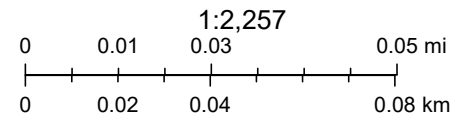


# Canyon County, ID Web Map



4/24/2024, 10:20:13 AM

- Multiple Parcel Search\_Query result
- Hydro\_NHDFlowline
- County Boundary
- Current Impact Area
- City Limits
- Sections
- CanyonCountyRoads
- Hwy
- Roads
- Imagery\_2022
- Red: Band\_1
- Green: Band\_2



Bureau of Land Management, State of Oregon, State of Oregon DOT, State of Oregon GEO, Esri Canada, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA



**VARIANCE >33%**  
**PUBLIC HEARING - MASTER APPLICATION**

<b>PROPERTY OWNER</b>	OWNER NAME: <u>Cenote LLC</u>
	MAILING ADDRESS: <u>18040 Celestia Dr Nampa</u>
	PHONE: [REDACTED] EMAIL: [REDACTED]
I consent to this application and allow DSD staff / Commissioners to enter the property for site inspections. If the owner(s) is a business entity, please include business documents, including those that indicate the person(s) who are eligible to sign.	
Signature: <u>[Signature]</u> Date: <u>12/5/23</u>	

83687

<b>APPLICANT: IF DIFFERING FROM THE PROPERTY OWNER</b>	APPLICANT NAME: <u>Christy Ablett</u>
	COMPANY NAME:
	MAILING ADDRESS: <u>18040 Celestia Dr Nampa, ID</u>
	PHONE: [REDACTED] EMAIL:

83687

<b>SITE INFO</b>	STREET ADDRESS: <u>15065 Fifth St</u>	
	PARCEL NUMBER: <u>R27233</u>	
	PARCEL SIZE:	
	FLOOD ZONE (YES/NO)	ZONING DISTRICT:

**FOR DSD STAFF COMPLETION ONLY:**

CASE NUMBER: <u>262024-0002</u>	DATE RECEIVED: <u>4/23/24</u>
RECEIVED BY: <u>[Signature]</u>	APPLICATION FEE: <u>\$950</u> <u>CK</u> MO <u>CC</u> CASH

# MASTER APPLICATION

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

Phone: 208-454-7458 Fax: 208-454-6633



<b>PROPERTY OWNER</b>	OWNER NAME: <u>Cenote LLC</u>
	MAILING ADDRESS: <u>18040 Celesta Dr Nampa ID 83687</u>
	PH: [REDACTED] EMAIL: [REDACTED]

I consent to this application and allow DSD staff / Commissioners to enter the property for site inspections. If owner(s) are a business entity, please include business documents, including those that indicate the person(s) who are eligible to sign.

Signature: [Signature] Date: 12/4/23

<b>(AGENT) ARCHITECT ENGINEER BUILDER</b>	CONTACT NAME:
	COMPANY NAME:
	MAILING ADDRESS: <u>NA</u>
	PHONE: EMAIL:

<b>SITE INFO</b>	STREET ADDRESS: <u>15065 Fifth St Caldwell</u>
	PARCEL #: <u>R27233</u> LOT SIZE/AREA:
	LOT: <u>1</u> BLOCK: <u>16</u> SUBDIVISION: <u>Sunnyslope</u>
	QUARTER: SECTION: <u>1B</u> TOWNSHIP: <u>T3N</u> RANGE: <u>R4W</u>
	ZONING DISTRICT: <u>R1</u> FLOODZONE (YES/NO): <u>No</u>

<b>HEARING LEVEL APPS</b>	<input type="checkbox"/> CONDITIONAL USE	<input type="checkbox"/> COMP PLAN AMENDMENT	<input type="checkbox"/> CONDITIONAL REZONE
	<input type="checkbox"/> ZONING AMENDMENT (REZONE)	<input type="checkbox"/> DEV. AGREEMENT MODIFICATION	<input checked="" type="checkbox"/> VARIANCE > 33%
	<input type="checkbox"/> MINOR REPLAT	<input type="checkbox"/> VACATION	<input type="checkbox"/> APPEAL
	<input type="checkbox"/> SHORT PLAT SUBDIVISION	<input type="checkbox"/> PRELIMINARY PLAT SUBDIVISION	<input type="checkbox"/> FINAL PLAT SUBDIVISION

<b>DIRECTORS DECISION APPS</b>	<input type="checkbox"/> ADMINISTRATIVE LAND DIVISION	<input type="checkbox"/> EASEMENT REDUCTION	<input type="checkbox"/> SIGN PERMIT
	<input type="checkbox"/> PROPERTY BOUNDARY ADJUSTMENT	<input type="checkbox"/> HOME BUSINESS	<input checked="" type="checkbox"/> VARIANCE 33% >
	<input type="checkbox"/> PRIVATE ROAD NAME	<input type="checkbox"/> TEMPORARY USE	<input type="checkbox"/> DAY CARE
	<input type="checkbox"/> OTHER		

CASE NUMBER:	DATE RECEIVED:
RECEIVED BY:	APPLICATION FEE: CK MO CC CASH



## VARIANCE >33% PUBLIC HEARING - CHECKLIST

**Variance Over 33%:** The commission shall consider all other applications for variances in accordance with the notice and hearing procedure of article 5 of this chapter **CCZO Section 07-08-01(3)**

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH THIS APPLICATION TO BE DEEMED COMPLETE (PLEASE CHECK OFF THE ITEMS REQUIRED):

Description	Applicant	Staff
Master Application completed and signed		✓
Letter of Intent (see standards on next page)		✓
Site Plan (see standards on next page)		✓
Proof of application/communication with (varies per application):		
Southwest District Health		✓
Irrigation District		✓
Fire District		✓
Highway District/ Idaho Transportation Dept.		✓
Area of City Impact (if applicable)		
Deed or evidence of property interest to the subject property		✓
<b>Fee: \$950.00</b>		
**Fees are non-refundable**		

\*DISCLAIMER: The subject property shall be in compliance with the public nuisance ordinance, the building code and the zoning code before the Director can accept the application.

