*

Notary Public in and for the  
State of Idaho  
Residing at Boise, ID  
My commission expires 12/11/2029

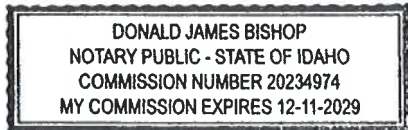
ACKNOWLEDGEMENT

STATE OF IDAHO )  
 )ss  
County of Ada )

On this 7 day of February, 20 24, personally appeared before me Charles Dillon, to me known to be the official of the **United States of America** that executed the within and foregoing instrument and acknowledged said instrument to be the free and voluntary act and deed of said United States for the uses and purposes therein mentioned, and on oath stated that s/he was authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

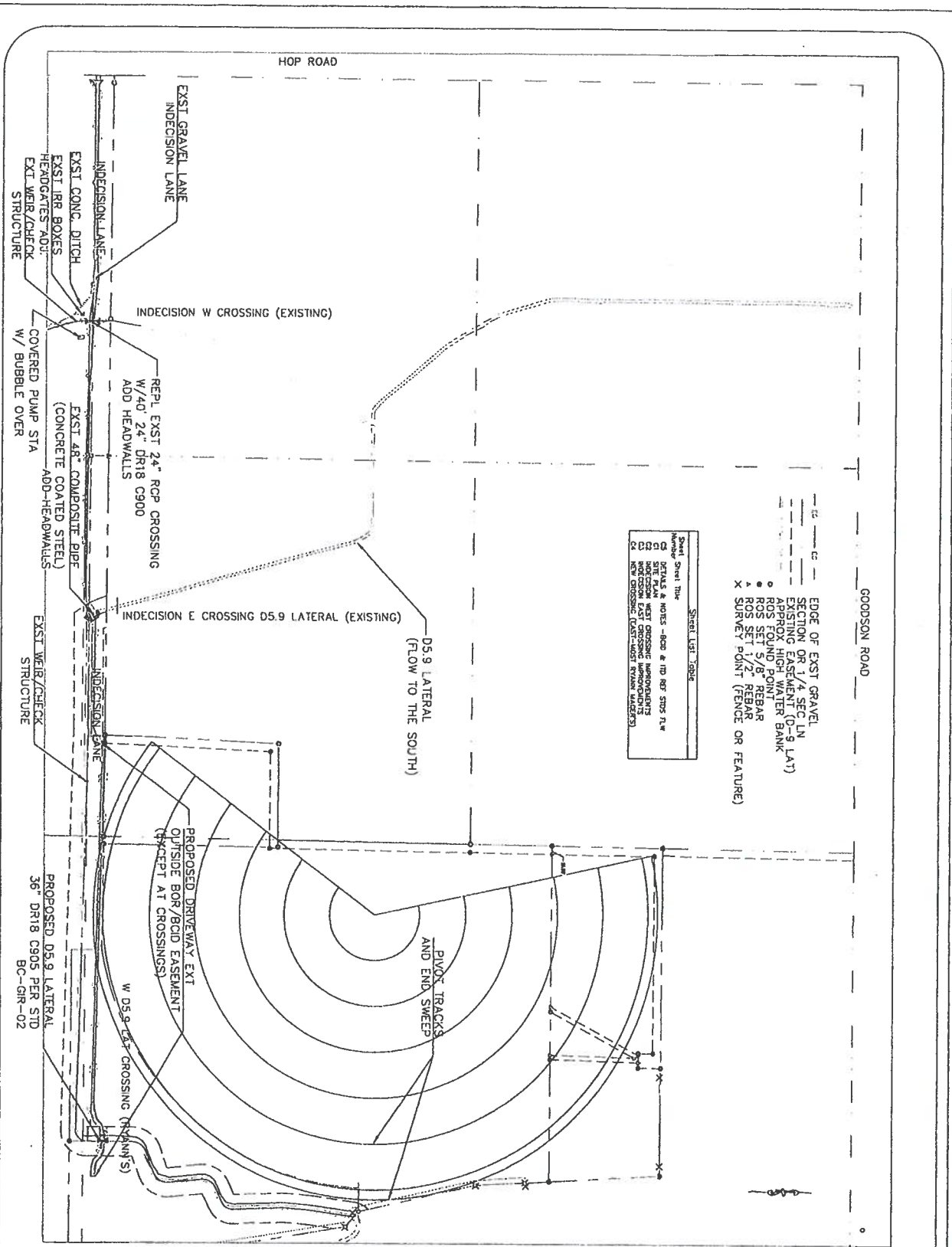
(SEAL)



*Donald Bishop*

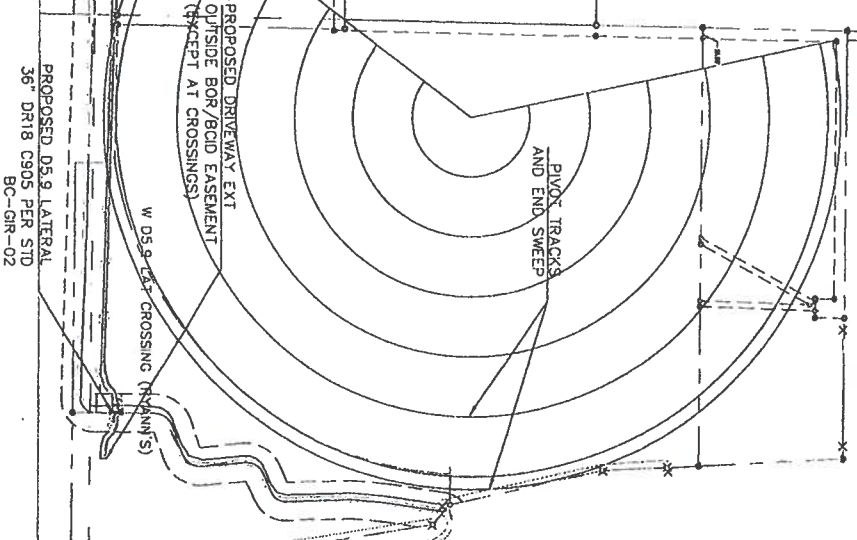
Notary Public in and for the  
State of Idaho  
Residing at Boise, ID  
My commission expires 12/11/2029