# **SITE PLAN & LETTER OF INTENT - CHECKLIST**

## **CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT**

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

Phone: 208-454-7458 Fax: 208-454-6633



### **The site plan is a detailed GRAPHICAL description of existing and proposed site features. Include all applicable items on your site plan:**

- |   |
|---|
| <input checked="" type="checkbox"/> All existing and proposed structures and dimensions (i.e. 40'X30' shop, 20'x20' shed, 40'x50' house, 10' windmill, etc. ) |
| <input type="checkbox"/> Infrastructure: well, septic, irrigation ditch, settling ponds, drainage swales, etc.  |
| <input checked="" type="checkbox"/> Transportation: parking, loading areas, driveways, etc. adjacent driveways, roads, highways or other accesses             |
| <input type="checkbox"/> Easement locations and dimensions  |
| <input checked="" type="checkbox"/> Setbacks from property lines, section lines, collectors and arterial roads and/or building envelope                       |
| <input checked="" type="checkbox"/> Areas of steep slopes, wetlands, and/or floodplain  |
| <input checked="" type="checkbox"/> Existing or proposed fences   |
| <input type="checkbox"/> Signs  |
| <input checked="" type="checkbox"/> Major landscaping or hardscaping, such as large trees, berms, or retaining walls, water features                          |
| <input checked="" type="checkbox"/> Areas of activity, outdoor seating, food vendor area, stockpiling, open pit, etc.   |
| <input checked="" type="checkbox"/> Any other site features worth noting  |

### **The Letter of Intent is a detailed WRITTEN description of proposed and existing uses at the site. Include all applicable items in your letter:**

- |  |
|--|
| <input checked="" type="checkbox"/> A description of the proposed use and existing uses  |
| <input checked="" type="checkbox"/> A description of the proposed request and why it is being requested  |
| <input checked="" type="checkbox"/> Expected traffic counts and patterns   |
| <input type="checkbox"/> Phasing of development  |
| <input checked="" type="checkbox"/> How proposed use may affect neighboring uses   |
| <input checked="" type="checkbox"/> A description or further explanation of the site features (see site plan list above)                             |
| <input checked="" type="checkbox"/> Explanation of any other permits through other agencies that may be required                                     |
| <input checked="" type="checkbox"/> Description of business operations, such as number of employees, hours of operation, delivery and shipping       |
| <input checked="" type="checkbox"/> A description of how the proposed use is consistent with specific zoning criteria or comprehensive plan policies |
| <input checked="" type="checkbox"/> Any other items which may require further explanation  |

To whom it may concern.

This letter of intent is to inform you of the property at 15065 Fifth St Caldwell Idaho. When the manufactured home was placed approx. 3 years ago in its current spot, we thought we had met the setbacks from the middle of the street from 30 feet. After seeking approval from the Highway district, Fire department, Idaho Power, and Southwest District Health, we put the home 33 feet from the middle of the street just to be safe. We did not realize (we were mis informed) it was from the property line and not the center of the street.


We acquired appropriate permits for septic and power and thought that all was fine with the property until we were notified differently. We responded to the county quickly. We had the property professionally measured and due to the lot size and placement of the septic the mobile home cannot be moved to a different location. It would be a severe hardship to have to move the building. Not only would it be impossible to move to a different location on the lot (due to the new septic location), but it would also hurt the local housing crisis, by eliminating a home and occupants. The home also conforms with the various setbacks of other homes and buildings in the same neighborhood post the year 1979 and is consistent with public interest for the area and neighborhood where it sits. The home is an improvement and update to help beautify the neighborhood.

We have been through all other building permit inspections and the home has been found to meet current codes for approval. The highway department has waived the setback on the East/West and North/South boundaries (as documented) to help allow the home to stay where it is. Along with other entities who are in favor of the location of the home and have signed off.

This property is not in any current long-term or short-term comprehensive plans for either Caldwell or Marsing cities. The current septic also promotes the long-term goals of Canyon County's land division polices as well as Southwest District Health's.

We appreciate your attention to this matter. Thank you for your time and understanding.

Sincerely,



Cenote LLC

# LAND USE WORKSHEET

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #140, Caldwell, ID 83605

Phone: 208-454-7458

Fax: 208-454-6633



Required for Conditional Use Permit, Comprehensive Plan and Zoning Ordinance Amendment Applications

**PLEASE CHECK ALL THAT APPLY TO YOUR REQUEST:**

### GENERAL INFORMATION

- 1. DOMESTIC WATER:**  Individual Domestic Well  Centralized Public Water System  City  
 N/A – Explain why this is not applicable: \_\_\_\_\_  
 How many Individual Domestic Wells are proposed? \_\_\_\_\_

- 2. SEWER (Wastewater)**  Individual Septic  Centralized Sewer system  
 N/A – Explain why this is not applicable: \_\_\_\_\_

- 3. IRRIGATION WATER PROVIDED VIA:**  
 Surface  Irrigation Well  None

- 4. IF IRRIGATED, PROPOSED IRRIGATION:**  
 Pressurized  Gravity

- 5. ACCESS:**  
 Frontage  Easement Easement width \_\_\_\_\_ Inst. # \_\_\_\_\_

- 6. INTERNAL ROADS:**  
 Public  Private Road User's Maintenance Agreement Inst # \_\_\_\_\_

- 7. FENCING** *N/A*  Fencing will be provided (Please show location on site plan)  
Type: \_\_\_\_\_ Height: \_\_\_\_\_

- 8. STORMWATER:**  Retained on site  Swales  Ponds  Borrow Ditches  
 Other: \_\_\_\_\_

- 9. SOURCES OF SURFACE WATER ON OR NEARBY PROPERTY:** (i.e. creeks, ditches, canals, lake)  
*N/A*

**RESIDENTIAL USES**

**1. NUMBER OF LOTS REQUESTED:** *N/A*

- Residential \_\_\_\_\_  Commercial \_\_\_\_\_  Industrial \_\_\_\_\_  
 Common \_\_\_\_\_  Non-Buildable \_\_\_\_\_

**2. FIRE SUPPRESSION:**

Water supply source: \_\_\_\_\_

*N/A*

**3. INCLUDED IN YOUR PROPOSED PLAN?**

- Sidewalks  Curbs  Gutters  Street Lights  None

*N/A*

**NON-RESIDENTIAL USES**

**1. SPECIFIC USE:** \_\_\_\_\_

*N/A*

**2. DAYS AND HOURS OF OPERATION:**

- Monday \_\_\_\_\_ to \_\_\_\_\_  
 Tuesday \_\_\_\_\_ to \_\_\_\_\_  
 Wednesday \_\_\_\_\_ to \_\_\_\_\_  
 Thursday \_\_\_\_\_ to \_\_\_\_\_  
 Friday \_\_\_\_\_ to \_\_\_\_\_  
 Saturday \_\_\_\_\_ to \_\_\_\_\_  
 Sunday \_\_\_\_\_ to \_\_\_\_\_

*N/A*

**3. WILL YOU HAVE EMPLOYEES?**  Yes If so, how many? \_\_\_\_\_  No

**4. WILL YOU HAVE A SIGN?**  Yes  No  Lighted  Non-Lighted

Height: \_\_\_\_\_ ft Width: \_\_\_\_\_ ft. Height above ground: \_\_\_\_\_ ft

What type of sign: \_\_\_\_\_ Wall \_\_\_\_\_ Freestanding \_\_\_\_\_ Other

**5. PARKING AND LOADING:**

How many parking spaces? \_\_\_\_\_

Is there is a loading or unloading area? \_\_\_\_\_

*N/A*



**ANIMAL CARE RELATED USES**

**1. MAXIMUM NUMBER OF ANIMALS:** N/A

**2. HOW WILL ANIMALS BE HOUSED AT THE LOCATION?**

Building     Kennel     Individual Housing     Other N/A

**3. HOW DO YOU PROPOSE TO MITIGATE NOISE?**

Building     Enclosure     Barrier/Berm     Bark Collars

**4. ANIMAL WASTE DISPOSAL**

Individual Domestic Septic System     Animal Waste Only Septic System

Other: \_\_\_\_\_



## AGENCY ACKNOWLEDGMENT

Date: 4/4/24  
Applicant: Cerote LLC  
Parcel Number: R272 3300000  
Site Address: 15049 15056 5th St Caldwell

### **SIGNATURES DO NOT INDICATE APPROVAL OR COMPLETION OF OFFICIAL REVIEW.**

The purpose of this form is to facilitate communication between applicants and agencies so that relevant requirements, application processes, and other feedback can be provided to applicants early in the planning process. Record of communication with an agency regarding the project can be submitted instead of a signature. After the application is submitted, impacted agencies will be sent a hearing notification by DSD staff and will have the opportunity to submit comments.

#### **Southwest District Health:**

Applicant submitted/met for informal review.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
Authorized Southwest District Health Representative  
(This signature does not guarantee project or permit approval)

#### **Fire District:**

District: \_\_\_\_\_

Applicant submitted/met for informal review.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
Authorized Fire District Representative  
(This signature does not guarantee project or permit approval)

#### **Highway District:**

District: \_\_\_\_\_

Applicant submitted/met for informal review.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
Authorized Highway District Representative  
(This signature does not guarantee project or permit approval)

#### **Irrigation District:**

District: Wilder Irrigation Dist

Applicant submitted/met for informal review.

Date: 4/16/24 Signed: Utki Case  
Authorized Irrigation Representative  
(This signature does not guarantee project or permit approval)

#### **Area of City Impact**

City: \_\_\_\_\_

Applicant submitted/met for informal review.

Date: \_\_\_\_\_ Signed: N/A  
Authorized AOCI Representative  
(This signature does not guarantee project or permit approval)



R27235010

R27235



R27234

R27233

Shop

Septic

Home

14 x 100

Bth Street

Town 3 by 14 U

Rents 14500



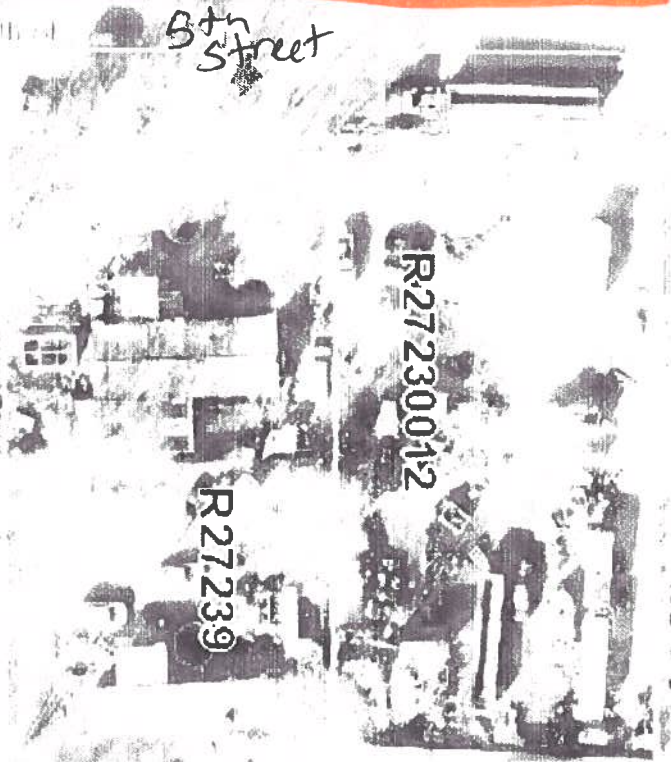
R27235011



R27238



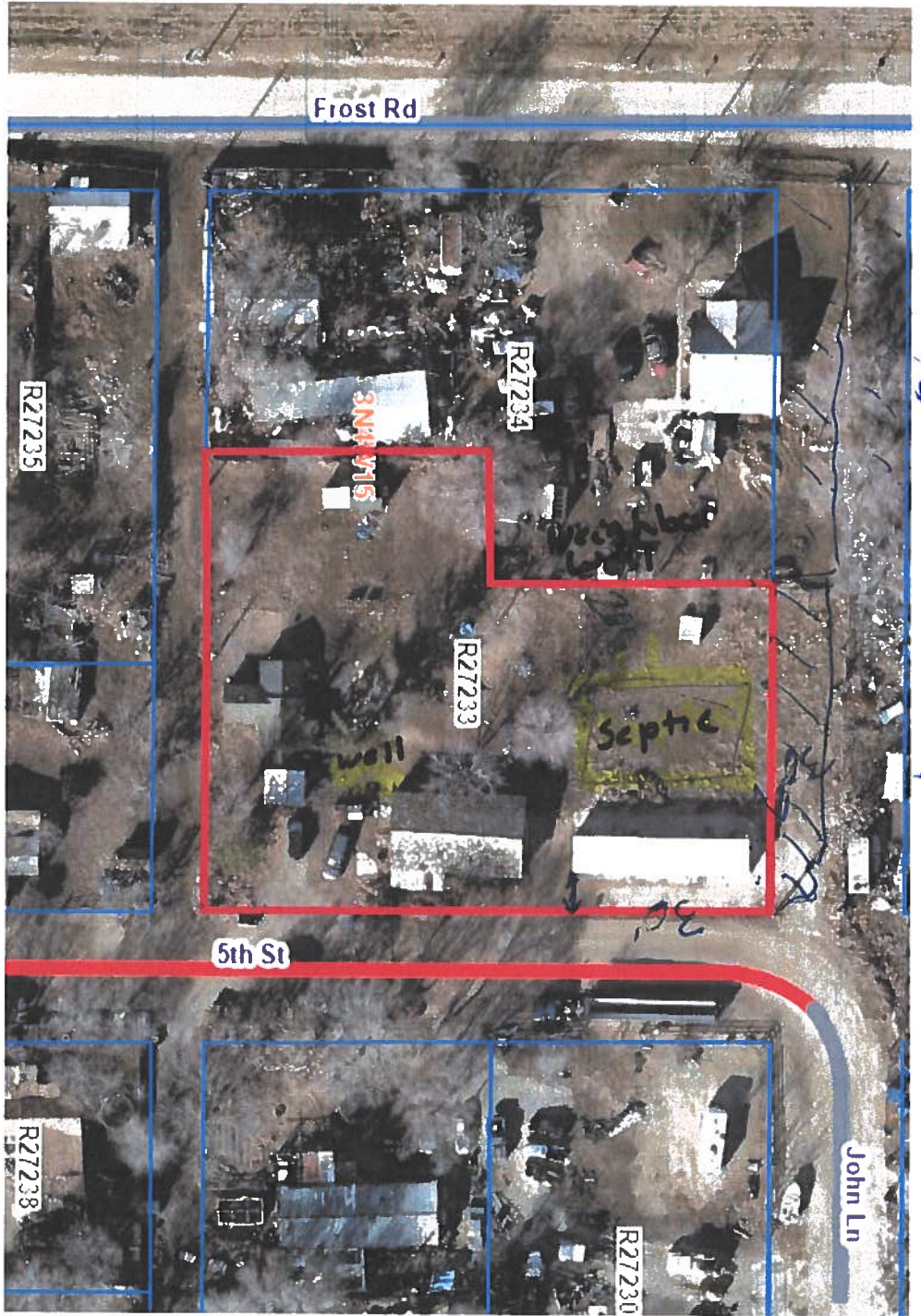
R27242

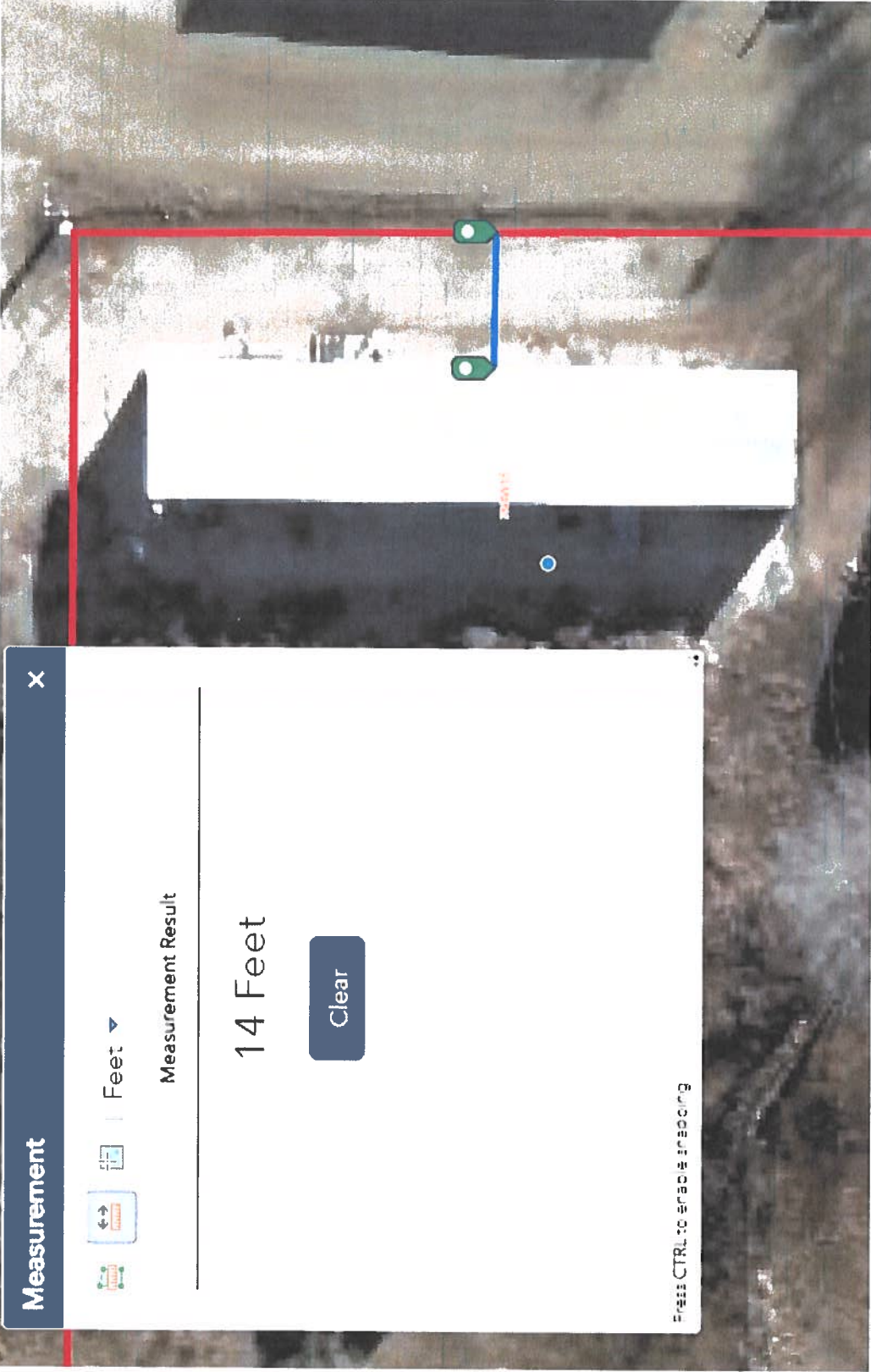


R27230012

R27239

3





**Measurement** X

↔ | Feet ▾

Measurement Result

14 Feet

Clear

Press CTRL to enable tracing





PREVIEWED PLAN  
CODE COMPLIANCE  
Canyon County Building Dept

Permit # BP2023-0415

Plan # 10401 ME

Date 7/11/23

15049 5th St, Caldwell, ID, 83607 X Q

1:250,000

R27234

R/20'

R27233

Farm House

16

R27235

R27235010

R27236010

R27235011

S/10'

F/10'

R27230012

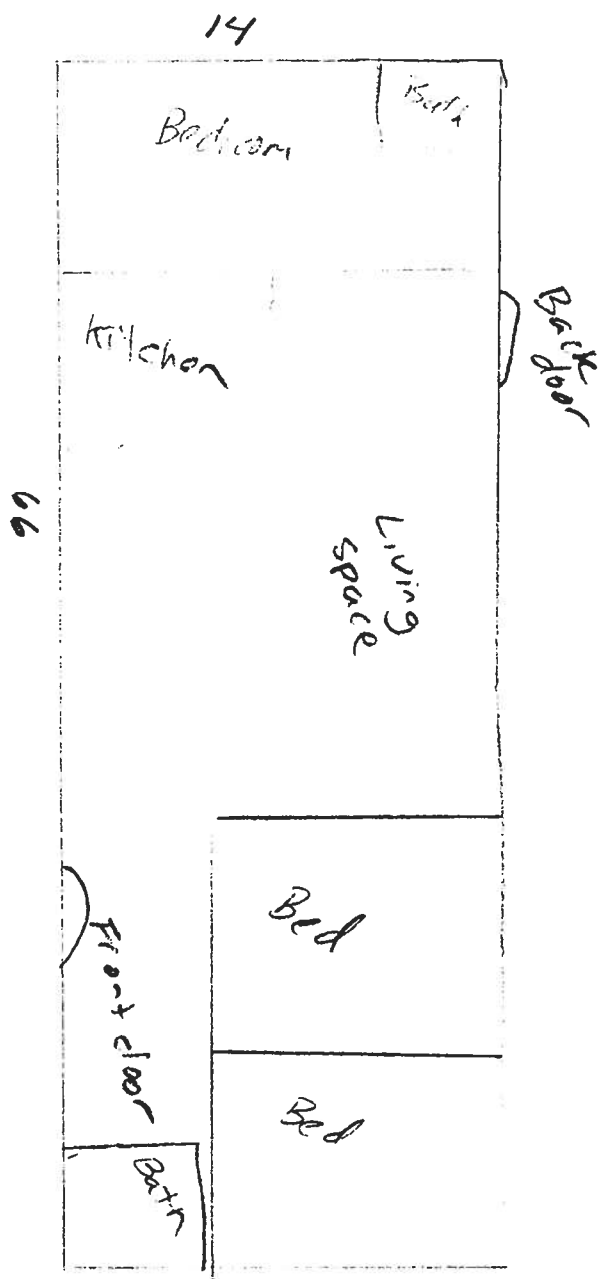
R272:

R27238

R2724

R27241





# NEIGHBORHOOD MEETING INSTRUCTIONS

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #310, Caldwell, ID 83605

[zoninginfo@canyoncounty.id.gov](mailto:zoninginfo@canyoncounty.id.gov) Phone: 208-454-7458 Fax: 208-454-6633



### CANYON COUNTY ZONING ORDINANCE §07-01-15

Before submitting an application for a public hearing, these steps must be completed:

- (1) Applicants shall conduct a neighborhood meeting for any proposed variance, conditional use, zoning ordinance map amendment, expansion, or extension of nonconforming uses requiring a public hearing.
- (2) It shall be the sole duty of the applicant to provide written notice to all property owners or purchasers of record owning property within six hundred (600) feet of the exterior boundary of the property subject to the application. Notice of a neighborhood meeting shall be in addition to, and not combined with, notices already required by this chapter, and shall include the date, time, location and purpose of the meeting.
- (3) The purpose of the neighborhood meeting shall be to review the proposed project and discuss neighborhood concerns, if any.
  - A. The meeting shall not be on a holiday, a holiday weekend, or the day before a holiday.
  - B. The meeting shall be held at one of the following locations:
    1. On the property subject to the application;
    2. At a nearby available public meeting place including, but not limited to, a fire station, library, school, or community center; or
    3. At a location with suitable meeting facilities if such facilities are within a one (1) mile radius of the nearest public meeting place.
- (4) The neighborhood meeting shall be conducted prior to acceptance of the application by Development Services. The neighborhood meeting shall not be conducted earlier than six (6) months prior to the acceptance of the application, and shall be held no sooner than ten (10) calendar days from the mailing of the notice of the neighborhood meeting.
- (5) Each application for a public hearing shall include a form acceptable to the director, which requires the applicant to provide the starting and ending times of the neighborhood meeting and an attendance list, with names and addresses of those who attended the neighborhood meeting. (Ord.10-006, 8-16-2010)

**Notice of Neighborhood Meeting**  
**Conditional Use Permit**  
**Pre-application requirement for a Public Hearing**

Date

Dear Neighbor,

We are in the process of submitting an application for a Conditional Use Permit (*or variance, zoning ordinance map amendment, expansion or extension of nonconforming uses, etc.*) to Canyon County Development Services (DSD). One of the requirements necessary prior to submitting the application is to hold a "neighborhood meeting" and provide information to our surrounding neighbors (Canyon County Zoning Ordinance § 07-01-15).

This meeting is for informational purposes and to receive feedback from you as we move through the application process. This is **not** a Public Hearing before a governing body of the County. Once our application has been submitted and processed, a public hearing date will be scheduled. Prior to the scheduled date you will receive an official notification from Canyon County DSD regarding the Public Hearing via postal mail, newspaper publication, and/or a display on the property for which the Conditional Use Permit (or other case type) is applied.

The Neighborhood Meeting details are as follows:

**Date:**

**Time:**

**Location:**

**Property description:**

The project is summarized below:

**Site Location:**

**Proposed access:**

**Total acreage:**

**Proposed lots:**

We look forward to the neighborhood meeting and encourage you to attend. At that time we will answer any questions you may have.

Please do **not** call Canyon County Development Services regarding this meeting. This is a PRE-APPLICATION requirement and we have not submitted the application for consideration at this time. The County currently has no information on this project.

If you have any questions prior to the meeting, please contact me at (phone, email, written correspondence).

Sincerely,

# NEIGHBORHOOD MEETING SIGN-UP

## CANYON COUNTY DEVELOPMENT SERVICES DEPARTMENT

111 North 11<sup>th</sup> Avenue, #310, Caldwell, ID 83605

[zoninginfo@canyoncounty.id.gov](mailto:zoninginfo@canyoncounty.id.gov) Phone: 208-454-7458 Fax: 208-454-6633



### NEIGHBORHOOD MEETING SIGN UP SHEET

#### CANYON COUNTY ZONING ORDINANCE §07-01-15

Applicants shall conduct a neighborhood meeting for any proposed comprehensive plan amendment, zoning map amendment (rezone), subdivision, variance, conditional use, zoning ordinance map amendment, or other requests requiring a public hearing.

#### SITE INFORMATION

Site Address: 15065 Fifth St	Parcel Number: R27233	
City: Caldwell	State: ID	ZIP Code: 83605
Notices Mailed Date: 4/4/24	Number of Acres: .74	Current Zoning: A9
Description of the Request: Use of existing manufactured home		

#### APPLICANT / REPRESENTATIVE INFORMATION

Contact Name: Christy Niblett		
Company Name: Cenok		
Current address: 15065 Fifth St		
City: Caldwell	State: ID	ZIP Code: 83605
Phone: [REDACTED]	Cell: [REDACTED]	Fax: [REDACTED]
Email: [REDACTED]		

#### MEETING INFORMATION

DATE OF MEETING: 4/15/24	MEETING LOCATION: 15065 Fifth St	
MEETING START TIME: 11:00am	MEETING END TIME: 11:45am	
ATTENDEES: 1		
NAME (PLEASE PRINT)	SIGNATURE:	ADDRESS:
1. Terri B Warren	Terri B Warren	15080 Frost Rd. Caldwell
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		

10.
11.
12.
13.
14.
15.
16.
17.
18.
19.
20.

**NEIGHBORHOOD MEETING CERTIFICATION:**

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accordance with Canyon County Zoning Ordinance § 07-01-15.

APPLICANT/REPRESENTATIVE (Please print):

 \_\_\_\_\_

APPLICANT/REPRESENTATIVE (Signature): Christy Noble

DATE: 4/15/24

Notice of Neighborhood Meeting Conditional Use Permit Pre-application Requirement for a Public Hearing Date Dear Neighbor,

We are in the process of submitting an application for a Conditional Use Permit (or variance, zoning ordinance map amendment, expansion or extension of nonconforming uses, etc.) to Canyon County Development Services (DSD). One of the requirements necessary prior to submitting the application is to hold a "neighborhood meeting" and provide information to our surrounding neighbors (Canyon County Zoning Ordinance § 07-01-15).

This meeting is for informational purposes and to receive feedback from you as we move through the application process. This is not a Public Hearing before a governing body of the County. Once our application has been submitted and processed, a public hearing date will be scheduled. Prior to the scheduled date you will receive an official notification from Canyon County DSD regarding the Public Hearing via postal mail, newspaper publication, and/or a display on the property for which the Conditional Use Permit (or other case type) is applied. The Neighborhood Meeting details are as follows:

Date: 4/15/24

Time: 11 am

Location: 15065 Fifth st Caldwell

The project is summarized: For the continued use of the current manufactured home.

We look forward to the neighborhood meeting and encourage you to attend. At that time we will answer any questions you may have.

Please do not call Canyon County Development Services regarding this meeting. This is a PREAPPLICATION requirement and we have not submitted the application for consideration at this time. The County currently has no information on this project. If you have any questions prior to the meeting, please contact me at (phone, email, written correspondence).