- EDGE OF EXIST GRAVEL
- SECTION OR 1/4 SECTION EASTMENT (D-9 LAT)
- APPROX HIGH WATER BANK
- ROS FOUND POINT
- ROS SET 5/8" REBAR
- ▲ ROS SET 1/2" REBAR
- X SURVEY POINT (FENCE OR FEATURE)

| Sheet | Sheet List Table                           |
|-------|--------------------------------------------|
| 01    | DRIVELAYS & NOTES - RCD & ITP REF STDS PLV |
| 02    | INDECISION WEST CROSSING IMPROVEMENTS      |
| 03    | INDECISION WEST CROSSING IMPROVEMENTS      |
| 04    | NEW CROSSING (LAST-CROSS TRACK #4275)      |



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 Scarborough, Ontario M1V 4R7  
 (416) 291-0000  
 www.stewartlandsurveying.com

**THOMAS FAMILY ADMINISTRATIVE LOT SPLITS**

**SITE PLAN/OVERVIEW IRRIGATION CROSSINGS**  
 ONE NEW  
 TWO IMPROVED

**PAUL THOMAS (OOO5 PMA 1957)**  
 208 918 6335  
 paul@pma.com

**D5.9 LATERAL CROSSING INDECISION LANE @ CANTON COUNTY @ (BETWEEN GOODSON & DULOW)**

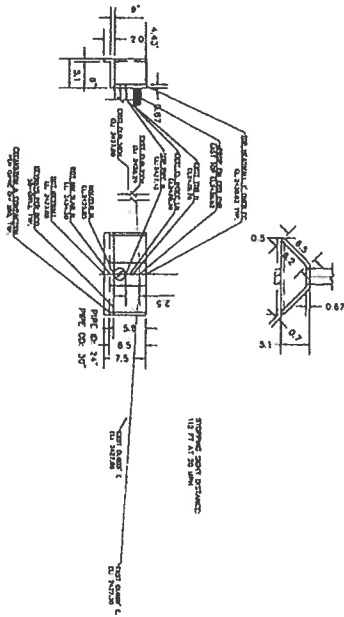
**201-M-THOMAS**  
 11/1/2023  
 1" = 150'

**C-01**



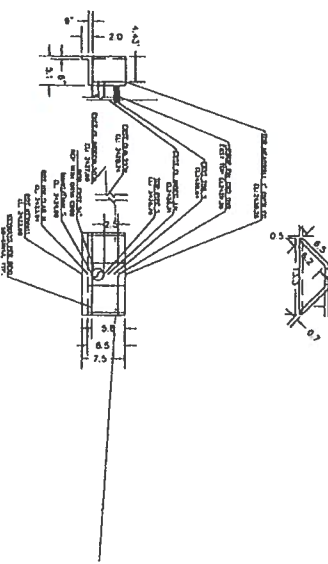
INDICISION WEST  
ENGINEERING AND DESIGN

INDICISION W. REPLACE EXISTING 24" REINFORCED CONCRETE PIPE W/4" 24" DR18 CORE. N. HEADWALL.



**REINFORCEMENT:**  
 1. 4" DIA. @ 12" OC AND WITHIN 3" OF JOINT POINTS AND WALL CORNERS.  
 2. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.  
 3. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.  
 4. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.  
 5. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.  
 6. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.  
 7. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.  
 8. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.  
 9. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.  
 10. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.

INDICISION W. REPLACE EXISTING 24" REINFORCED CONCRETE PIPE W/4" 24" DR18 CORE. S. HEADWALL.



**REINFORCEMENT:**  
 1. 4" DIA. @ 12" OC AND WITHIN 3" OF JOINT POINTS AND WALL CORNERS.  
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 10. 4" DIA. @ 12" OC AND WITHIN 3" OF TOP AND BOTTOM OF WALL. TYP.

SCALE: 1"=4'

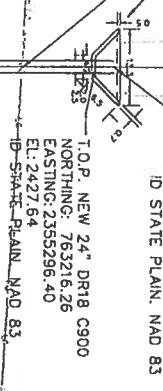
INDICISION WEST  
ENGINEERING AND DESIGN

EXISTING  
HEADGATE

NEW HEADWALL S. EXT. 1'  
MIN BEYOND HW BANK, TYP.

24" DR18 C900 @ 0.90% SLOPE

EXIST GRAVEL LANE  
INDICISION LANE



SURVEYED T.O.P. EXIST RCP  
 NORTHING: 763218.91  
 EASTING: 2355296.80  
 EL: 2427.54  
 ID STATE PLAN. NAD 83

T.O.P. NEW 24" DR18 C900  
 NORTHING: 763176.26  
 EASTING: 2355296.38  
 EL: 2427.64  
 ID STATE PLAN. NAD 83

SURVEYED T.O.P. EXIST RCP  
 NORTHING: 763173.55  
 EASTING: 2355296.56  
 EL: 2427.85  
 ID STATE PLAN. NAD 83

EXIST IRR BOXES  
HEADGATES ADJ.

COVERED PUMP STA  
W/ BUBBLE OVER

EXIST WEIR/CHECK  
STRUCTURE  
TOW EL 2428.81 W  
2428.77 E

SCALE: 1"=4'



THOMAS FAMILY  
ADMINISTRATIVE  
LOT SPLITS

INDICISION WEST  
IRRIGATION CROSSING  
(24" RCP - ADD  
HEADWALLS)



**ORTON  
ENGINEERING**

7238 Strawberry Place  
Boise, ID 83725  
Phone: 208 350 9422  
brvorteron@ortoneng.com

Lead Surveyor  
 Frederick Lee, Surveyor P.E.  
 License No. 12345  
 (208) 350-9422  
 FREEDERICK.LEE@ORTONENG.COM

| No. | Revision/Notes   | Date |
|-----|------------------|------|
| 01  | Issue for Review |      |
| 02  | Issue for Review |      |
| 03  | Issue for Review |      |
| 04  | Issue for Review |      |
| 05  | Issue for Review |      |

PLA. THOMAS (2008 F.M. 105)  
 208 919 0255  
 lvs@plathomas.com

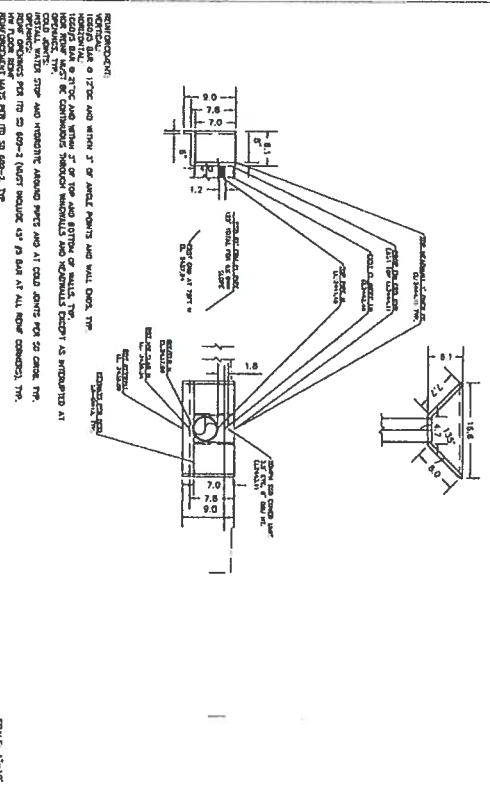
05.9 LATERAL CROSSING  
 INDICISION LANE  
 CANYON COUNTY, ID  
 (SHEETED CROSSING & BUBBLE)

Project: 2301-IL-THOMAS  
 Date: 11/1/2023  
 At Noted: C-02

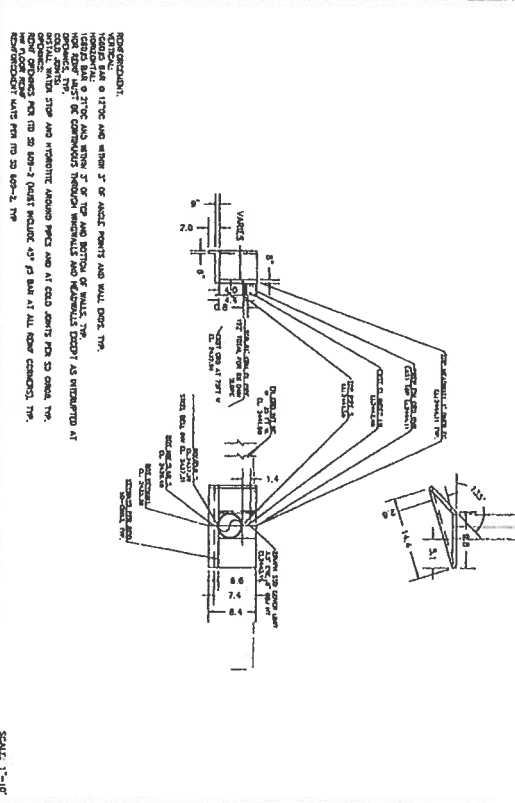


SECTION EAST  
APPROXIMATE POSITION  
OF CONCRETE HEADWALL  
CONCRETE HEADWALL

4. HEADWALL FOR CROSSING OF NEW CONCRETE COATED STEEL CANSING STEEL PIPE

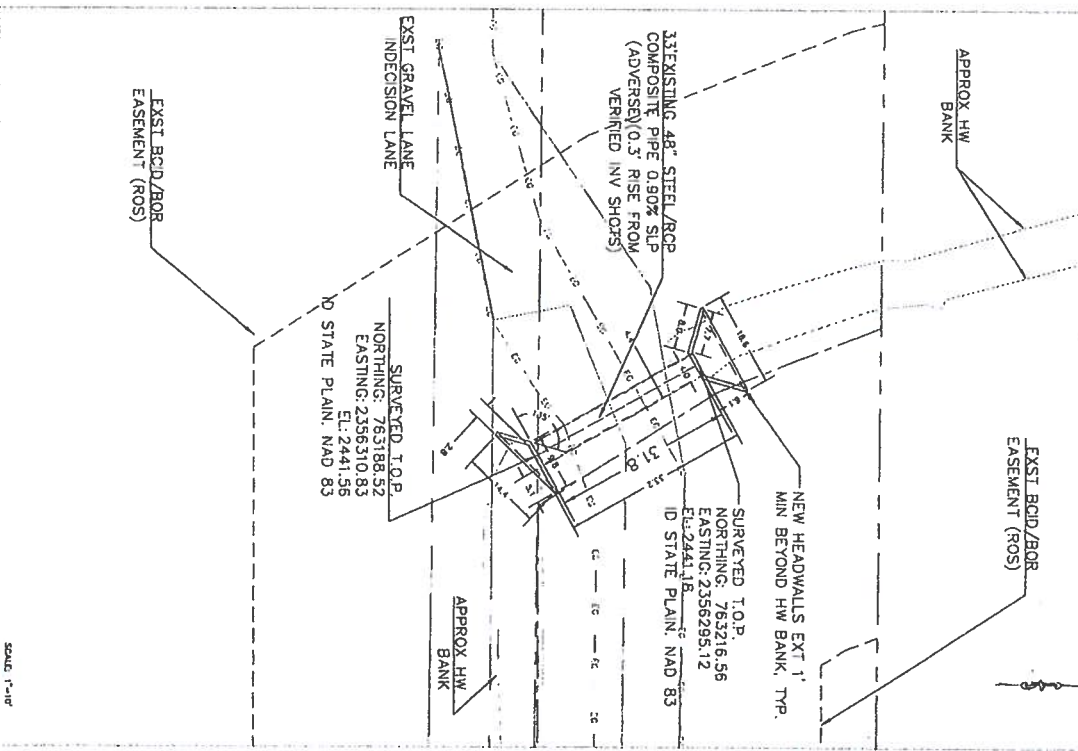


5. HEADWALL FOR CROSSING OF NEW CONCRETE COATED STEEL CANSING STEEL PIPE



SCALE: 1"=1'-0"

4. HEADWALL FOR CROSSING OF NEW CONCRETE COATED STEEL PIPE



SCALE: 1"=1'-0"



THOMAS FAMILY  
ADMINISTRATIVE  
LOT SPLITS



**ORTON ENGINEERING**  
INCORPORATED  
12345 Main Street  
Boise, ID 83725  
Phone: 208 350 9422  
brv@ortonengineering.com

Large Survey  
Singer  
12345 Main Street  
Boise, ID 83725  
Phone: 208 350 9422  
brv@ortonengineering.com

| No. | Revision/Notes   | Date |
|-----|------------------|------|
| 01  | Issue for Review |      |
| 02  | Issue for Review |      |
| 03  | Issue for Review |      |
| 04  | Issue for Review |      |
| 05  | Issue for Review |      |