Sincerely,  
Cenote LLC  
Brian Niblett



# FINAL ACCESS ROAD PERMIT

TO:

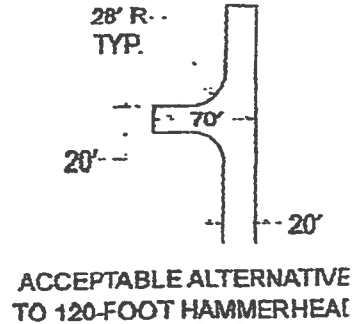
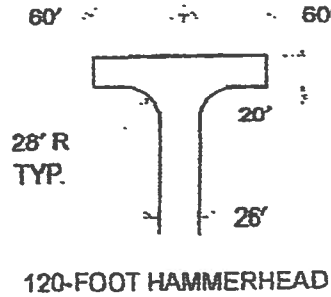
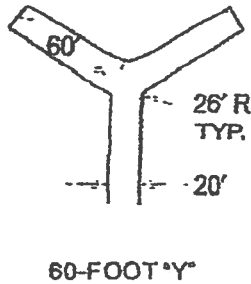
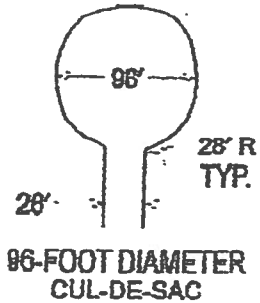
Canyon County Development Services

Owyhee County Planning and Zoning

The access road for the Marsing Fire District must be a minimum of 20' wide with a good gravel base.

One of the following turnarounds can be used but cannot be closer than 135' from the house.

## STEP 2 OF 2



Concerning the property of

Name of Owner Christy Niblett

Address of Property 15065 5th Street Caldwell ID

The access road and turnaround meets Marsing Fire District requirements.

The access road and turnaround does NOT meet Marsing Fire District requirements.

Marsing Fire District  
Marsing, Idaho

Signed [Signature]

Date 11-22-23

BP 2023-0415

**COPY**

#1365

### GOLDEN GATE HIGHWAY DISTRICT No. 3 APPROACH PERMIT & APPLICATION

GGHD-001  
Mar 2017  
Page 1 of 2

**SECTION I – APPLICANT/PERMITTEE INFORMATION (TO BE COMPLETED BY APPLICANT/PERMITTEE)**

I certify that I am the owner (or authorized representative of owner) of the proposed property to be served, and agree to do the work requested herein in accordance with the General Provisions printed on Page 2, the Special Provisions, and the Plans made a part of this Permit.

Conote LLC  
NAME OF APPLICANT/PERMITTEE

[Signature]  
SIGNATURE OF APPLICANT/PERMITTEE

15049 Fifth St 15065  
ADDRESS

[Redacted]  
PHONE (CELL NUMBER PREFERRED)

Caldwell ID 83607  
CITY STATE ZIP

[Redacted]  
EMAIL ADDRESS

827233  
PARCEL NUMBER or LOT/BLOCK

ROAD NAME: 5th BETWEEN Sunny Slope & Highway 59

- SIDE OF ROAD:  North  South  East  West
- TYPE:  New  Use of existing  Upgrade of existing
- USE:  Residential  Commerical  Farmyard  Field
- FIRST CROSS STREET: \_\_\_\_\_ SECOND CROSS STREET: \_\_\_\_\_
- CIRCLE DRIVEWAY:  Yes  No

**SECTION II – WORK AUTHORIZATION (TO BE COMPLETED BY HIGHWAY DISTRICT)**

SPEED LIMIT: \_\_\_\_\_ SIGHT DISTANCE: \_\_\_\_\_ (LEFT) \_\_\_\_\_ (RIGHT)

- ROAD CLASSIFICATION:  Minor Arterial  Major Collector  Minor Collector  Local Road  Local Road (Low Volume)
- CULVERT(S) REQUIRED:  Yes, \_\_\_\_\_ diameter, length TBD  No culvert required at this time

**NOTICE:**  
This Permit shall not be valid for construction until, or unless, the provisions of Idaho Code Title 55, Chapter 22 have been complied with.  
**CALL DIGLINE PRIOR TO EXCAVATION**  
1 (800) 342-1585 or 811

PAYMENTS MADE: Check # 102  
 Permit Fee \$50.00  PAVED APPROACH REQUIRED?  Yes  No  
 Deposit \$200.00 5/22/23

SPECIAL PROVISIONS: \_\_\_\_\_

Subject to all terms, conditions and provisions shown on this form, or attachments, permission is hereby granted to perform the work as described.

[Signature] 5-22-23  
SIGNATURE - HIGHWAY DISTRICT OFFICIAL DATE

A COPY OF THIS PERMIT MUST BE PRESENT AT WORK SITE DURING CONSTRUCTION

**SECTION III – FINAL APPROVAL**

**APPROVED**

This Permit expires 120 days from issue date unless extension is granted. Permittee must complete work and call for final inspection at (208) 482-6257 prior to Permit expiration, or forfeit deposit.

FINAL APPROVAL GRANTED BY: [Signature] 5-22-23  
SIGNATURE - HIGHWAY DISTRICT OFFICIAL DATE

Deposit Refunded?  Yes, date 5/22/23  No, basis for forfeiture: \_\_\_\_\_  
\$200.00 ck # 31985

BP 2023 - 0415





# Canyon County Assessor

## Administrative Building

111 N 11<sup>th</sup> Ave, Ste 250  
Caldwell, Idaho 83605  
Phone (208) 454-7431 ~ Fax (208) 454-7349

**Brian R. Stender**  
Assessor

**Joseph R. Cox**  
Chief Deputy

March 22, 2023

**PLEASE RESPOND WITHIN 15 DAYS**

Return via email, fax, or mail.

CENOTE LLC

18040 CELESTIAL DR  
NAMPA, ID 83687

PLEASE MAKE CORRECTIONS TO  
NAMES AND ADDRESSES IF NEEDED

Our office received notification that a manufactured home was, or will be, placed at **15049 FIFTH ST, CALDWELL**. Please complete this form and return it to our office within **fifteen (15) days**.

Date Purchased: 2/15/2022 Date Occupied: March 31 2022 Owner  Rental   
Estimated date okay

Year Built: 1983 Make/Model: manufacture Comp TL Size: 66 X 4

Serial (VIN) Number: S10397 Title Number: \_\_\_\_\_

Name(s) as appears (or will appear) on title: Brian Scott Niblett or Christy Jean Niblett

*From Canyon County*

Purchased From: Sean Kangus Purchase Price: 30K Date of Delivery: March 2022  
Estimated date Okay

Have you closed on this home? YES  NO  If no, estimated closing date \_\_\_\_\_

Will this home be declared as real property? YES  NO  (Additional paperwork required. Forms for Canyon County must be obtained from our office.)