DATA THOUS (COORD. F.M. 1983)  
2008 0119 0119  
lucy@pds1.csi@pds.com

05.9 LATERAL CROSSING  
INDECISION LANE  
CANYON COUNTY, ID  
(BETWEEN COOSON & WALDMAN)

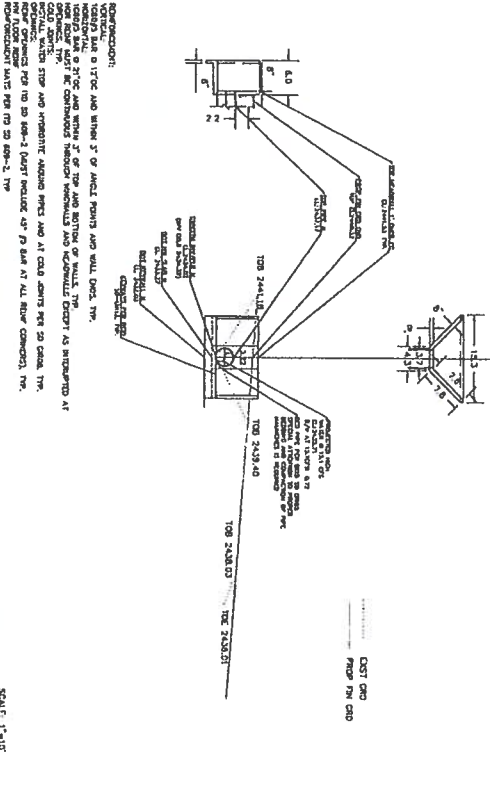
230104-THOUS  
11/1/2023  
C-03  
As Noted





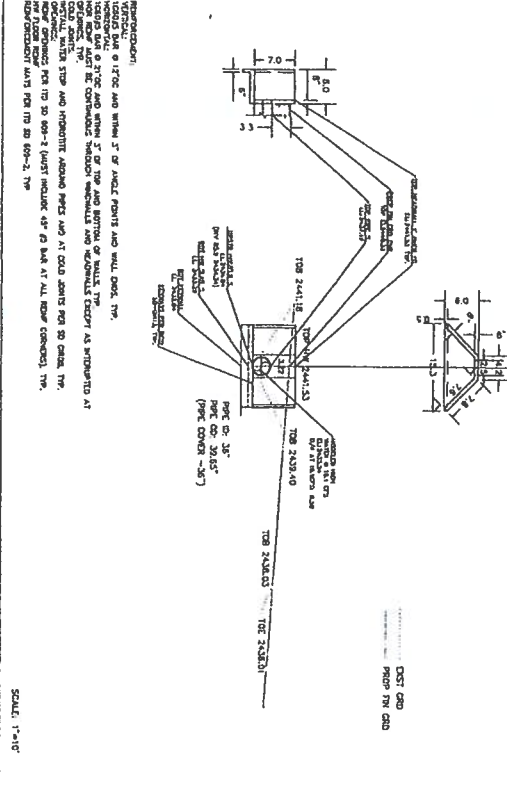
NEW PROPOSED CROSSING OF ROAD/UTILITY

NEW 36" DRAIN C-500 CULVERT NORTH/CONCRETE/UTILITY HEADWALL



SCALE: 1"=10'

NEW 36" DRAIN C-500 CULVERT SOUTH/UTILITY HEADWALL



SCALE: 1"=10'

THOMAS FAMILY ADMINISTRATIVE LOT SPLITS



NEW D5.9 CROSSING IRRIGATION CROSSINGS ONE NEW TWO IMPROVED



**ORTON ENGINEERING**  
INCORPORATED  
12345 Main Street  
Portland, OR 97201  
Phone: 503 555 1234  
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**David Sturges**  
Professional Engineer  
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Phone: 503 555 1234  
www.ortoneng.com

| No. | Revision/Issued | Date      |
|-----|-----------------|-----------|
| 01  | Initial Issue   | 11/1/2023 |
| 02  | Revised         | 11/1/2023 |
| 03  | Revised         | 11/1/2023 |
| 04  | Revised         | 11/1/2023 |
| 05  | Revised         | 11/1/2023 |

**PAUL THOMAS (GROSS FARM TRST)**  
208 918 0358  
huyehong11@spidynmail.com

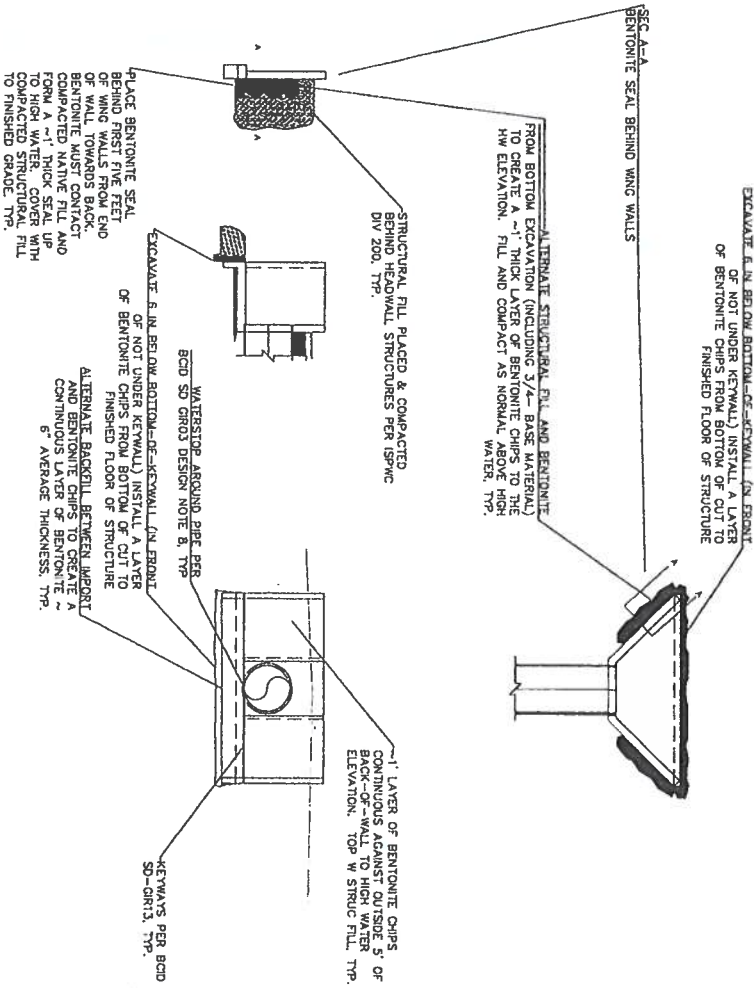
**D5.9 LATERAL CROSSING INTERSECTION LANE**  
(BENTON COUNTY, ID (BENTON CROSSING & BULLOUM))

Project: 2301-HA-103045  
Date: 11/1/2023  
As Noted  
**C-04**



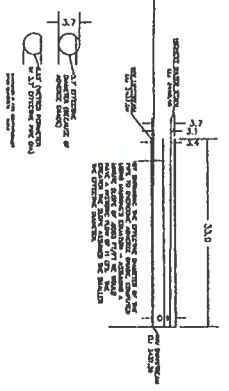
- PROJECT NOTES:**
1. ALL WORK SHALL CONFORM TO BIDD STANDARDS EXCEPT AS SPECIFICALLY AUTHORIZED BY BIDD
  2. PIPE MATERIAL MUST BE IN CONFORMANCE WITH BIDD SD G102 FOR TRAVELED WAYS WITH WHEEL LOADING.
  3. PIPE BEDDING SHALL BE PER BIDD SD G103.
  4. REINFORCEMENT SHALL BE PER MORE STRICT OF BIDD SD G111 & SD G112 (WHICH EVER IS MORE STRINGENT) AND STANDARDS FOR PUBLIC WORKS CONSTRUCTION - (ISPC) OR AS SPECIFIED. TYP. (REINFORCEMENT DESIGN IS BASED ON THE WORST-CASE HEADWALL).
  - 4.1. REBAR MATS FOR HW FLOOR SLABS PER IJD ST DR 509-2 ET. SEQ.
  5. CONTRACTOR SHALL NOTIFY BIDD AND ENGINEER FOR INSPECTION OF REBAR PLACEMENT PRIOR TO POURING WITH NO LESS THAN 48 HRS NOTICE.
  6. THIS PROJECT IS SUBJECT TO APPROVAL BY BIDD AND US BUREAU OF RECLAMATION (USBOR OR BOR)
  7. FLOW FOR NEW 05.9 CROSSING IS 15 CFS (PER 170C12023 COMMUNICATION)
  - 7.1. FACILITIES AS DESIGNED SATISFY THIS REQUIREMENT

# BENTONITE SEAL CONSTRUCTION DETAIL



# FLOW ESTIMATION

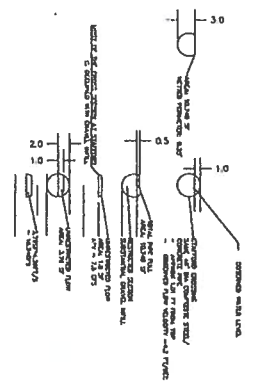
HIGH WATER & EFFECTIVE DIAMETER APPROACH



HIGH WATER & RECTANGULAR CONTRACTED WEIR READING

MODELED AS A RECTANGULAR CONTRACTED WEIR WITH UNRESTRICTED CROSS SECTION (FROM MEASUREMENTS AT STAFFORD ROAD CROSSING)

ROUTINE HW EL2439.11  
 CL BOW EL2437.83  
 HIGH WATER EL2439.83  
 FLOW EL2439.53



**THOMAS FAMILY ADMINISTRATIVE LOT SPLITS**

DETAILS/HIST FLOW EST IRRIGATION CROSSINGS ONE NEW TWO IMPROVED

**ORTON ENGINEERING**  
 17338 Sunnyvale Place  
 Caldwell, Idaho 83607  
 bentonite@ortonengineering.com

**SLINGER**  
 President Land Surveying, P.C.  
 2000 N. 10th Street  
 Boise, Idaho 83702  
 sml@slingerland.com

| No. | Revision/Status | Date |
|-----|-----------------|------|
| 01  |                 |      |
| 02  |                 |      |
| 03  |                 |      |
| 04  |                 |      |
| 05  |                 |      |

PREPARED BY: **PAUL THOMAS (GROSS PM) (BET)**  
 2000 N. 10th Street  
 Boise, Idaho 83702  
 paul.thomas@slingerland.com

DATE: 11/1/2023

PROJECT: **05 & LATERAL CROSSING INSPECTION LINE IN CANYON COUNTY, ID (BENTON GROSSIN & GUILDING)**

SCALE: 250:1 (HORIZONTAL)

DATE: 11/1/2023

PROJECT: **C-05**













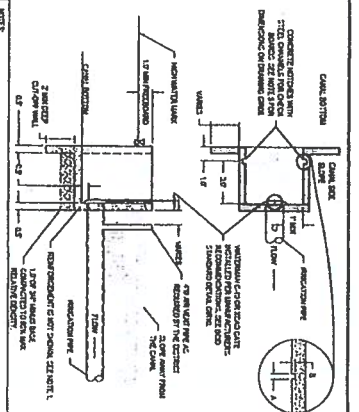




**BLACK CANYON IRRIGATION DISTRICT**  
**IRRIGATION STANDARD DETAILS**

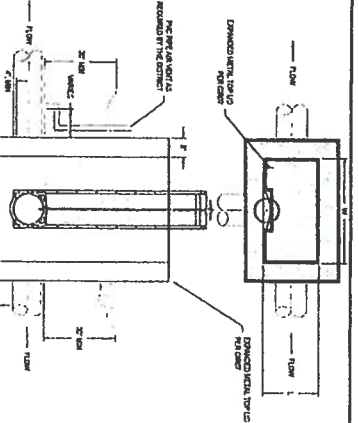
SCALE: DRAWING NO. 003 3

| NO. | DATE       | REVISIONS              |
|-----|------------|------------------------|
| 1   | 08/15/2011 | ISSUE FOR CONSTRUCTION |
| 2   | 08/15/2011 | ISSUE FOR CONSTRUCTION |
| 3   | 08/15/2011 | ISSUE FOR CONSTRUCTION |



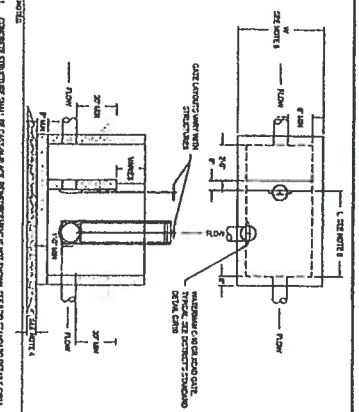
**NOTES:**

1. TYPICAL STRUCTURE SHALL BE CONSTRUCTED AS SHOWN. SEE ALSO STANDARD DETAIL 1.
2. FINISH SURFACE SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1.
3. ALL PIPES SHALL BE INSTALLED IN ACCORDANCE WITH THE WALL, LOCK AND GROUND SYSTEM REQUIREMENTS TO BE PROVIDED BY THE DISTRICT. THE PIPE SHALL BE INSTALLED WITH THE WALL, LOCK AND GROUND SYSTEM REQUIREMENTS TO BE PROVIDED BY THE DISTRICT.
4. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.
5. MATERIALS SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.
6. DIMENSIONS SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.