Is this home replacing another? YES  NO  If yes, what is happening to other home(s)? \_\_\_\_\_

**If sold please provide new owner's name and phone number. If moving please provide new location address.  
Unit(s) will stay in the name as listed on the DMV records until title(s) are transferred, if applicable.**

Please note that prior to moving, destroying, or transferring a title to a manufactured home, the current years taxes, along with any past due (if applicable), need to be prepaid. A tax receipt will need to be obtained from the county in which the home is located. If this home is owner occupied as your primary dwelling you may qualify for a Homeowner's Exemption. If you have any questions or need additional information, please contact our office at 208-454-6657.

Phone number: [REDACTED] Email: [REDACTED]

Preferred Contact: Phone  Email  Signature: [Signature]

Thank you,

Janet Mills  
Manufactured Home Clerk  
Canyon County Assessor's Office  
Janet.Mills@canyoncounty.id.gov

Serving the Cities of

Caldwell Greenleaf Melba Middleton Nampa Notus Parma Wilder

# Golden Gate Highway District No. 3

Commissioners: Ed Leavitt, Andy Bishop, Fred Sarceda

December 5, 2023

To: Canyon Co. Development Services  
RE: Setback Waiver for Parcel R272330(Blk16)  
15049 Fifth St. Sunny Slope Sub 2

The 30-ft from property line Setback is partially waived from the East West and North South line(s) of Section 15, R4W, T3N. It is recommended by the Highway District that the setback be reduced to 7-ft measured from the North Property boundary and 14-ft from the East boundary for the proposed house.

The Current resident is proposing a mobile home on parcel R2723300 (BLK 16

Sincerely,

Bob Watkins  
Director of Highways  
Golden Gate Highway Dist.#3

# FINAL/AS-BUILT - Subsurface Sewage Disposal



**Public Health**  
Present. Prevent. Protect.  
Idaho Public Health Districts

**SOUTHWEST DISTRICT HEALTH**

13307 Miami Lane  
Caldwell, Idaho 83607  
(208) 455-5300

Permit #: 008891  
Date Rcvd: 01/21/2022  
Parcel #: R2723300000

EHS: Anthony Lee

Owners Name: Brian & Christy Niblett  
Property Address: 15049 Fifth Street Caldwell ID 83607

Legal Description: Township: 3N Range: 4W Section: 15

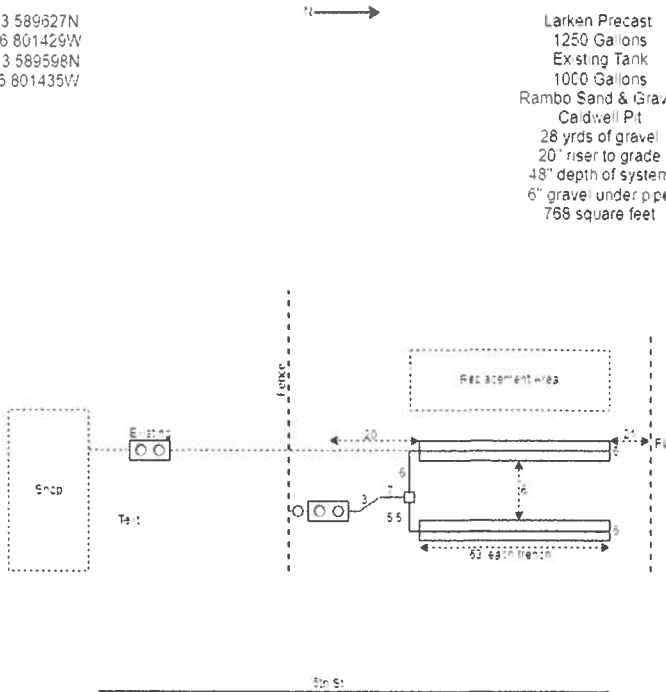
Subdivision: SUNNY SLOPE SUB 2 Lot: 3 Block: 1

Kevin Bright  
Payette River Excavation, LLC  
(208) 230-5928  
2-47598

01/21/22  
15049 5th St  
Permit #008891

Tank 43 589627N  
-116 801429W  
D-Box 43 589598N  
-116 801435W

Larken Precast  
1250 Gallons  
Existing Tank  
1000 Gallons  
Rambo Sand & Gravel  
Caldwell Pit  
28 yds of gravel  
20" riser to grade  
48" depth of system  
6" gravel under pipe  
768 square feet



Technical Allowance Granted:  Yes  No

Comments:

Installer Name: Payette River Excavation, LLC  
Installer Number: 2-47598

Signature: Unavailable  
Date: 01/21/2022

By signing above, I certify that all answers and statements on this Final As-built are true and complete to the best of my knowledge.

OFFICIAL USE ONLY

As-Built provided by EHS

As-Built provided by Installer

**Anthony Lee** Digitally signed by Anthony Lee  
Date: 2022.01.21 08:44:41 -07'00'

EHS Final Inspection Signature

035 01/21/2022

EHS Code

Date



# AGENCY ACKNOWLEDGMENT

Date: 4/4/24  
 Applicant: Cerote LLC  
 Parcel Number: R272 3300000  
 Site Address: 15049 15056 st st Caldwell

### SIGNATURES DO NOT INDICATE APPROVAL OR COMPLETION OF OFFICIAL REVIEW.

The purpose of this form is to facilitate communication between applicants and agencies so that relevant requirements, application processes, and other feedback can be provided to applicants early in the planning process. Record of communication with an agency regarding the project can be submitted instead of a signature. After the application is submitted, impacted agencies will be sent a hearing notification by DSD staff and will have the opportunity to submit comments.

#### Southwest District Health:

Applicant submitted/met for informal review.

Date: 04/05/2024 Signed: Anthony Lee  
 Authorized Southwest District Health Representative  
 (This signature does not guarantee project or permit approval)

#### Fire District:

District: \_\_\_\_\_

Applicant submitted/met for informal review.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
 Authorized Fire District Representative  
 (This signature does not guarantee project or permit approval)

#### Highway District:

District: \_\_\_\_\_

Applicant submitted/met for informal review.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
 Authorized Highway District Representative  
 (This signature does not guarantee project or permit approval)

#### Irrigation District:

District: \_\_\_\_\_

Applicant submitted/met for informal review.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
 Authorized Irrigation Representative  
 (This signature does not guarantee project or permit approval)

#### Area of City Impact

City: \_\_\_\_\_

Applicant submitted/met for informal review.