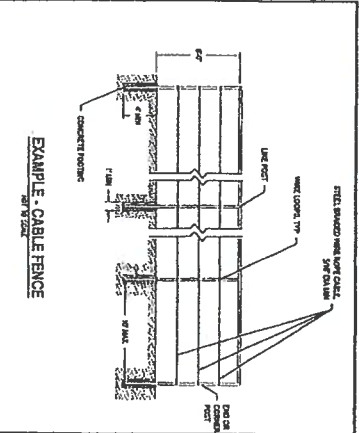
**NOTES:**

1. TYPICAL TURNOUT FOR PIPE CONVEYANCE SHALL BE CONSTRUCTED AS SHOWN. SEE ALSO STANDARD DETAIL 1.
2. FINISH SURFACE SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1.
3. ALL PIPES SHALL BE INSTALLED IN ACCORDANCE WITH THE WALL, LOCK AND GROUND SYSTEM REQUIREMENTS TO BE PROVIDED BY THE DISTRICT. THE PIPE SHALL BE INSTALLED WITH THE WALL, LOCK AND GROUND SYSTEM REQUIREMENTS TO BE PROVIDED BY THE DISTRICT.
4. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.
5. MATERIALS SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.
6. DIMENSIONS SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.



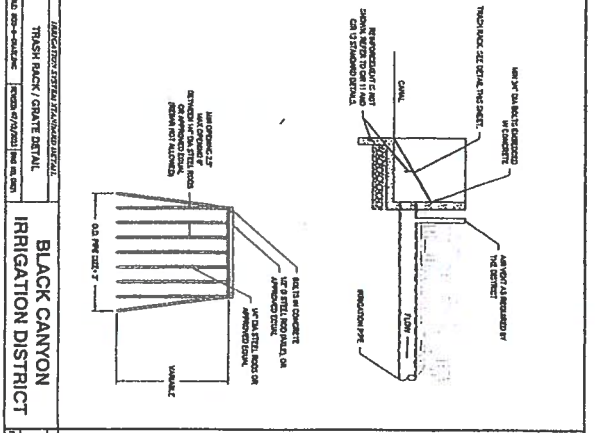
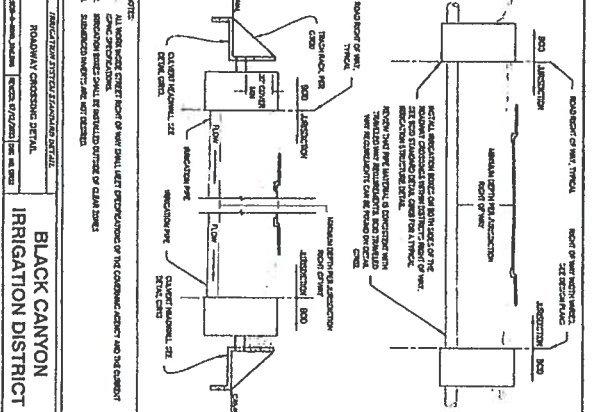
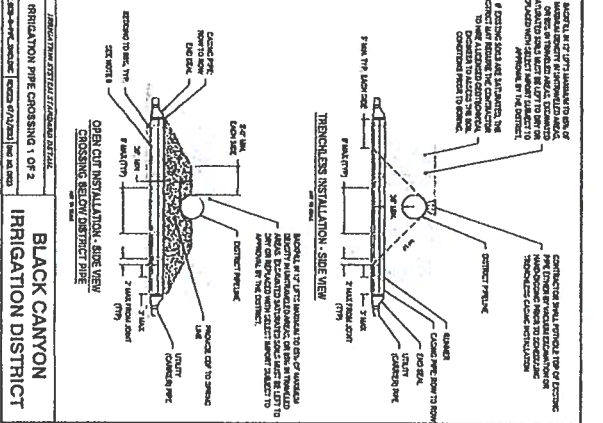
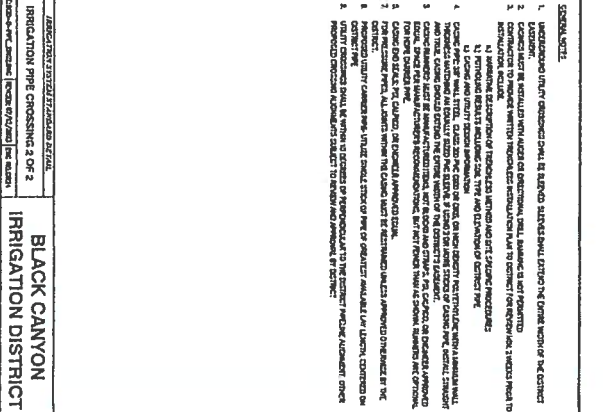
**NOTES:**

1. TYPICAL CHECK STRUCTURE SHALL BE CONSTRUCTED AS SHOWN. SEE ALSO STANDARD DETAIL 1.
2. FINISH SURFACE SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1.
3. ALL PIPES SHALL BE INSTALLED IN ACCORDANCE WITH THE WALL, LOCK AND GROUND SYSTEM REQUIREMENTS TO BE PROVIDED BY THE DISTRICT. THE PIPE SHALL BE INSTALLED WITH THE WALL, LOCK AND GROUND SYSTEM REQUIREMENTS TO BE PROVIDED BY THE DISTRICT.
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6. DIMENSIONS SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.



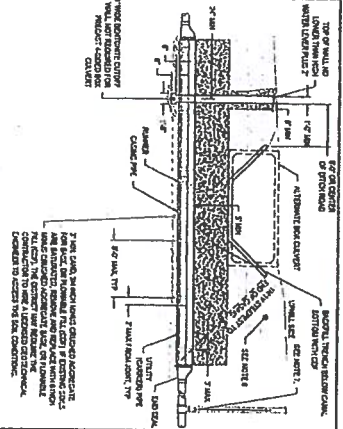
**NOTES:**

1. ALTERNATIVE FINISHES OTHER THAN AS SHOWN ARE ALLOWED AT THE DISCRETION OF THE DISTRICT.
2. FINISH SURFACE SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1.
3. ALL PIPES SHALL BE INSTALLED IN ACCORDANCE WITH THE WALL, LOCK AND GROUND SYSTEM REQUIREMENTS TO BE PROVIDED BY THE DISTRICT. THE PIPE SHALL BE INSTALLED WITH THE WALL, LOCK AND GROUND SYSTEM REQUIREMENTS TO BE PROVIDED BY THE DISTRICT.
4. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.
5. MATERIALS SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.
6. DIMENSIONS SHALL BE AS SHOWN. SEE ALSO STANDARD DETAIL 1 FOR TYPICAL DETAIL.



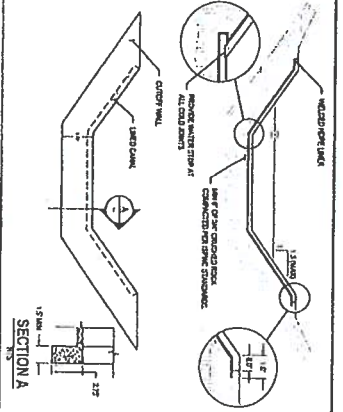
**BLACK CANYON IRRIGATION DISTRICT**  
**IRRIGATION STANDARD DETAILS**





1. CONCRETE PIPE SHALL BE CAST IN PLACE OR PRECAST AND SHALL BE SET IN A TRENCH WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.
2. THE TRENCH SHALL BE BACKFILLED WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.
3. THE TRENCH SHALL BE BACKFILLED WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.
4. THE TRENCH SHALL BE BACKFILLED WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.
5. THE TRENCH SHALL BE BACKFILLED WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.
6. THE TRENCH SHALL BE BACKFILLED WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.
7. THE TRENCH SHALL BE BACKFILLED WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.
8. THE TRENCH SHALL BE BACKFILLED WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.
9. THE TRENCH SHALL BE BACKFILLED WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.
10. THE TRENCH SHALL BE BACKFILLED WITH A MINIMUM OF 12" OF COVER ABOVE AND BELOW THE PIPE.

**BLACK CANYON IRRIGATION DISTRICT**  
IRRIGATION CANAL CROSSING



1. CONCRETE LINED CANALS SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.
2. THE CANAL SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.
3. THE CANAL SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.
4. THE CANAL SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.
5. THE CANAL SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.
6. THE CANAL SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.
7. THE CANAL SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.
8. THE CANAL SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.
9. THE CANAL SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.
10. THE CANAL SHALL BE CONSTRUCTED TO MAINTAIN 5% BATTERY DRAINAGE.

**BLACK CANYON IRRIGATION DISTRICT**  
CONCRETE LINED CANAL

**REVISIONS**

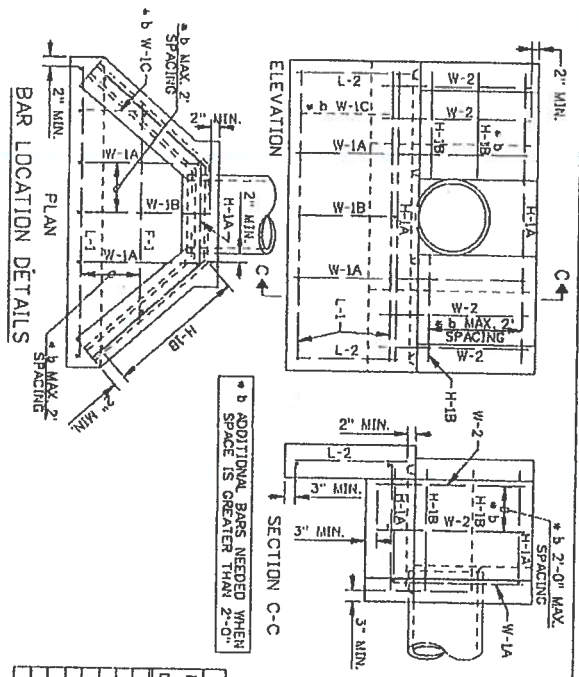
| NO. | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 1   | 07/18/2022 | REVISED PER COMMENTS |
| 2   | 07/18/2022 | REVISED PER COMMENTS |
| 3   | 07/18/2022 | REVISED PER COMMENTS |
| 4   | 07/18/2022 | REVISED PER COMMENTS |

**BLACK CANYON IRRIGATION DISTRICT**

**IRRIGATION STANDARD DETAILS**



| MARK | LOCATION                                 | BAR SIZE | SKETCH |
|------|------------------------------------------|----------|--------|
| F-1  | FLOOR                                    | NO. 4    |        |
| L-1  | TOP & BOTTOM OF INLET LIP IN FLOOR       | NO. 4    |        |
| H-1A | HORIZ. IN TOP OF WING BACK WALL          | NO. 4    |        |
| H-1B | HORIZ. IN WING WALL BETWEEN (PAIRS ONLY) | NO. 4    |        |
| W-1A | EACH SIDE OF PIPE IN BACKWALL, INLET LIP | NO. 4    |        |
| W-1B | IN FLOOR & INLET LIP                     | NO. 4    |        |
| W-1C | IN FLOOR & INLET LIP                     | NO. 4    |        |
| L-2  | VERTICAL, IN FLOOR & INLET LIP           | NO. 4    |        |
| W-2  | VERTICAL, IN WING WALLS                  | NO. 4    |        |



| MINIMUM SIZE | A     | B      | H      | L      | M     | N      | P      | O      | U      | V      |
|--------------|-------|--------|--------|--------|-------|--------|--------|--------|--------|--------|
| 12           | 1/2   | 13     | 20 3/4 | 21     | 2 3/4 | 25     | 21     | 23 1/4 | 22 1/4 | 15 5/8 |
| 15           | 3/4   | 16 1/4 | 23 1/4 | 24 1/4 | 2 7/8 | 28 1/4 | 24 1/4 | 26 1/4 | 25 1/4 | 18 3/4 |
| 18           | 1     | 19 1/4 | 25 1/4 | 27 1/4 | 3 1/4 | 31 1/4 | 27 1/4 | 30 1/4 | 29 1/4 | 21 1/4 |
| 21           | 1 1/4 | 22 1/4 | 28 1/4 | 30 1/4 | 3 7/8 | 34 1/4 | 30 1/4 | 33 1/4 | 32 1/4 | 24 1/4 |
| 24           | 1 3/4 | 25 1/4 | 31 1/4 | 33 1/4 | 4 1/4 | 37 1/4 | 33 1/4 | 36 1/4 | 35 1/4 | 26 1/4 |
| 30           | 2 1/4 | 31 1/4 | 37 1/4 | 40 1/4 | 5 1/4 | 43 1/4 | 39 1/4 | 42 1/4 | 41 1/4 | 32 1/4 |
| 36           | 3 1/4 | 37 1/4 | 43 1/4 | 47 1/4 | 6 1/4 | 49 1/4 | 45 1/4 | 48 1/4 | 47 1/4 | 38 1/4 |
| 42           | 4 1/4 | 43 1/4 | 47 1/4 | 53 1/4 | 7 1/4 | 55 1/4 | 51 1/4 | 54 1/4 | 53 1/4 | 44 1/4 |