Date: \_\_\_\_\_ Signed: N/A  
 Authorized AOCI Representative  
 (This signature does not guarantee project or permit approval)

# FINAL/AS-BUILT - Subsurface Sewage Disposal



Public Health  
Idaho Public Health Districts

**SOUTHWEST DISTRICT HEALTH**

13307 Miami Lane  
Caldwell, Idaho 83607  
(208) 455-5300

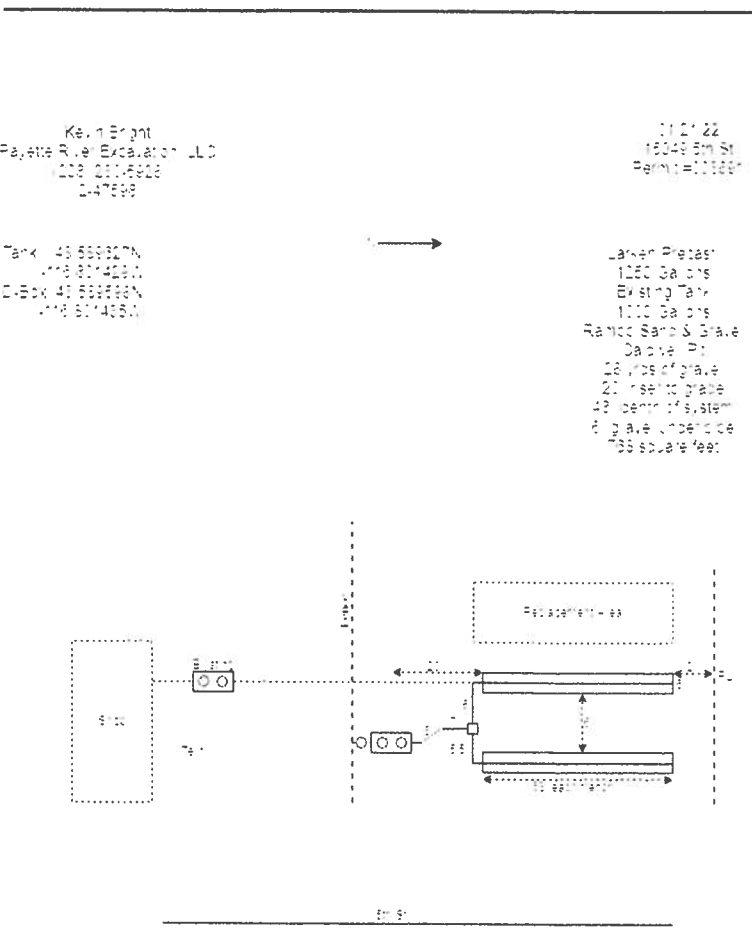
Permit #: 008891  
Date Rcvd: 01/21/2022  
Parcel #: R2723300000

Owners Name: Brian & Christy Niblett  
Property Address: 15049 Fifth Street Caldwell ID 83607

EHS: Anthony Lee

Legal Description: \_\_\_\_\_ Township: 3N Range: 4W Section: 15

Subdivision: SUNNY SLOPE SUB 2 Lot: 3 Block: 1



System Type: <b>Gravel Drainfield</b>	Gravel (Yards): 28
System Mfg: N/A	Sand (Yards): N/A
Septic/ Trash Tank (Gal): 1000 (existing) +1250	Installation Depth (Inches): 48
Septic/ Trash Tank Mfr: <b>Larken Precast</b>	Date Installed: 01-21-2022
Depth to Tank Lid (inches): <b>To grade</b>	Rock Under Pipe (Inches): 6
Standpipe/ Riser (inches): 20	Riser Longitude: -116.801429W
Pump Tank (gallons): N/A	Riser Latitude: 43.589627N
Pump Tank (Mfg): N/A	Well Installed <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Drainfield Width (Ft): 6	Distance to Tank Ft: <u>50+</u>
Drainfield Length (Ft): 128	Distance to Drainfield (Ft): <u>100+</u>
Drainfield Area Installed ( Sq. Ft.): 768	Valve: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Effective Area (Sq. Ft.): 768	Dist-Box: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Drop-Box: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
All plans, specifications, and conditions contained in the approved permit application are hereby incorporated into and may be enforceable as part of the permit.	

Technical Allowance Granted:  Yes  No  
Comments: \_\_\_\_\_

Installer Name: Payette River Excavation, LLC  
Installer Number: 2-47598

Signature: Unavailable  
Date: 01/21/2022

By signing above, I certify that all answers and statements on this Final As-built are true and complete to the best of my knowledge.  
**OFFICIAL USE ONLY**

- As-Built provided by EHS
- As-Built provided by Installer

**Anthony Lee** Digitally signed by Anthony Lee  
Date: 2022.01.21 08:44:41 -07'00'

EHS Final Inspection Signature  
035 \_\_\_\_\_ 01/21/2022 \_\_\_\_\_  
EHS Code Date



5680 E. Franklin Rd., Ste. 150  
Nampa, ID 83687

ELECTRONICALLY RECORDED-DO NOT  
REMOVE THE COUNTY STAMPED FIRST  
PAGE AS IT IS NOW INCORPORATED AS  
PART OF THE ORIGINAL DOCUMENT

**2021-069366**  
RECORDED  
**10/06/2021 01:45 PM**  
CHRIS YAMAMOTO  
CANYON COUNTY RECORDER  
Pgs=1 MKEYES \$15.00  
TYPE: DEED  
PIONEER TITLE CANYON - CALDWELL  
ELECTRONICALLY RECORDED

File No. 787386 JR/GC

**WARRANTY DEED**

For Value Received Rene Urrutia and Melissa Urrutia, husband and wife  
hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto  
Brian Niblett and Christy Niblett, husband and wife  
hereinafter referred to as Grantee, whose current address is 18040 Celestial Drive Nampa, ID 83687  
The following described premises, to-wit:

Lot 1 and the East 50 feet of Lot 3 in Block 16 of Second Sunnyslope Subdivision,  
according to the official plat thereof, filed in Book 5 of Plats at Page(s) 2, records of  
Canyon County, Idaho.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and  
Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the  
said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are  
free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those  
made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions,  
dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies,  
and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable,  
and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: October 5, 2021

Rene Urrutia

Melissa Urrutia  
State of Idaho, County of Canyon

This record was acknowledged before me on October 6<sup>th</sup>, 2021 by Rene Urrutia and Melissa Urrutia

Signature of notary public  
Commission Expires:

RESIDING IN CALDWELL, IDAHO  
COMMISSION EXPIRES 5-20-2026

JUANITA ROJAS  
COMMISSION #25916  
NOTARY PUBLIC  
STATE OF IDAHO

**Canyon County Development Services**  
111 N. 11th Ave. Room 310, Caldwell, ID 83605  
(208) 454-7458

**Building Divsn Email:** buildinginfo@canyoncounty.id.gov **Planning Divsn Email:** zoninginfo@canyoncounty.id.gov

**Receipt Number:** 82388

**Date:** 4/23/2024

**Date Created:** 4/23/2024 **Receipt Type:** Normal Receipt **Status:** Active  
**Customer's Name:** Christy Niblett  
**Comments:** ZV2024-0002  
**Site Address:** 15049 FIFTH ST, Caldwell ID / Parcel Number: 27233000 0

**CHARGES**

<b>Item Being Paid For:</b>	<b>Application Number:</b>	<b>Amount Paid:</b>	<b>Prevs Pymnts:</b>	<b>Unpaid Amnt:</b>
Planning - Variance	ZV2024-0002	\$950.00	\$0.00	\$0.00
	<b>Sub Total:</b>	\$950.00		
	<b>Sales Tax:</b>	\$0.00		
	<b>Total Charges:</b>	\$950.00		

**PAYMENTS**

<b>Type of Payment:</b>	<b>Check/Ref Number:</b>	<b>Amount:</b>
Credit Card	155022316	\$950.00
	<b>Total Payments:</b>	\$950.00

**ADJUSTMENTS**

**Receipt Balance:** \$0.00