| BAR  | NO. | LGTH.  | NO. | LGTH.  | NO. | LGTH.  | NO. | LGTH.  | NO. | LGTH.   | NO. | LGTH.  |
|------|-----|--------|-----|--------|-----|--------|-----|--------|-----|---------|-----|--------|
| F-1  | 1   | 35 1/2 | 1   | 41 1/2 | 1   | 49     | 1   | 53 1/2 | 1   | 58      | 1   | 70 1/2 |
| H-1A | 2   | 64     | 2   | 76     | 2   | 87 1/2 | 2   | 104    | 2   | 112     | 2   | 138    |
| H-1B | 2   | 43     | 2   | 30     | 4   | 34     | 4   | 43     | 4   | 52      | 4   | 58     |
| L-1  | 2   | 49     | 2   | 59     | 2   | 67     | 2   | 76     | 2   | 84 1/2  | 2   | 102    |
| L-2  | 2   | 19     | 2   | 19     | 2   | 19     | 2   | 19     | 2   | 19      | 2   | 19     |
| W-1A | 0   | N/A    | 0   | N/A    | 2   | 74 1/2 | 2   | 87 1/2 | 2   | 100 1/2 | 2   | 127    |
| W-1B | 0   | N/A    | 0   | N/A    | 1   | 49     | 1   | 53     | 1   | 59      | 1   | 68     |
| W-1C | 0   | N/A    | 0   | N/A    | 4   | 32     | 4   | 35 1/2 | 4   | 38 1/2  | 4   | 47     |
| W-2  | 4   | 25     | 4   | 28 1/2 | 4   | 32     | 4   | 35 1/2 | 4   | 44 1/2  | 4   | 57 1/2 |

| NO. | DATE  | BY  | NO. | DATE  | BY  |
|-----|-------|-----|-----|-------|-----|
| 1   | 02-84 | MSM | 6   | 12-82 | MSM |
| 2   | 02-88 | MSM | 7   | 10-01 | MSM |
| 3   | 09-88 | MSM | 8   | 03-03 | MSM |
| 4   | 10-89 | MSM |     |       |     |
| 5   | 03-92 | MSM |     |       |     |

SCALES SHOWN ARE FOR 1" X 17" PRINTS ONLY.  
 CAD FILE NAME: 609-2.DWG  
 DRAWING DATE: APRIL, 1991

IDAHO TRANSPORTATION DEPARTMENT  
 BOISE, IDAHO

DESIGNED BY: LARRY THOMAS  
 ASSISTANT CHIEF ENGINEER (DEVELOPMENT)  
 CHECKED BY: STEVEN HUTCHINSON  
 CHIEF ENGINEER

STANDARD DRAWING FOR SINGLE PIPE CULVERT

English

STANDARD DRAWING NO. 609-2

SHEET 2 OF 2

PROFESSIONAL ENGINEER  
 STATE OF IDAHO  
 No. 4490  
 LARRY THOMAS

| MINIMUM SIZE DIA. (IN.) | DIMENSIONS IN INCHES |        |        |       | BAR SIZES |       |       |       |
|-------------------------|----------------------|--------|--------|-------|-----------|-------|-------|-------|
| A                       | C                    | X      | Y      | B-1   | B-2       | B-3   | B-4   | B-5   |
| 12                      | 19 1/4               | 29 1/4 | 18 1/4 | 1 1/4 | 1 1/4     | 1 1/4 | 1 1/4 | 1 1/4 |
| 15                      | 19 1/4               | 29 1/4 | 18 1/4 | 1 1/4 | 1 1/4     | 1 1/4 | 1 1/4 | 1 1/4 |
| 18                      | 19 1/4               | 29 1/4 | 18 1/4 | 1 1/4 | 1 1/4     | 1 1/4 | 1 1/4 | 1 1/4 |
| 21                      | 21 1/4               | 33 1/4 | 21 1/4 | 1 1/4 | 1 1/4     | 1 1/4 | 1 1/4 | 1 1/4 |
| 24                      | 25 1/4               | 37 1/4 | 25 1/4 | 1 1/4 | 1 1/4     | 1 1/4 | 1 1/4 | 1 1/4 |
| 30                      | 31 1/4               | 43 1/4 | 31 1/4 | 1 1/4 | 1 1/4     | 1 1/4 | 1 1/4 | 1 1/4 |
| 36                      | 37 1/4               | 49 1/4 | 37 1/4 | 1 1/4 | 1 1/4     | 1 1/4 | 1 1/4 | 1 1/4 |
| 42                      | 43 1/4               | 55 1/4 | 43 1/4 | 1 1/4 | 1 1/4     | 1 1/4 | 1 1/4 | 1 1/4 |

| MINIMUM WING & FLOOR DIA. (IN.) | CONCRETE (C.Y.) | LP TOTAL |
|---------------------------------|-----------------|----------|
| 12                              | 0.2             | 0.3      |
| 15                              | 0.3             | 0.4      |
| 18                              | 0.3             | 0.4      |
| 21                              | 0.4             | 0.5      |
| 24                              | 0.5             | 0.6      |
| 30                              | 0.8             | 1.0      |
| 36                              | 1.0             | 1.3      |
| 42                              | 1.3             | 1.7      |

NOTES

- THIS HEADWALL SHALL BE USED ONLY WHEN PROTECTED BY GUARDRAIL OR INSTALLED OUTSIDE THE CLEAR ZONE.
- CAST-IN-PLACE HEADWALLS SHALL CONFORM TO SECTION 609 - MINOR STRUCTURES OF THE CURRENT ITD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- THE METAL REINFORCEMENT SHALL BE NO. 4 BARS. ALL REINFORCEMENT SHALL HAVE A MINIMUM CONCRETE COVER OF 2" AND 3" MINIMUM COVER IF CAST AGAINST EARTH.
- ALL EDGES TO HAVE 3/4" CHAMFER OR TORN EDGES.
- ALL PIPE CULVERTS WITH A CONCRETE HEADWALL SHALL HAVE THE INLET HEADWALLS BEVELED. USE ENTRANCE LOSS COEFFICIENT K = 0.2 FOR BEVELED ENTRANCES.
- THE METAL FOR THE GRATE SHALL MEET THE REQUIREMENTS OF ASTM A 36. WELDING OF THE AMERICAN WELDING SOCIETY D 11 GRATES FOR INLET THE ROADWAY SHALL BE REQUIRED DRY WHEN SHOWN ON PAINTED OR GALVANIZED.
- USE CONCRETE METAL OR PLASTIC PIPE WITH HEADWALL CONCRETE PIPE SHOWN ON DRAWING.
- NOT TO SCALE.

